

# BELLA VISTA RANCH AND CATTLE COMPANY

5858 FELTER ROAD, SAN JOSE, CA 95132

## GRADING ABATEMENT SUBMITTAL CODE COMPLIANCE ISSUES

### VIOLATION # VIO-8459

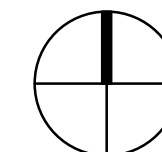


EXISTING ORIGINAL FARM HOUSE (GRAND FATHERED)

EXISTING BARN (UNPERMITTED)

EXISTING GARAGE/OFFICE (UNPERMITTED)

EXISTING MAIN HOUSE (UNPERMITTED)



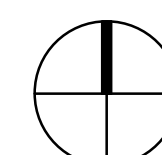
### 2 GOOGLE VIEW 12" = 1'-0"



Felter Road

5858 FELTER ROAD PROJECT LOCATION

Sierra Road



### 1 VICINITY MAP 12" = 1'-0"

#### DRAWING INDEX

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T0.1 TITLE SHEET

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EC-2 EROSION CONTROL TEMPLATE

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##### STRUCTURAL

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#### DESCRIPTION

**Bella Vista Ranch and Cattle Company Overview:**  
The property comprises of 640 acres out of which approximately 635 acres are dedicate to agricultural use for cattle and horse grazing. The property was purchased by Mr. & Mrs. Vale in 2001.

The property is covered under Williamson Act contract number: 67003. Improvements have been made to ranch structures as follows:

##### Description:

The project consists of a permit application for un-permitted work on the property and code upgrades to meet current code as follows:

- Main Residence: The original structure, the "cabana", was a previously permitted 50'x24' structure with a half loft, two bathrooms, kitchen, living and dining room. Permit was issued in 1984 number 84-1214. In 2004-2006 the structure was remodeled and a second floor area added to become the main living quarter. A new raised roof structure and new decks and porches were installed. The remodel and addition work was un-permitted. The new residence includes an entry space, kitchen, living, dining area, second floor family room, two bedrooms and three bathrooms. The main house upgrades are included in a separate submittal package DEV24-1200..
  - A retaining wall was installed to create a lower patio area and trellis structure. The Retaining Wall upgrade to meet current code has been included in the set.
  - Garage: A new Garage was constructed in 2006-2011. The construction was unpermitted. The Structure includes a Garage, an office, a half bath and storage on the second floor. The existing Garage was lost in a fire (2017). The New Garage Structure is included in a separate submittal package to be submitted.
  - Barn: The existing Barn was re-built in 2017 in the same footprint (36'x 48'). The new Barn includes a barn aisle, two stalls, a tack room, hay storage and a loft. In addition, there is a shed roof cover on two sides. The structure was un-permitted. The New Barn Structure is included in a separate submittal package to be submitted.
  - Existing Farm House: The structure is from 1935 and assumed grand fathered in. Maintenance projects have been performed including new roof, siding and furnace.
  - Modular building #3: It was installed in 1987 permit number 80040 including a planning and fire department review.
  - Previous Owner installed an un-permitted tennis court which has been removed. It is included in the Demolition permit DEV23-0493
  - Previous owner installed a pool in 1985. Permit number 85-1594.
  - Previous owner installed a un-permitted volleyball court which has been removed. It is included in the Demolition permit DEV23-0493
  - The Existing Farm House will be considered an ADU and an attached 500 SF Junior ADU and an attached 400 SF will be added.
  - Five 1,000 SF Agricultural Workers Housing is added.
- Future Additions Include and addition to the existing Farm House to become a 1,193 SF ADU and a 500 SF Junior ADU and 400 SF Garage and (5) 1,000 SF AG Workers units.

#### PLAN CHECK SUBMITTALS

No.	Submittal	Date submitted	Scope of Work	County of SC Plan Check Number	Status
1	Pre-Screen Submittal	12/24/2023	Overall Site work and Road Upgrade	PLN23-017-PRE	Complete 4-5-2023
2	Main House	12/24/2022	Code Compliance Upgrade	AR22-2739	Closed, Not Accepted
3	Garage	12/24/2022	Code Compliance Upgrade	AR22-2740	Closed, Not Accepted
4	Barn	12/24/2022	Code Compliance Upgrade	AR22-2741	Closed, Not Accepted
5	Pool	12/24/2022	Code Compliance Upgrade	AR22-2742	Closed, Not Accepted
6	Demolition	12/24/2022	Code Compliance Upgrade	AR22-2738	Closed, Not Accepted
7	CUD (Planning)	1/25/2023	Code Compliance Upgrade	PLN23-026	Approval 5-24-2023
8	Demolition	2/24/2023	Demolition of Trailer 1&2, Old Garage, Volleyball Court, Tennis Court and Chicken Coup	DEV23-0493	Issued 5-16-2023
9	Grading Submittal	2/29/2024	retaining wall, grading, Road, Site Electrical, Fire Access, Fire Spinkler Site, Septic		In Progress
10	Main House	2/29/2024	Code Compliance Upgrade	DEV24-1200	In Progress
11	Garage		Code Compliance Upgrade	Future	
12	Barn		Code Compliance Upgrade	Future	
13	Farm House		Restroom	Future	
14	Large Storage Shed		Code Compliance Upgrade	Future	
15	Junior ADU		Addition to Farm House	Future	

#### DATA

Applicable Codes: 2022 CBC, CEC, CPC, CMC, CFG, CAL Green 2022 CA, Williamson Act Code

Occupancy: R3  
Type of Construction: VB (All existing and proposed structures)  
Existing Fire Sprinklers: No  
Zoning: AR (Coyote)

APN: 042-21-016 (480 Acres) / 042-07-012 (160 Acres)  
Site Area: 640 Acres 927,878,400 SF

#### DEFERRED SUBMITTALS

- FIRE SPRINKLER BARN AND MAIN HOUSE
- FIRE-LIFE SAFETY MONITORING
- EMERGENCY POWER GENERATOR WITH TRANSFER SWITCHES
- RETROFIT OF EXISTING SEPTIC SYSTEM
- LAND SLIDE AREA GEOLOGY



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#### PROJECT TEAM

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No.	Description	Date
1	Grading Submittal	2-29-2024

## Bella Vista Ranch Grading Abatement

5858 Felter Road, San Jose CA 95132

### TITLE SHEET

## T0.1

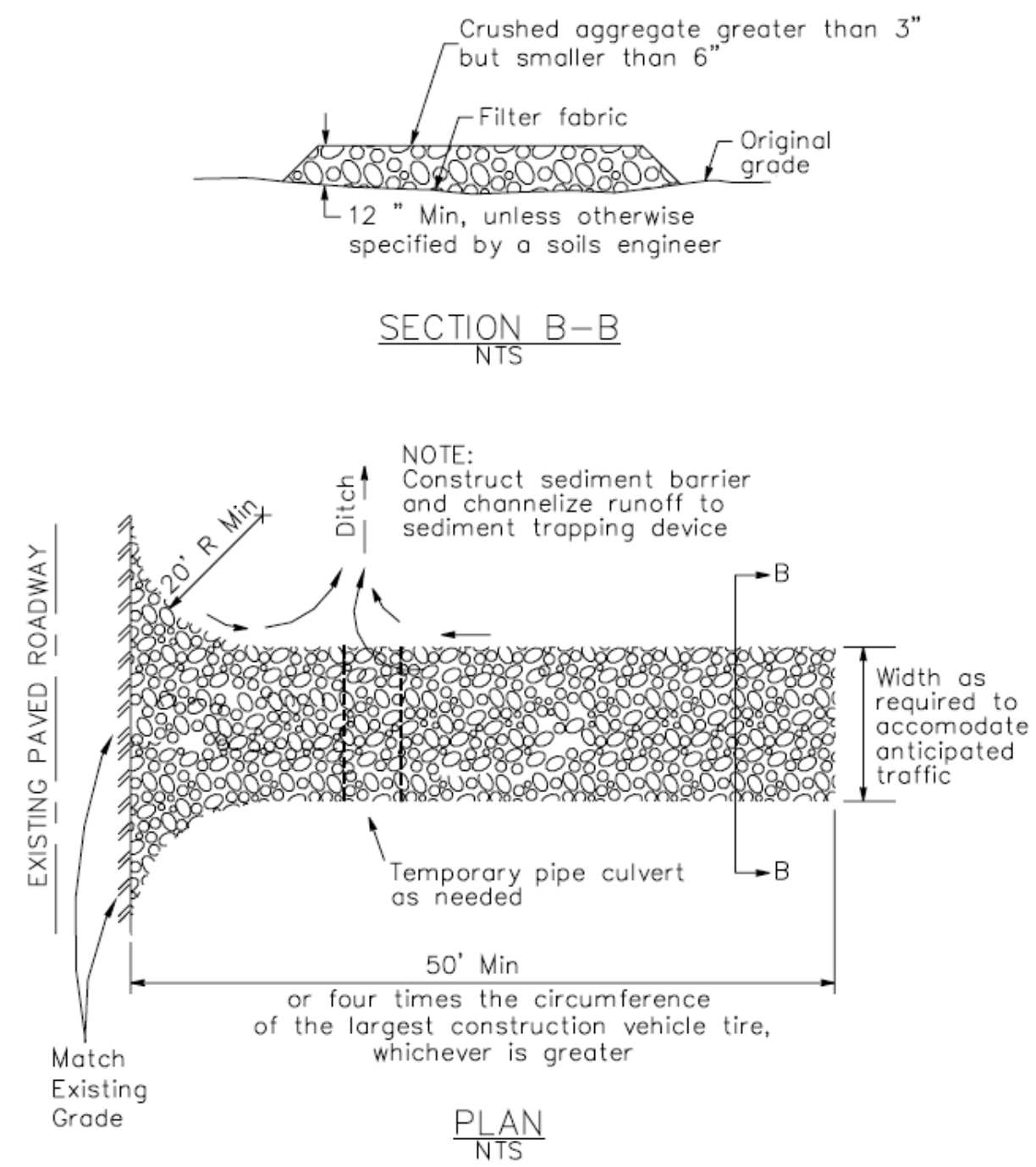
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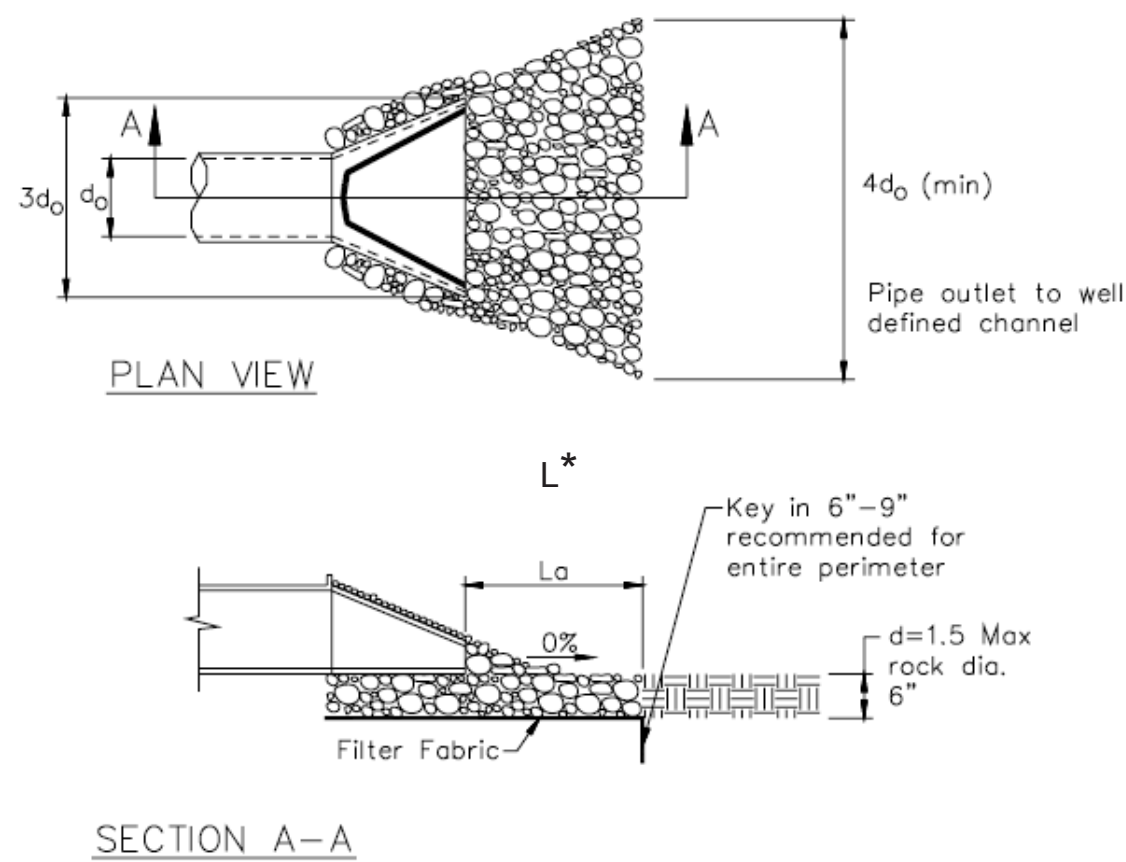
### 3 Stabilized Construction Entrance/Exit

CASQA Detail TC-1



### 4 Velocity Dissipation Devices

CASQA Detail EC-10

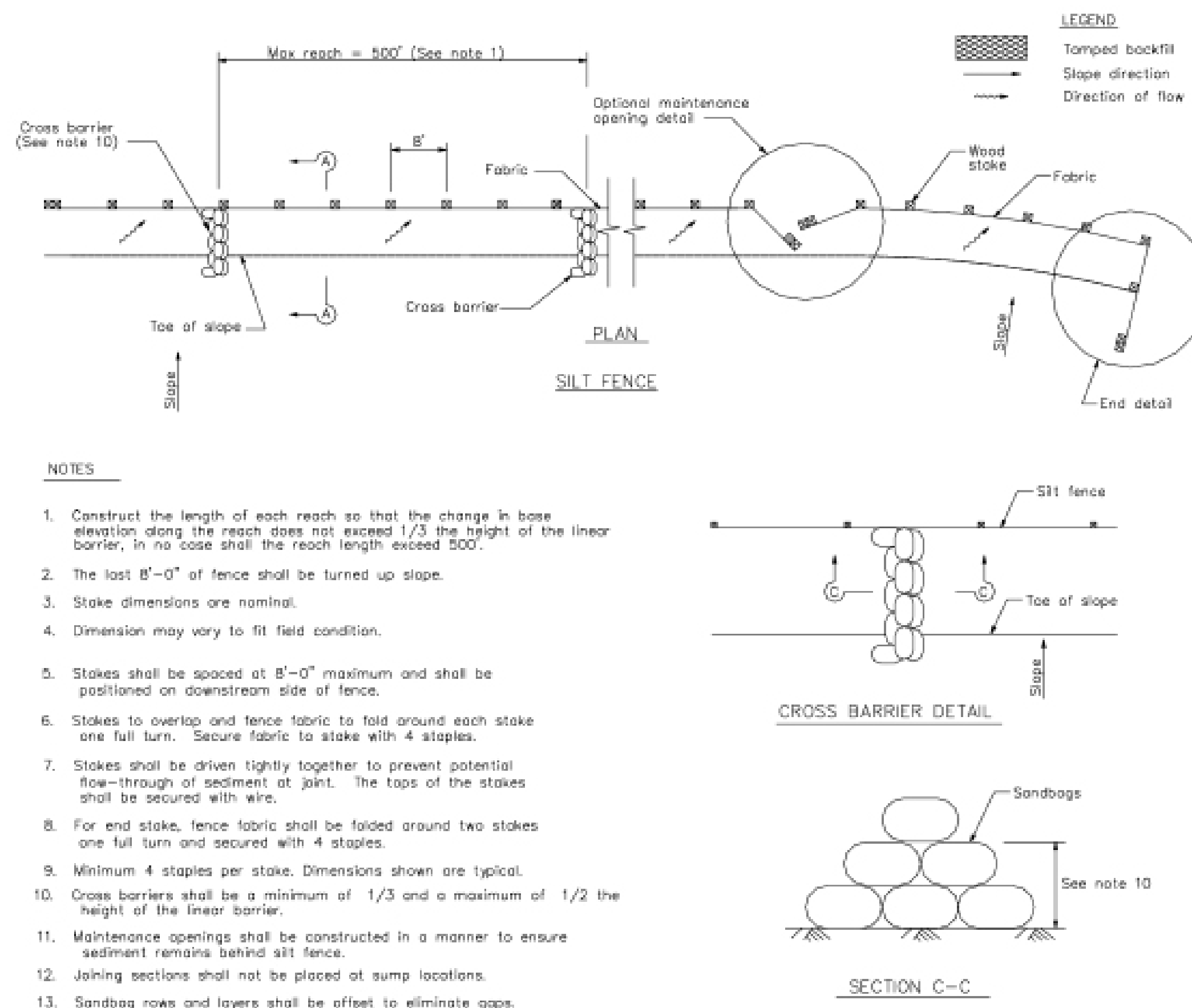


\* Length per ABAG Design Standards

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

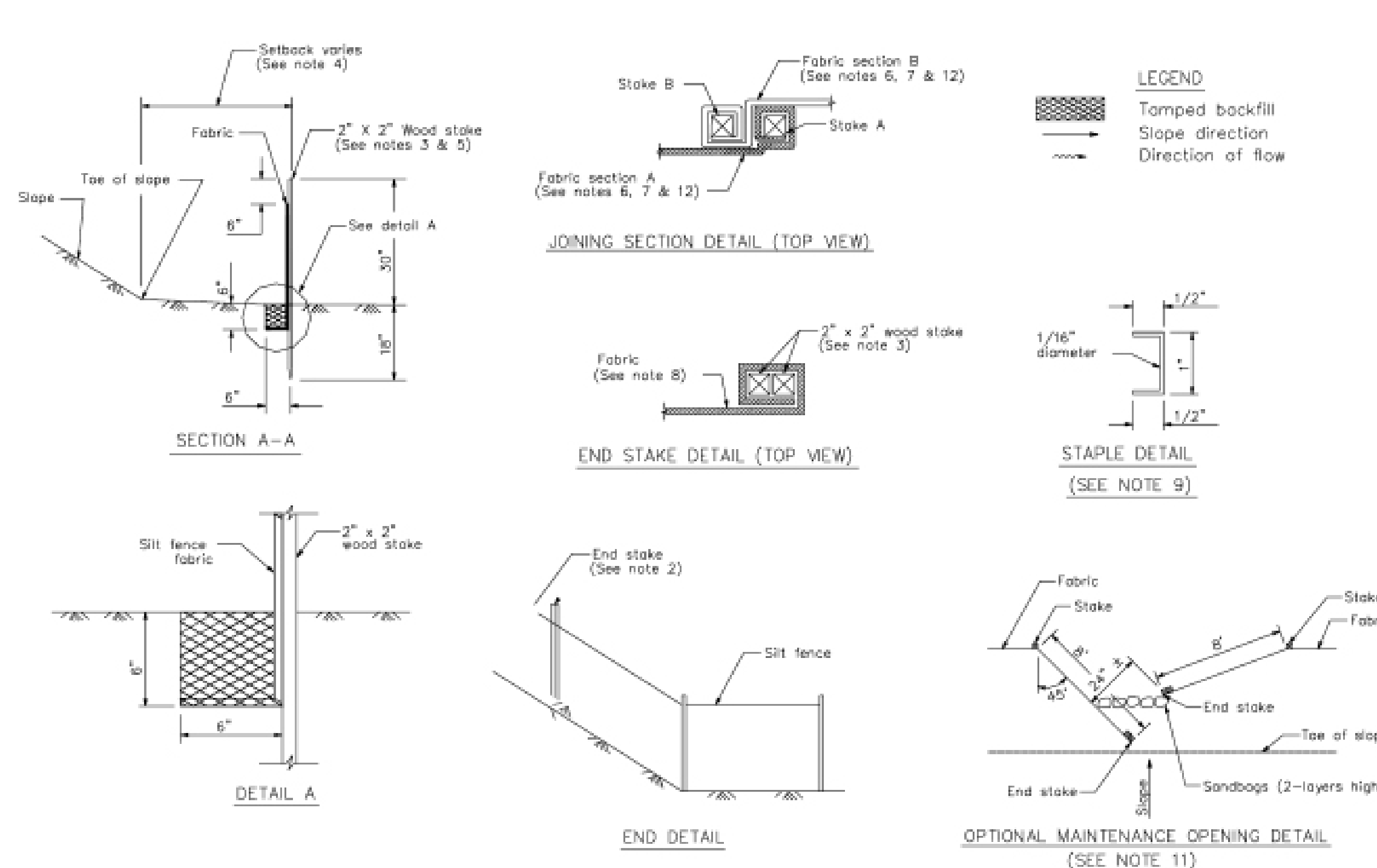
### 1 Silt Fence

CASQA Detail SE-1



### 2 Silt Fence

CASQA Detail SE-1



### STANDARD BEST MANAGEMENT PRACTICE NOTES

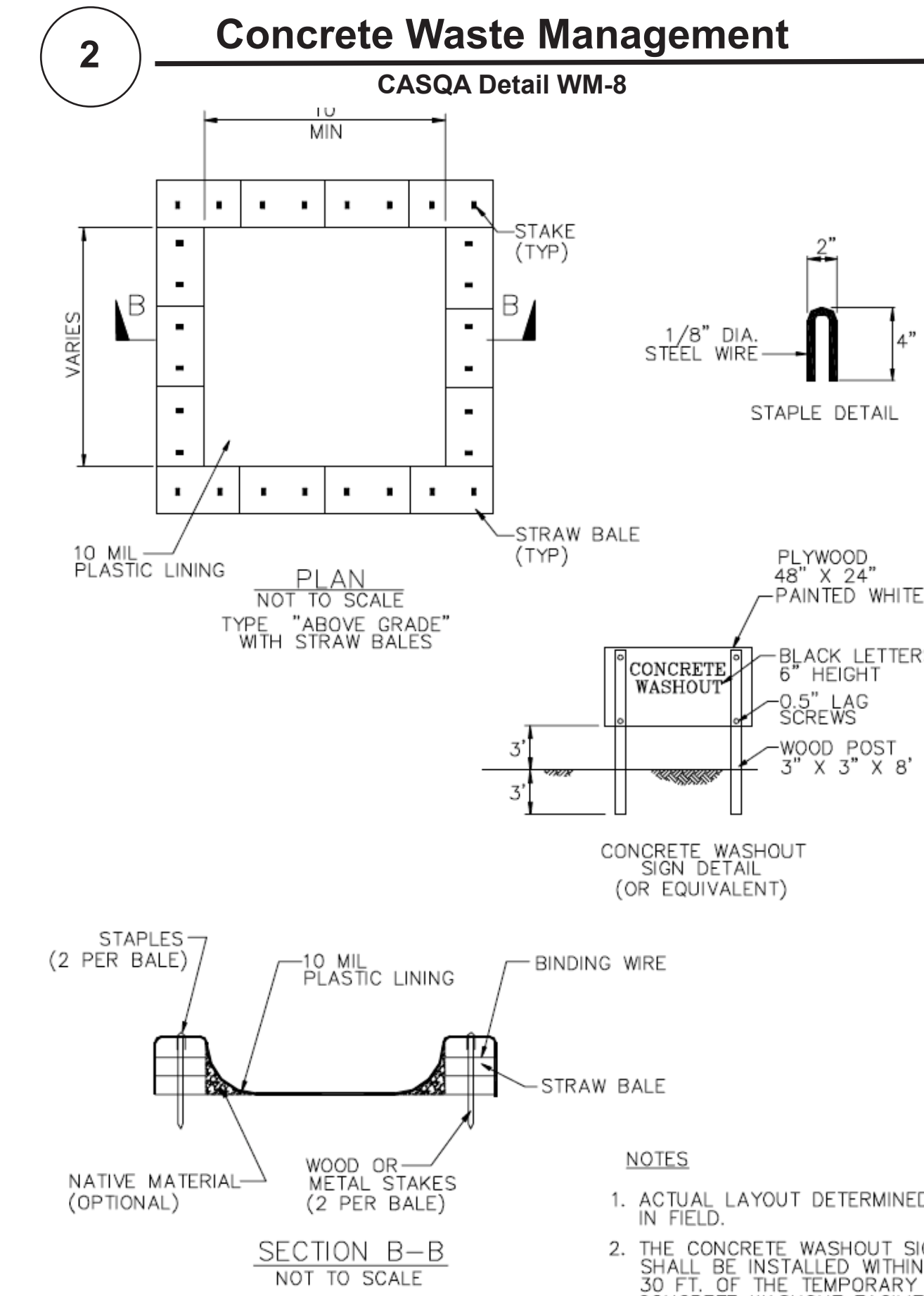
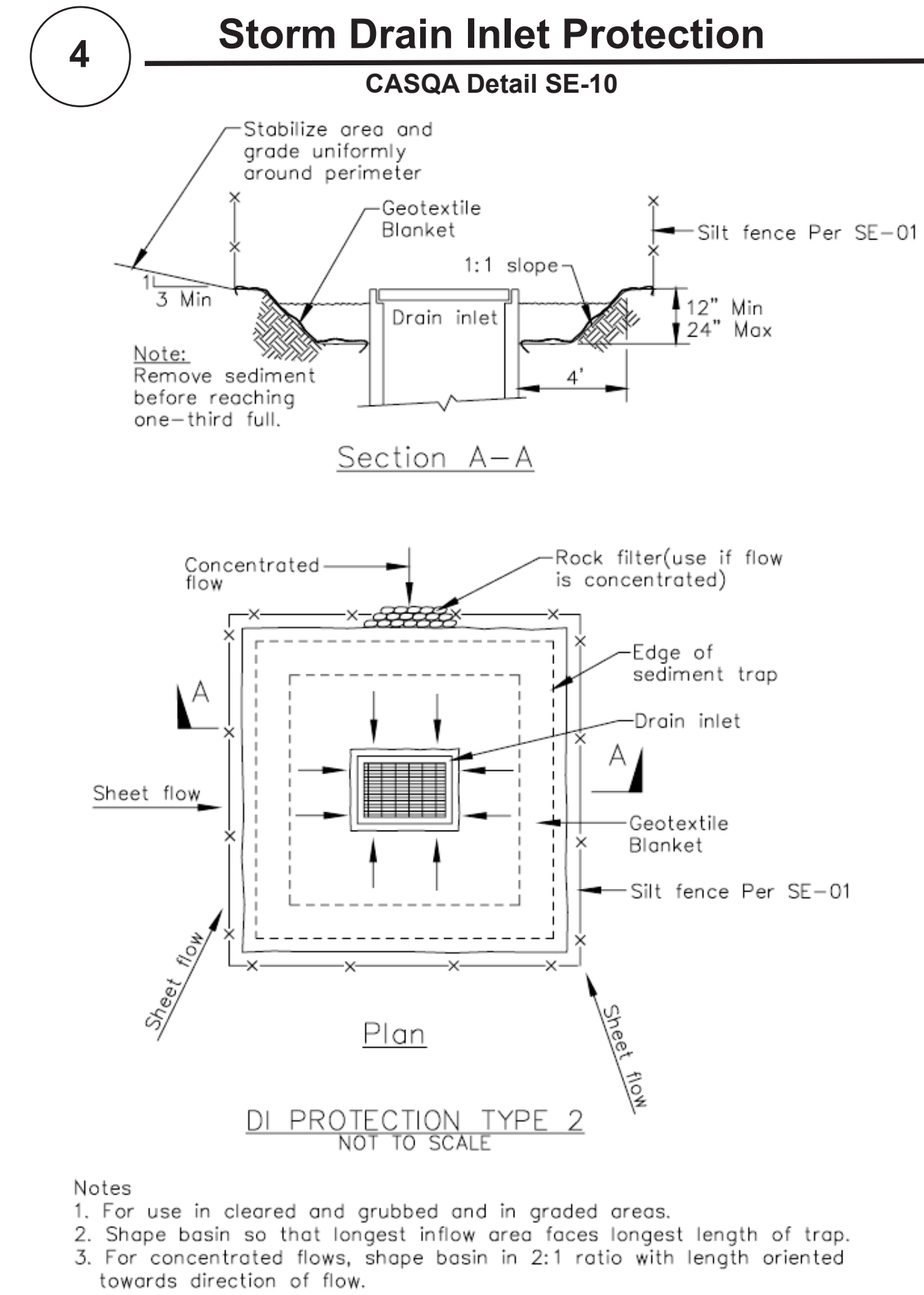
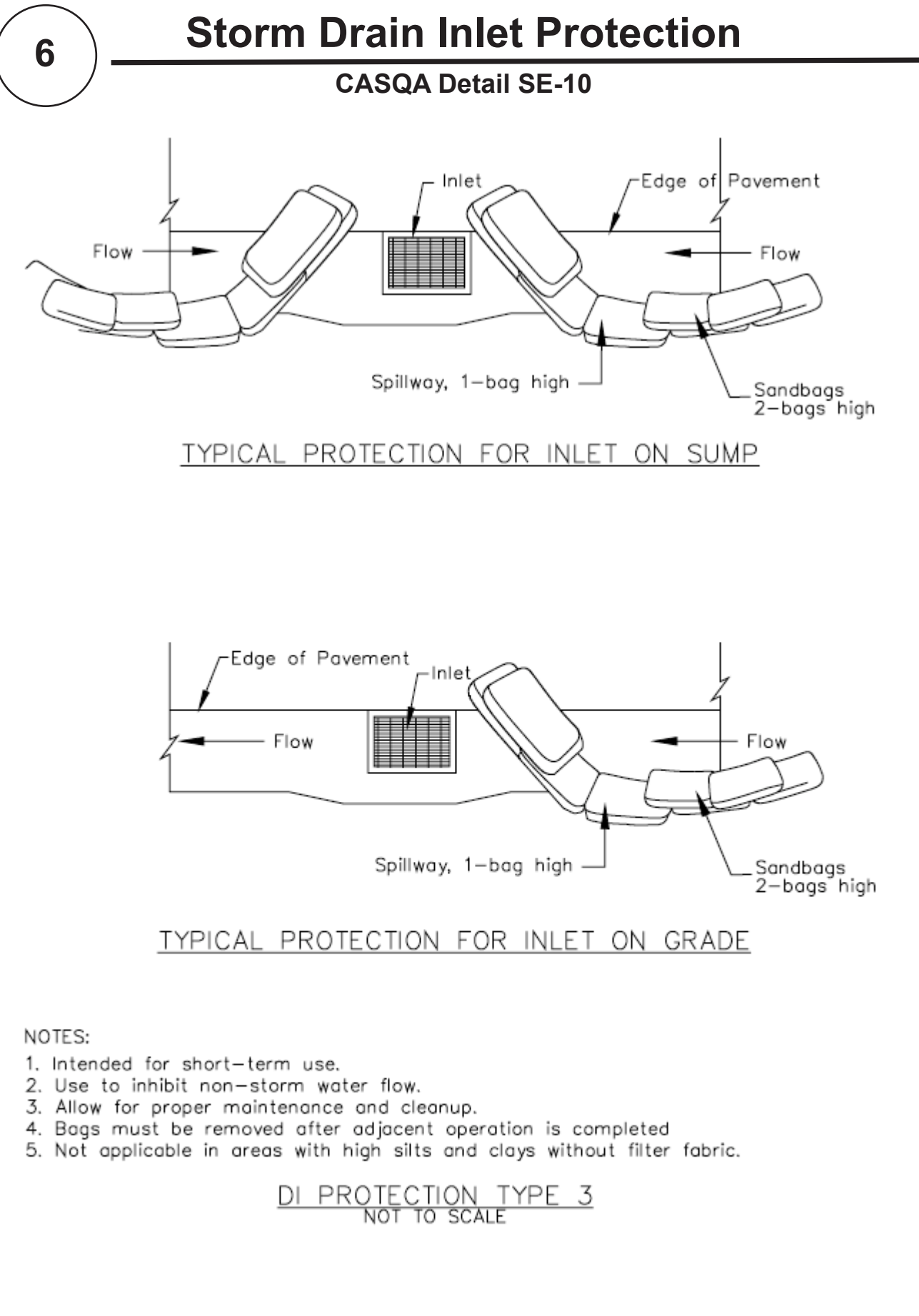
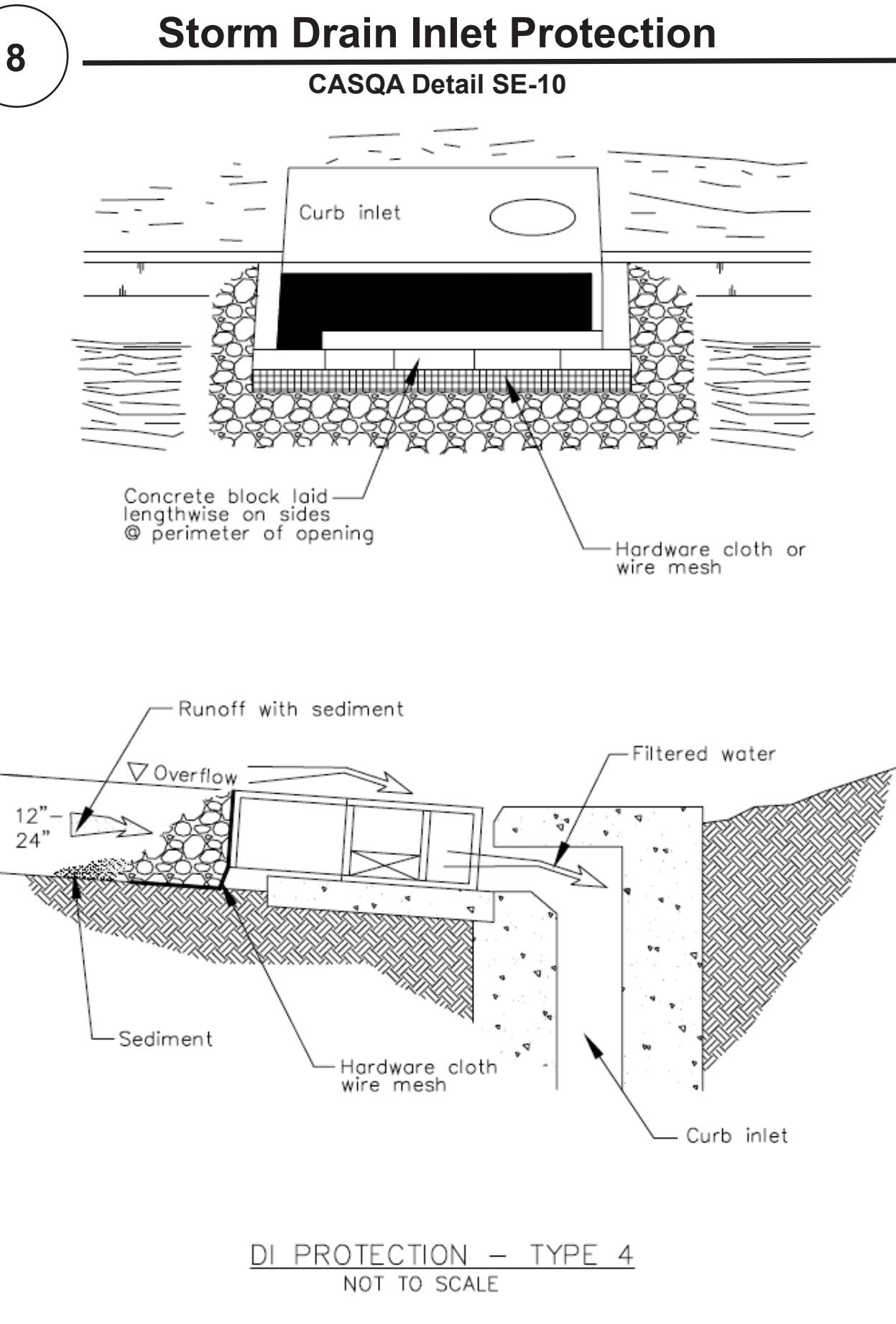
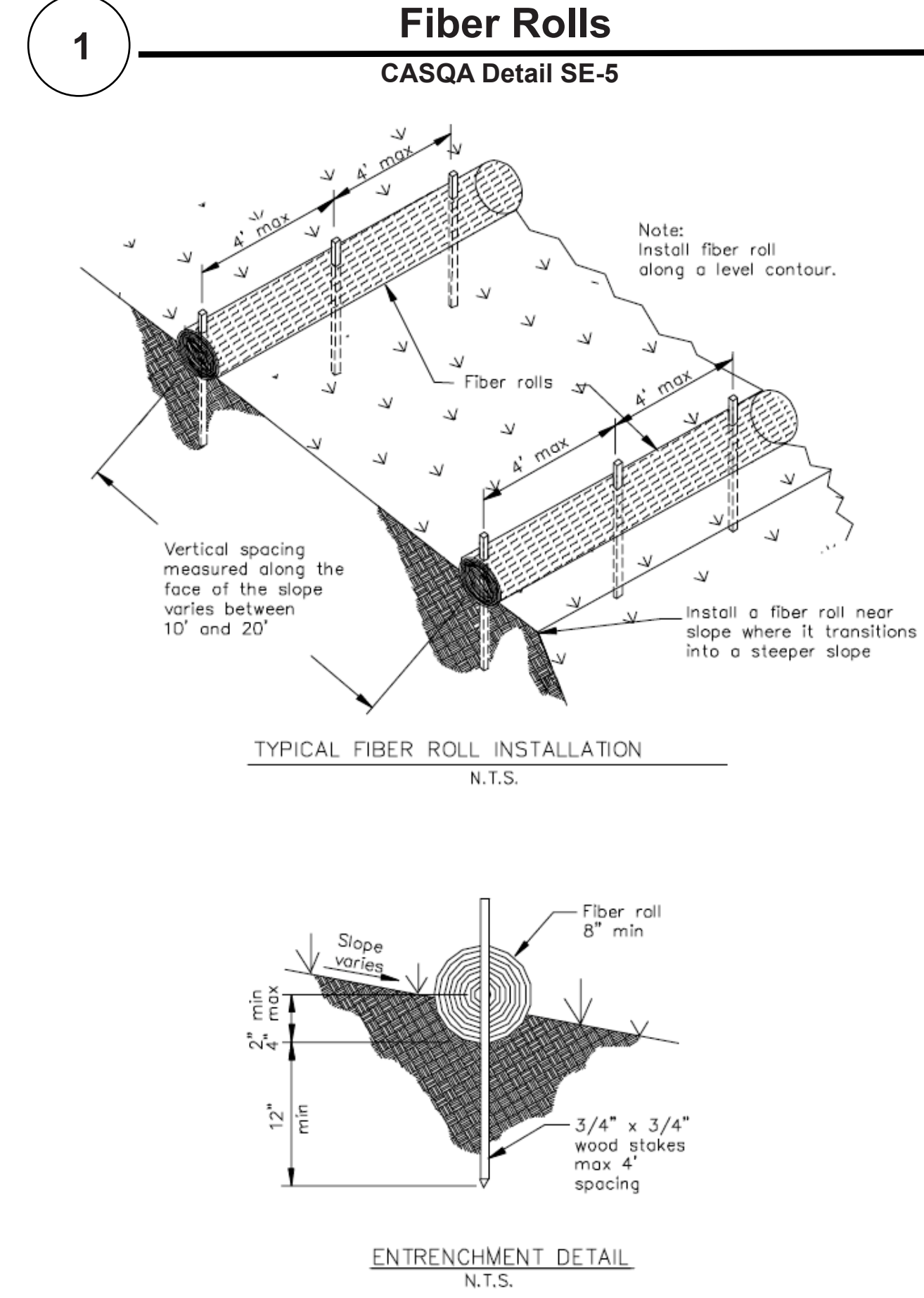
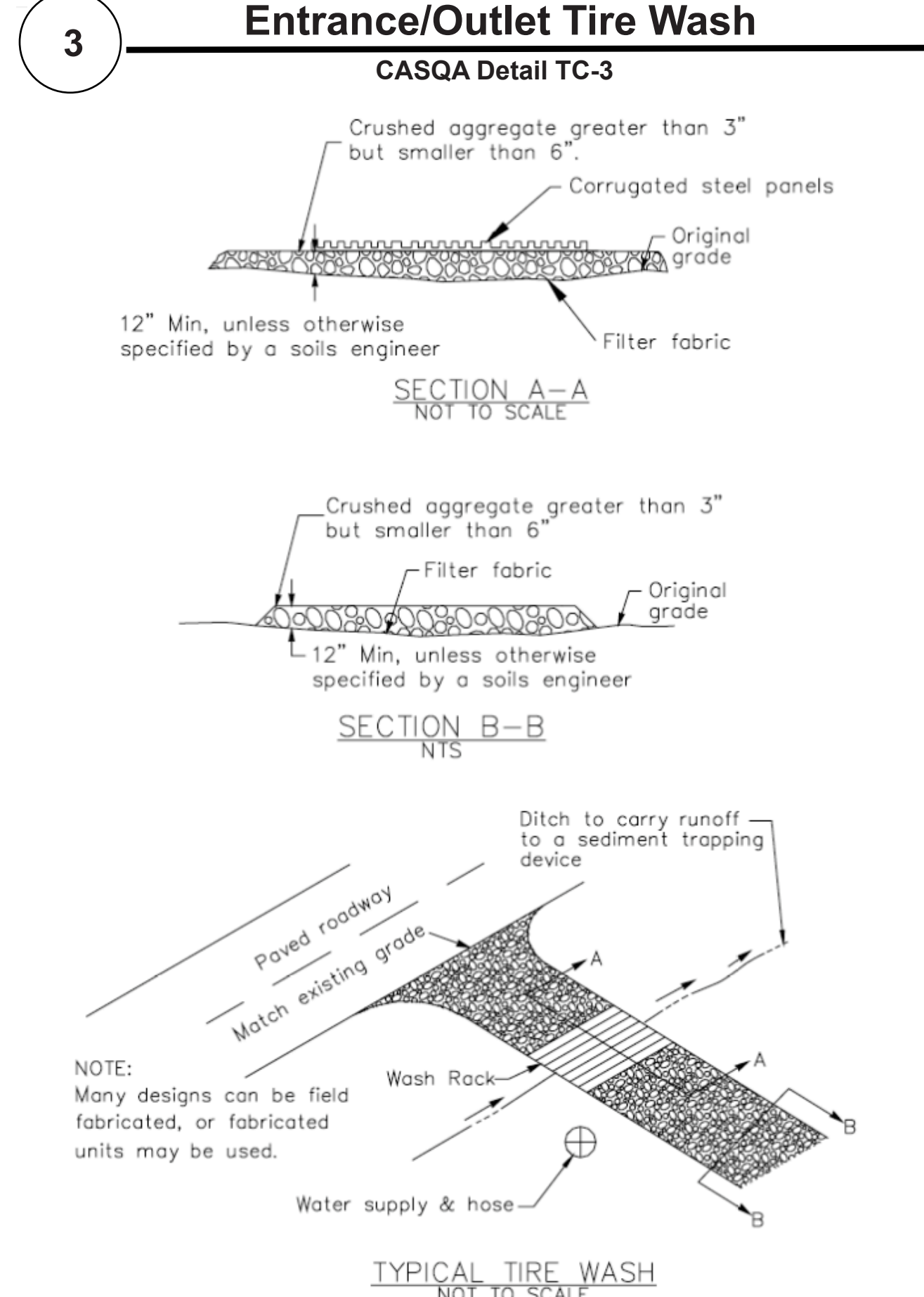
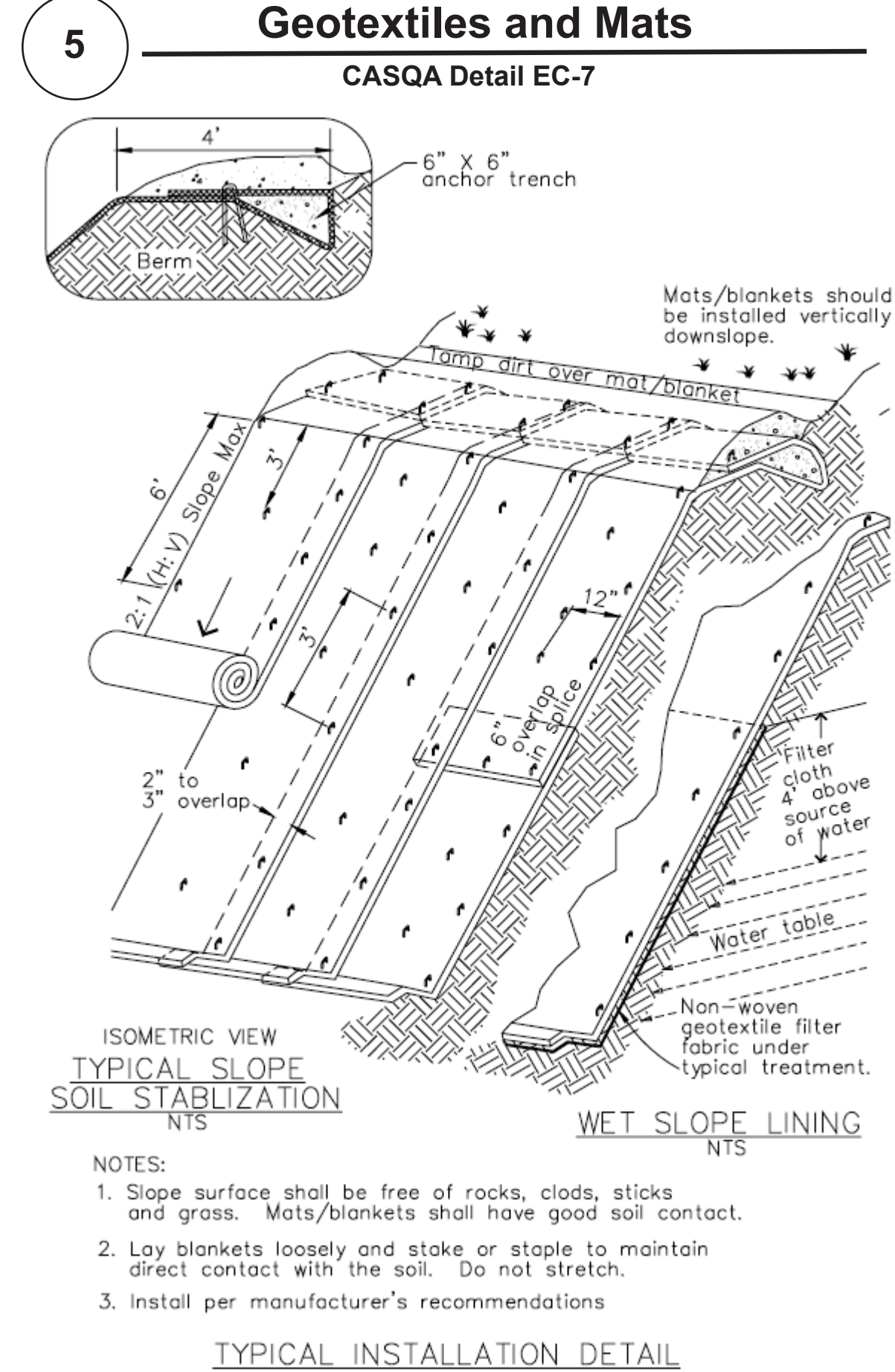
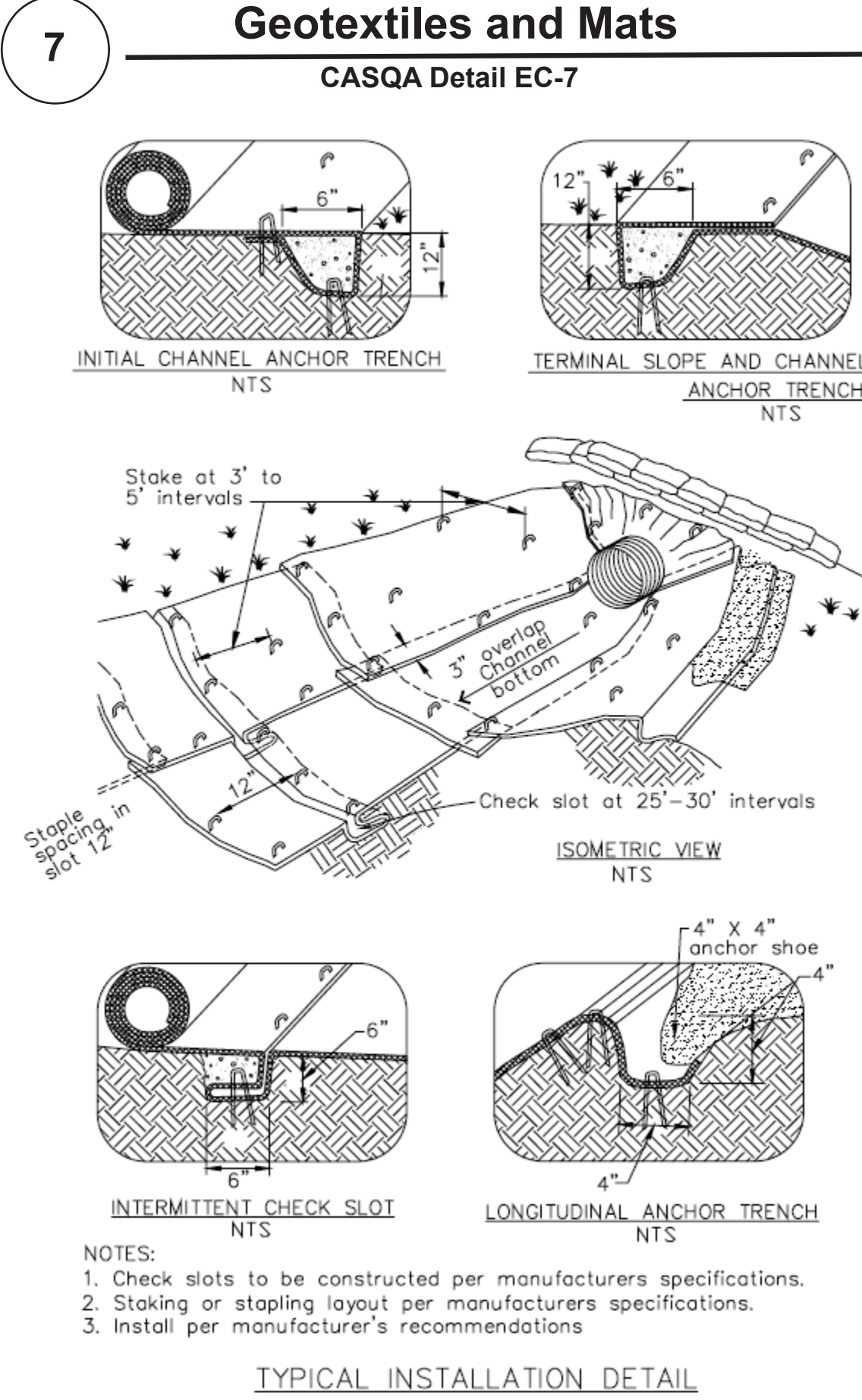
- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

### STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**
  - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
  - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber rolls or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
  - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
  - Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
  - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

Project Information





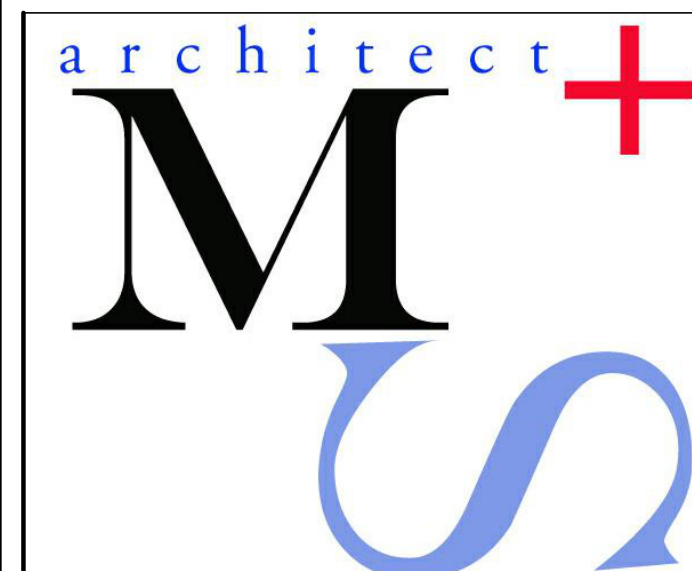
Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

Project Information







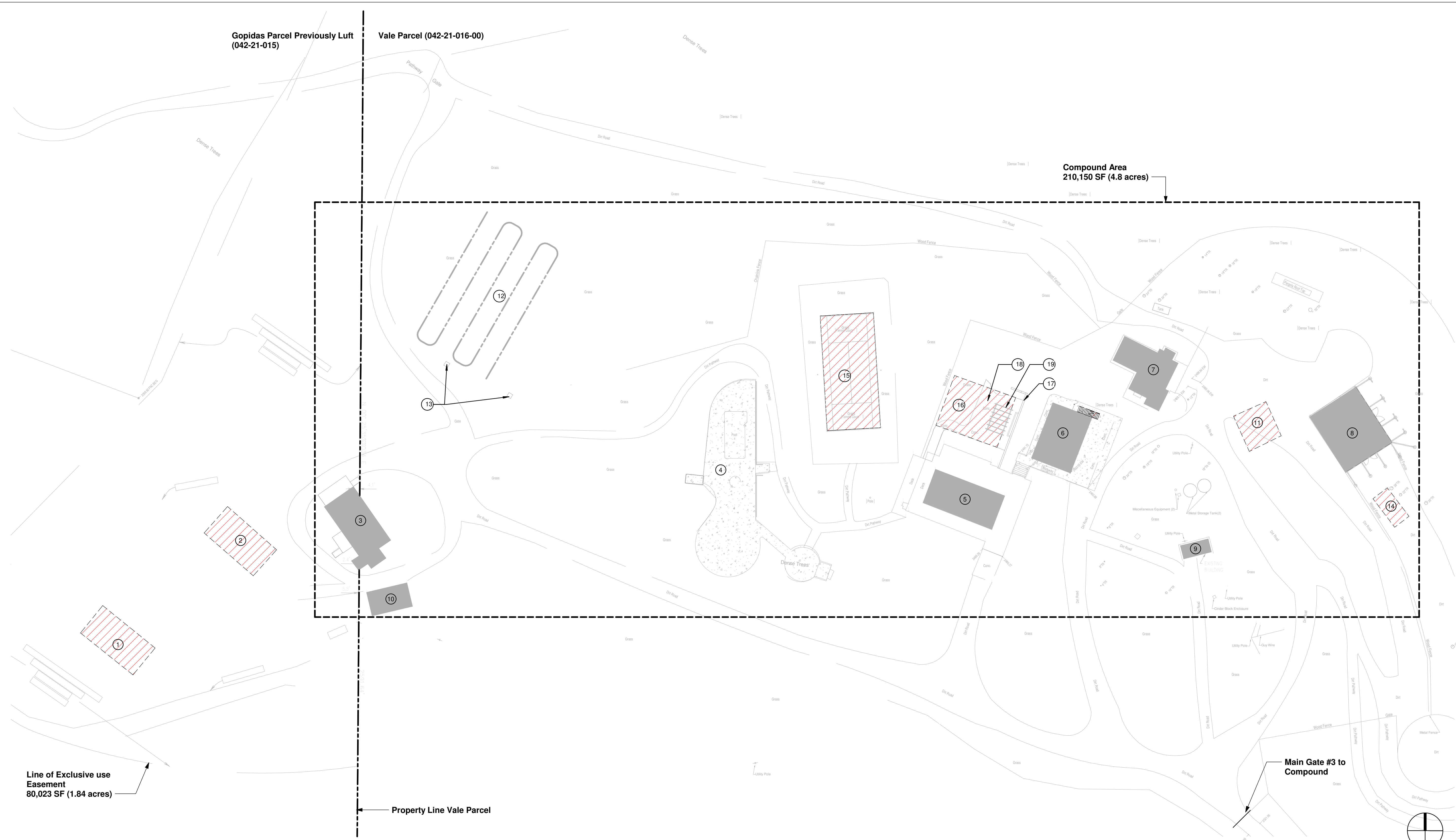


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**LEGEND**

- EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION REMOVED



**1 SITE PLAN 2021 / DEMOLITION**  
 1/32" = 1'-0"

**SITE PLAN REMARKS**

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>① Existing Modular Building #1 Removed 2019 (1,084 SF).</li> <li>② Existing Modular Building #2 Removed 2019 (1,051 SF).</li> <li>③ Existing Modular Building #3 Permitted by Department of Housing 1988 (1,207 SF). To be Upgraded or Removed under separate submittal</li> <li>④ Existing Pool and Concrete Hardscape (5,215 SF)</li> <li>⑤ Previous "Cabana" remodeled to become Main House and Decks. Existing footprint to remain as is. Second floor area added. (Total Square footage 2,346 SF including first and second floor). Un-permitted.</li> <li>⑥ New Garage/ Office Structure (First Floor 1,105 SF, Second Floor 782 SF = 1,887 SF. Un-permitted.</li> <li>⑦ Existing Farm House built 1935 (1,142 SF first floor only). Future remodel package to be submitted under separate permit.</li> <li>⑧ Existing Barn Removed and New Barn Structure Built in the same footprint. ( First Floor 1,585 SF, Second Floor 787 SF = Total Square footage 2,372 SF). Un-permitted.</li> </ul> | <ul style="list-style-type: none"> <li>⑨ Existing shed #1 (177 SF)</li> <li>⑩ Existing shed #2 (460 SF). To be Upgraded or Removed under separate submittal.</li> <li>⑪ Existing Garage lost in fire 2017 (622 SF)</li> <li>⑫ Existing Leach Field ( 5,910 SF Approximate location)</li> <li>⑬ Existing Septic Tank 1,200 Gallons (Approximate location)</li> <li>⑭ Existing Chicken Coup Removed (297 SF)</li> <li>⑮ Existing Tennis Court Removed (2,820 SF)</li> <li>⑯ Volleyball Court Removed</li> <li>⑰ New Retaining wall (9'-6" tall). Un-permitted</li> <li>⑱ New Lower Patio and walk pavers(1,254 SF)</li> <li>⑲ New Trellis structure.</li> </ul> |
|---|---|

No.	Description	Date
1	Grading Submittal	2-29-2024

**Bella Vista Ranch**  
 Grading Abatement

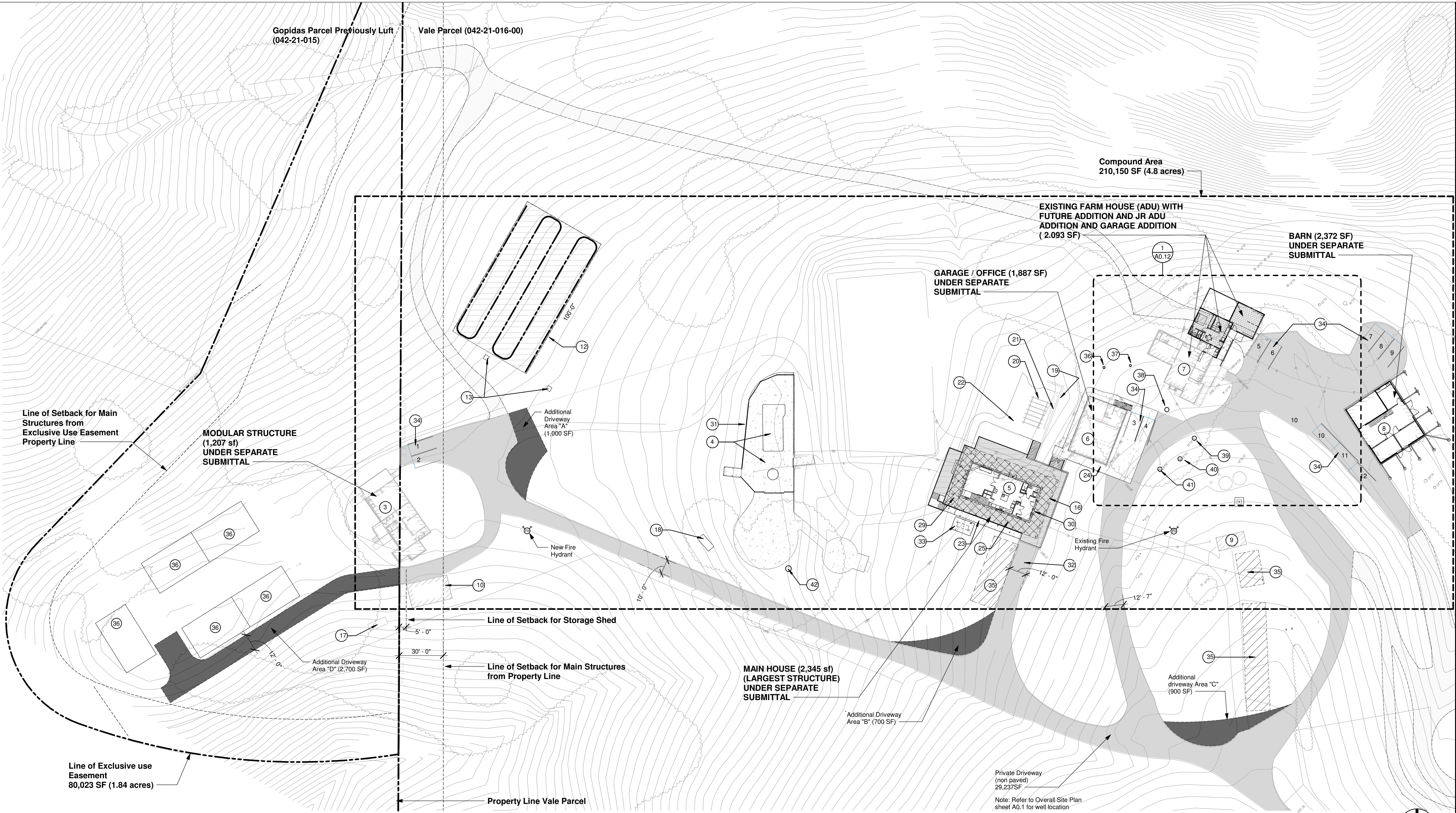
5858 Felter Road, San Jose CA 95132

**SITE PLAN 2021 / DEMOLITION**

**A0.2.0**

Project number: 2021\_10  
 Scale: As indicated





**architect +**  
**M**  
**S**

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**LEGEND**

- CONCRETE
- EXISTING DRIVEWAY (GRAVEL)
- NEW DRIVEWAY (GRAVEL)
- PATHWAY (ATV ACCESS ONLY)
- VIEW DIRECTION
- EXTERIOR ELEVATION NUMBER
- SHEET WHERE OCCURS
- DETAIL NUMBER
- SHEET WHERE OCCURS

No.	Description	Date
1	Grading Submittal	2-29-2024

**1 ENLARGED SITE PLAN**  
1/32" = 1'-0"

SITE PLAN REMARKS			
1	Not Used	11	Not Used
2	Not Used	12	Existing Leach Field ( 5,910 SF Approximate location)
3	Existing Modular Building #3 Permitted by Department of Housing 1988 (1,207 SF). Upgrades required of modulars and decks to be submitted under separate submittal.	13	Existing Septic Tank 1,200 Gallons (Approximate location)
4	Existing Pool and Concrete Hardscape (5,215 SF). Upgrade to current code under separate package.	14	Not Used
5	Previous "Cabana" remodeled to become Main House and Decks. Second floor area added. (Total Square footage 2,346 SF Including first and second floor). Un-permitted.	15	Existing Tennis Court Removed (2,820 SF)
6	New Garage/ Office Structure (First Floor 1,105 SF, Second Floor 782 SF = 1,887 SF. Un-permitted.	16	New Covered Porch at Main House (Un-permitted 1,733 SF)
7	Existing Farm House built 1935 (1,142 SF first floor only). Future remodel package to be submitted under separate permit.	17	Existing Propane tank.
8	New Barn Structure ( First Floor 1,585 SF, Second Floor 787 SF = Total Square footage 2,372 SF). Un-permitted.	18	Propane tank installed for Main House. Un-permitted
9	Existing shed #1 (177 SF)	19	New Retaining wall (9'-6" tall). Un-permitted Refer to Structural S1.0 for Structural Upgrade.
10	Existing shed #2 (460 SF). To be Upgraded or Removed under separate submittal.	20	New Trellis structure. Un-permitted
		21	New Planter
		22	New Lower Patio and walk pavers (1,254 SF)
		23	Main House Concrete Walk (225 SF)
		24	Garage Concrete Walk and stair (1,704 SF)
		25	Main House Decks and Stairs (3,005 SF)
		26	Existing Farm House Concrete Landings ( 58 SF)
		27	Existing Farm House Porch ( 229 SF)
		28	Existing Farm House Shed ( 39 SF)
		29	New Concrete slab at Main House Basement Level (318 SF)
		30	New Standing Seam Metal Roof Main House ( 1,335 SF)
		31	New fencing
		32	8'-6" x 18'-0" Parking Space Typical of (12)
		33	Concrete pad for Future Emergency Generator
		34	Contractor parking
		35	Contractor Temporary Staging Area
		36	1,000SF AG Workers Housing

EXISTING TREE INVENTORY		
No	Dia @ 54" above the ground in inches	Spicie
36	16	California Buckeye
37	12	California Walnut
38	36	California Live Oak
39	18	Pacific Bayberry
40	18	Bayberry / Buckeye Intertwined
41	24	Ponderosa Pine
42	48	California Black Oak

**Bella Vista Ranch**  
**Grading Abatement**

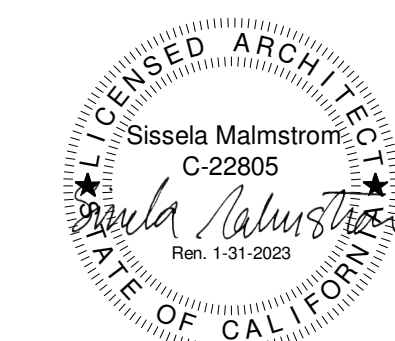
5858 Felter Road, San Jose CA 95132

**ENLARGED SITE PLAN- COMPOUND AREA**

**A0.2.1**

Project number: 2021\_10  
Scale: As indicated

5/24/2024 8:29:57 PM



**LEGEND**

	CONCRETE
	EXISTING DRIVEWAY (GRAVEL)
	NEW DRIVEWAY PHASE 1 (GRAVEL)
	PHASE 1
	PHASE 2
	PHASE 3
	EXISTING CONSTRUCTION - NO WORK

No.	Description	Date
1	Grading Submittal	2-29-2024

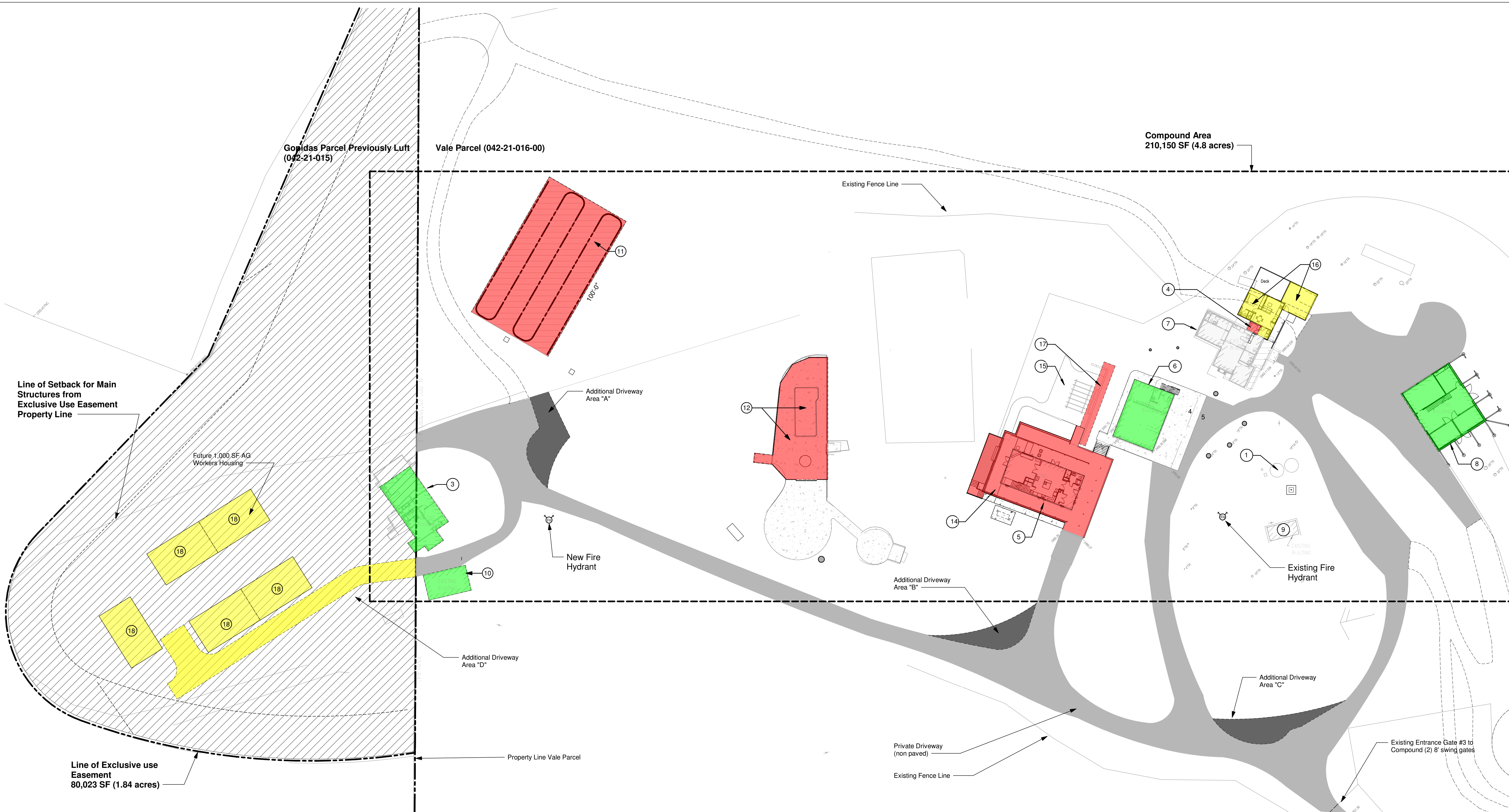
**Bella Vista Ranch  
Grading Abatement**

5858 Felter Road, San Jose CA 95132

**CONSTRUCTION  
PHASING**

**A0.2.2**

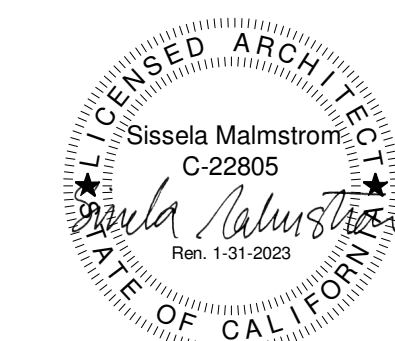
Project number: 2021\_10  
Scale: As indicated



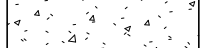
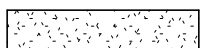


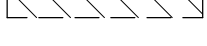
**1 ENLARGED SITE PLAN CONSTRUCTION PHASING**  
1/32" = 1'-0"

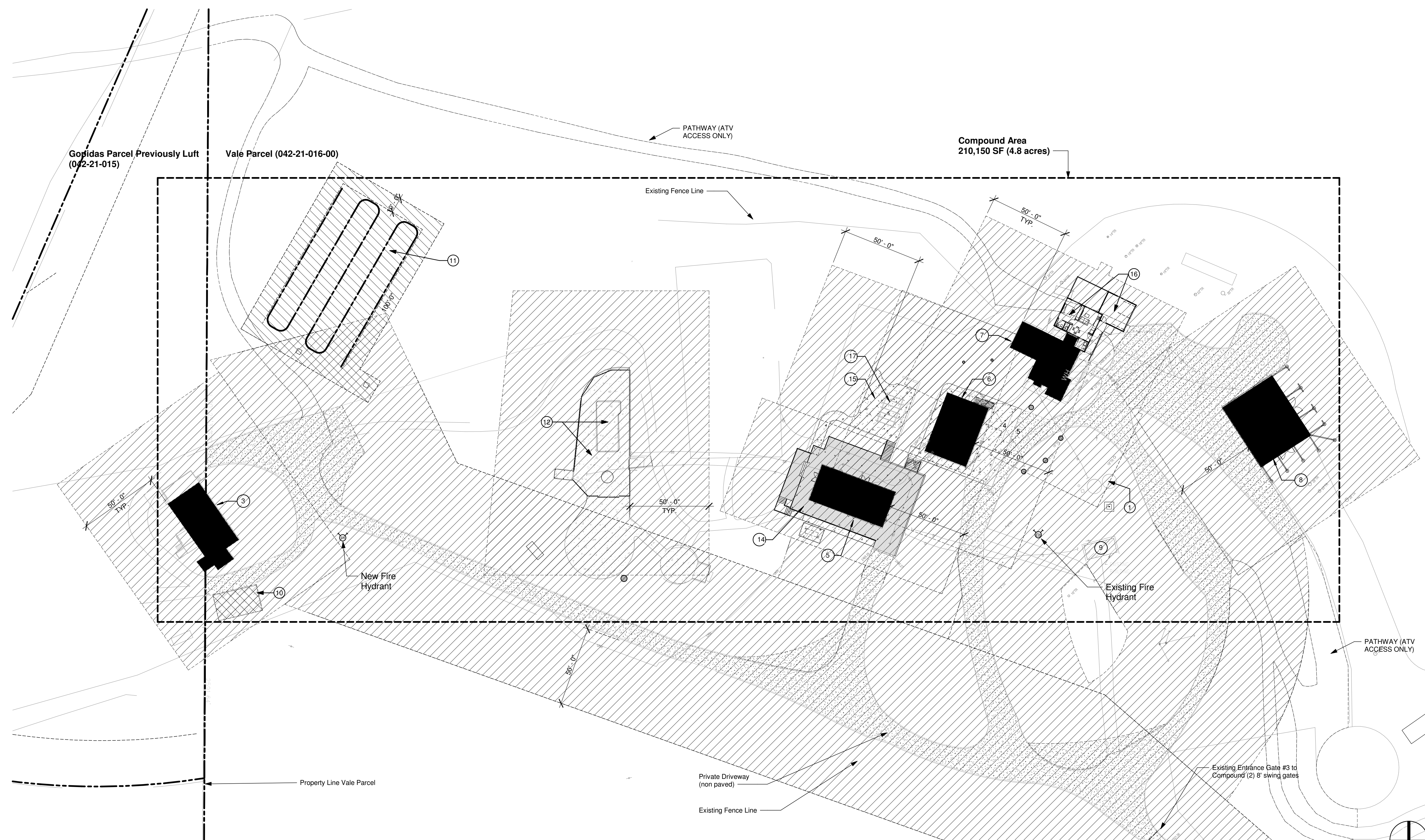
SITE PLAN REMARKS	
1 Existing Water Tanks to be designated for fire suppression use. 5,000 Gal Capacity each.	12 Existing Pool and Hardscape. To be Upgraded under Separate Permit. Phase 1
2 Not Used	13 Not Used
3 Existing Modular Building #3 Permitted by Department of Housing 1988 (1,207 SF). Modular and decks to be upgraded under separate permit or removed (Phase 2).	14 Existing Deck
4 Farmhouse Bathroom addition (Pre 2004) to be upgraded to current code.	15 Existing Lower Patio
5 Previous "Cabana" remodeled to become Main House and Decks. Second floor area added. (Total Square footage 2,346 SF including first and second floor). Un-permitted. Add Fire Sprinkler Protection Under Separate Permit.	16 Future Junior ADU and Garage (900SF)
6 New Garage/ Office Structure (First Floor 1,105 SF, Second Floor 782 SF = 1,887 SF. Un-permitted. Under Separate Permit	17 Retaining Wall
7 Existing Farm House built 1935 (1,151 SF first floor only). Existing Grandfathered in. No work.	18 Future AG Workers Housing (1,000SF)
8 New Barn Structure ( First Floor 1,585 SF, Second Floor 787 SF = Total Square footage 2,372 SF). Un-permitted.	
9 Existing shed #1 (177 SF)	
10 Existing shed #2 (460 SF). To be upgraded or removed under separate permit. Phase 2	
11 Existing Leach Field	

CONSTRUCTION PHASING SITE/BUILDING			
CONSTRUCTION PHASING - SITE AND BUILDINGS			
SITWORK	PHASE 1	PHASE 2	PHASE 3
Septic	X		
Site Fire	X		
Site Electrical	X		
Generator	X		
Pool	X		
Road Extensions " A", "B", "C"	X		
Retaining Wall	X		
BUILDING			
Main House	X		
Garage		X	
Barn		X	
Modular #3		X	
Large Shed		X	
Farm House Bathroom Remodel	X		
Junior ADU / Garage			X
Road Extension "D"			X
AG Workers Housing			X



**LEGEND**

-  CONCRETE
-  DRIVEWAY (GRAVEL)
-  BUILDINGS
-  TEMPORARY DISTURBANCE AREA
-  PERMANENT DEVELOPMENT AREA



**1 ENLARGED SITE PLAN HABITAT**  
 1/32" = 1'-0"

**SITE PLAN REMARKS**

- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>① Existing Water Tanks to be designated for fire suppression use. 5,000 Gal Capacity each.</li> <li>② Not Used</li> <li>③ Existing Modular Building #3 Permitted by Department of Housing 1988 (1,207 SF). Modular and decks to be upgraded or removed under separate permit.</li> <li>④ Not Used</li> <li>⑤ Previous "Cabana" remodeled to become Main House and Decks. Second floor area added. (Total Square footage 2,346 SF including first and second floor). Un-permitted. Add Fire Sprinkler Protection Under Separate Permit.</li> <li>⑥ New Garage/ Office Structure (First Floor 1,105 SF, Second Floor 782 SF = 1,887 SF. Un-permitted. Under Separate Permit</li> <li>⑦ Existing Farm House built 1935 (1,151 SF first floor only). Future remodel package to be submitted under separate permit. Phase 3</li> <li>⑧ New Barn Structure ( First Floor 1,585 SF, Second Floor 787 SF = Total Square footage 2,372 SF). Un-permitted.</li> <li>⑨ Existing shed #1 (177 SF)</li> <li>⑩ Existing shed #2 (460 SF). To be upgraded or removed under separate permit.</li> <li>⑪ Existing Leach Field</li> </ul> | <ul style="list-style-type: none"> <li>⑫ Existing Pool and Hardscape. To be Upgraded under Separate Permit. Phase 1</li> <li>⑬ Not Used</li> <li>⑭ Existing Deck</li> <li>⑮ Existing Lower Patio</li> <li>⑯ Future Junior ADU and Garage (900SF)</li> <li>⑰ Existing Trellis Structure</li> </ul> |
|--|---|

No.	Description	Date
1	Grading Submittal	2-29-2024

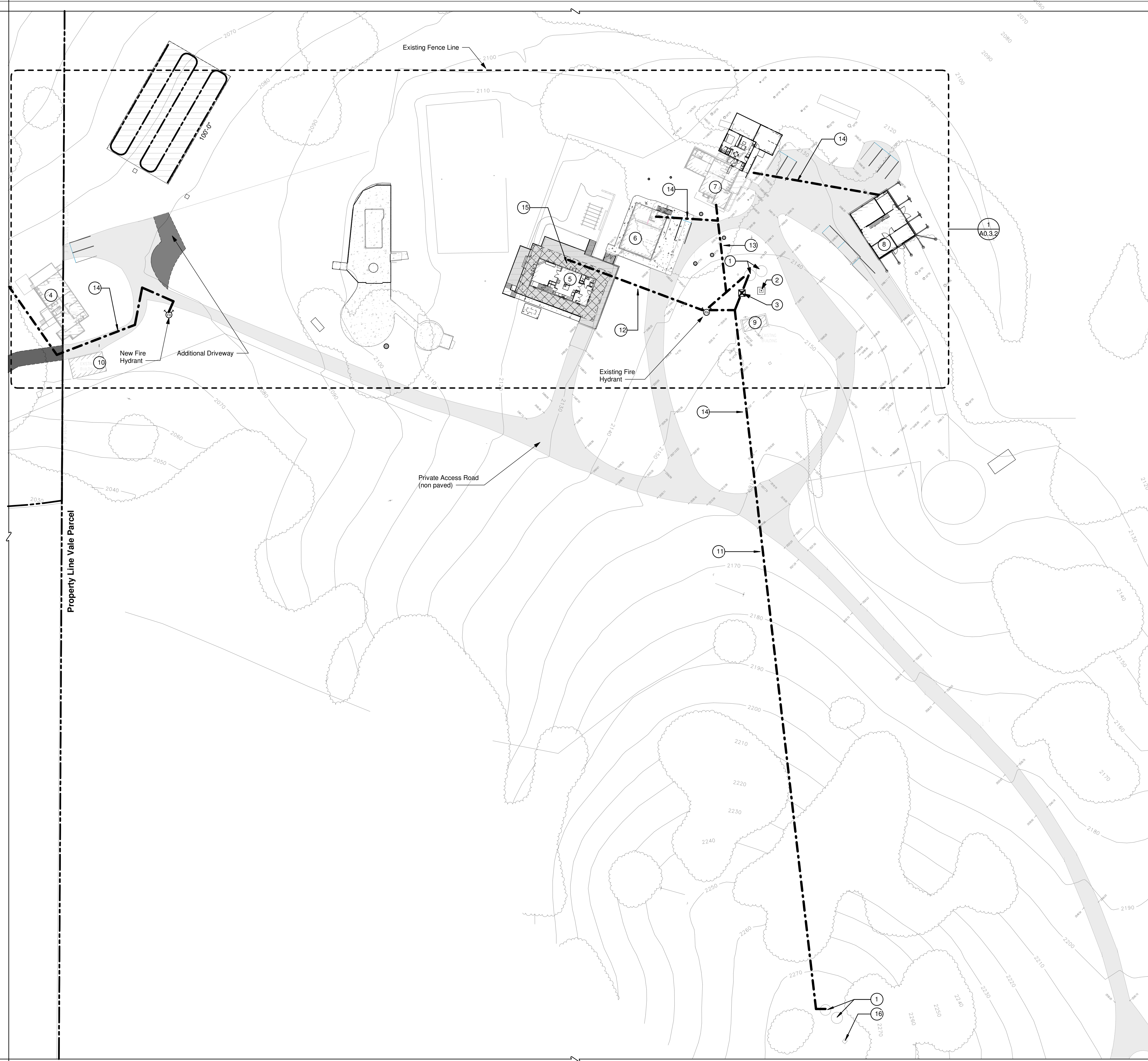
**Bella Vista Ranch  
 Grading Abatement**

5858 Felter Road, San Jose CA 95132

**COMPOUND  
 HABITAT PLAN**

**A0.2.3**

Project number: 2021\_10  
 Scale: As indicated



**SITE PLAN REMARKS**

- ① Existing Water Tanks to be designated for fire suppression use. 5,000 Gal Capacity each.
- ② New High Flow Firefighting Pump. On a new concrete pad. Installation will be as per 2016 NFPA 13 and 2017 NFPA 25.
- ③ Check Valve
- ④ Existing Modular Building #3 Permitted by Department of Housing 1988 (1,207 SF)
- ⑤ Previous "Cabana" remodeled to become Main House and Decks. Second floor area added. (Total Square footage 2,346 SF Including first and second floor). Un-permitted.
- ⑥ New Garage/ Office Structure (First Floor 1,105 SF, Second Floor 782 SF = 1,887 SF. Un-permitted.
- ⑦ Existing Farm House built 1935 (1,142 SF first floor only). Future remodel package to be submitted under separate permit.
- ⑧ New Barn Structure ( First Floor 1,585 SF, Second Floor 787 SF = Total Square footage 2,372 SF). Un-permitted.
- ⑨ Existing shed #1 (177 SF)
- ⑩ Existing shed #2 (460 SF)
- ⑪ 3" Dia supply line
- ⑫ 2" Dia Supply line
- ⑬ 1.5" Dia Supply Line
- ⑭ 1" Dia Supply Line
- ⑮ Fire Alarm Panel
- ⑯ Existing Electrical Panel
- ⑰ Not Used

**SITE PLAN FIRE NOTES**

- 1. Owner to test and maintain the high-flow fire fighting pump by the Water tanks at least every year.
- 2. Owner to maintain areas next to structures and Water tanks free from leaf litter, branches, dry grass etc.



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**LEGEND**

- CONCRETE
- EXISTING DRIVEWAY (GRAVEL)
- NEW DRIVEWAY (GRAVEL)
- PATHWAY (ATV ACCESS ONLY)
- VIEW DIRECTION
- EXTERIOR ELEVATION NUMBER
- SHEET WHERE OCCURS
- DETAIL NUMBER
- SHEET WHERE OCCURS TYP.

No.	Description	Date
1	Grading Submittal	2-29-2024

**Bella Vista Ranch  
 Grading Abatement**

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**FIRE SUPPRESSION  
 PLAN**

**A0.3.1**

Project number: 2021\_10  
 Scale: As indicated



**LEGEND**

- CONCRETE
- EXISTING DRIVEWAY (GRAVEL)
- NEW DRIVEWAY (GRAVEL)
- PATHWAY (ATV ONLY)
- EXISTING STRUCTURES
- FUTURE STRUCTURES

No.	Description	Date
1	Grading Submittal	2-29-2024

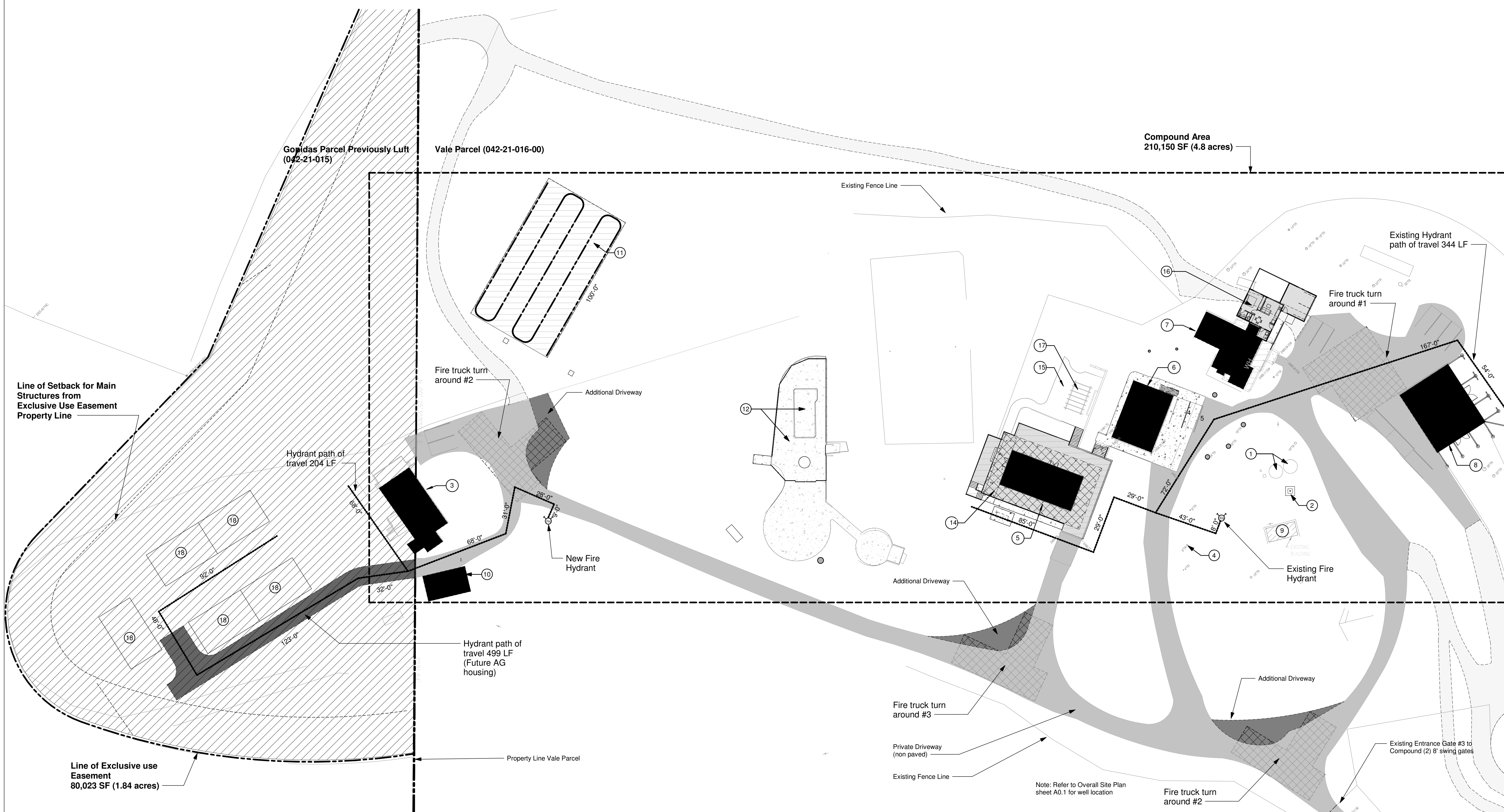
**Bella Vista Ranch  
Grading Abatement**

5858 Felter Road, San Jose CA 95132

**ENLARGED FIRE  
SUPPRESSION PLAN**

**A0.3.2**

Project number: 2021\_10  
Scale: As indicated



**1 ENLARGED SITE PLAN FIRE ACCESS**  
1/32" = 1'-0"

**SITE PLAN REMARKS**

- ① Existing Water Tanks to be designated for fire suppression use, 5,000 Gal Capacity each.
- ② New High Flow Firefighting Pump. On a new concrete pad. Installation will be as per 2016 NFPA 13 and 2017 NFPA 25.
- ③ Existing Modular Building #3 Permitted by Department of Housing 1988 (1,207 SF)
- ④ Existing Tree Typical
- ⑤ Previous "Cabana" remodeled to become Main House and Decks. Second floor area added. (Total Square footage 2,346 SF Including first and second floor). Un-permitted. Add Fire Sprinkler Protection Under Separate Permit.
- ⑥ New Garage/ Office Structure (First Floor 1,105 SF, Second Floor 782 SF = 1,887 SF. Un-permitted.
- ⑦ Existing Farm House built 1935 (1,151 SF first floor only). Future remodel package to be submitted under separate permit.
- ⑧ New Barn Structure ( First Floor 1,585 SF, Second Floor 787 SF = Total Square footage 2,372 SF). Un-permitted.
- ⑨ Existing shed #1 (177 SF)
- ⑩ Existing shed #2 (460 SF)
- ⑪ Existing Leach Field

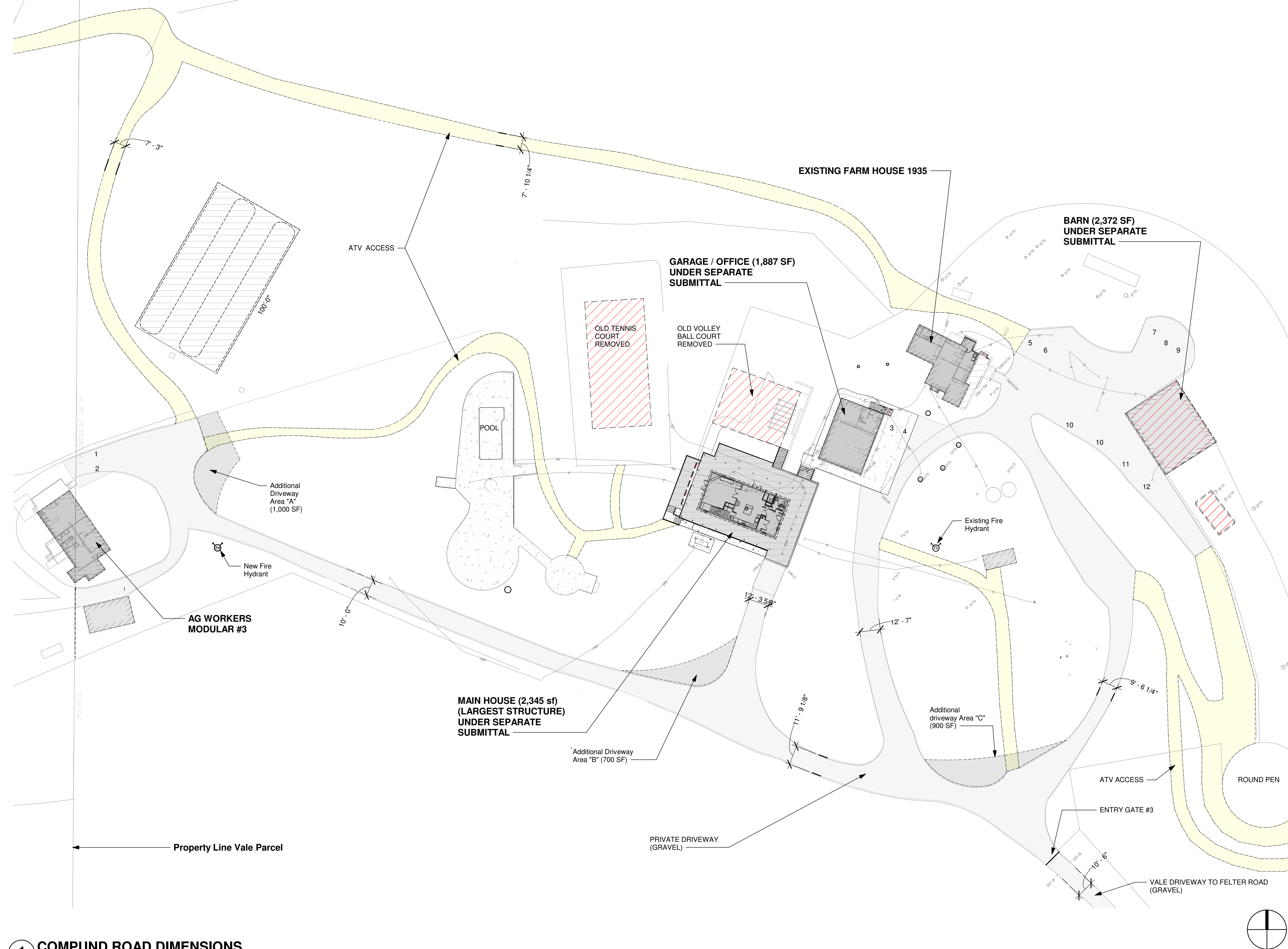
- ⑫ Existing Pool and Hardscape
- ⑬ Not Used
- ⑭ Existing Deck
- ⑮ Existing Lower Patio
- ⑯ Future Junior ADU and Garage (900SF)
- ⑰ Existing Trellis Structure
- ⑱ Future AG Workers Housing

**SITE PLAN FIRE NOTES**

1. Owner to test and maintain the high-flow fire fighting pump by the Water tanks at least every year.
2. Owner to maintain areas next to structures and Water tanks free from leaf litter, branches, dry grass etc.
- 3.

Gopidas Parcel Previously Luft  
(042-21-015)

Vale Parcel (042-21-016-00)



**1** **COMPOUND ROAD DIMENSIONS**  
1/32" = 1'-0"



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**EXISTING ROADS  
COMPOUND**

**A0.3.3**

Project number: 2021\_10  
Scale: 1/32" = 1'-0"

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PHOTO "D" 1 MILE EAST AFTER PASSING THROUGH THE RANCH



PHOTO "C" WATER TRUCK NORTH SIDE OF RANCH



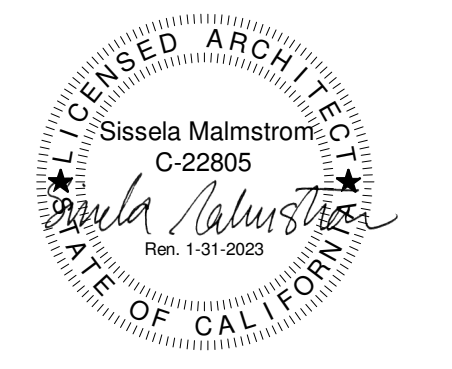
PHOTO "B" TRUCK LEAVING BUILDING AREA



PHOTO "A" DURING EAST BAY FIRE 2020



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**NOTES:**

- Length of road from entry gate by the public road (Gate #1) to the entry gate to the building complex (Gate #3) equals approximately 5,750 linear feet. (17) turn outs have been provided = an average of 338 feet apart.
- Refer to Detail 2/A0.5 for required dimensions of turnouts
- Refer to detail 3/A0.5 for required dimensions of fire truck turn around.
- Refer to Civil Drawing C2.0 Road Exhibit for more information
- Distance from Gate #1 and Gate #2 = Approximately 0.84 miles
- Northern Alternate Fire Access Route from Crustal Springs Volunteer Fire Department Station to Vale Property 5858 Felter Road = Approximately 7.30 miles via Roadway path of travel (5.26 miles point to point Distance)
- Fire Department Access (Privet Road) to be made of "all weather" material capable of holding 75,000 Lbs. Verify compliance.

No.	Description	Date
1	Grading Submittal	2-29-2024

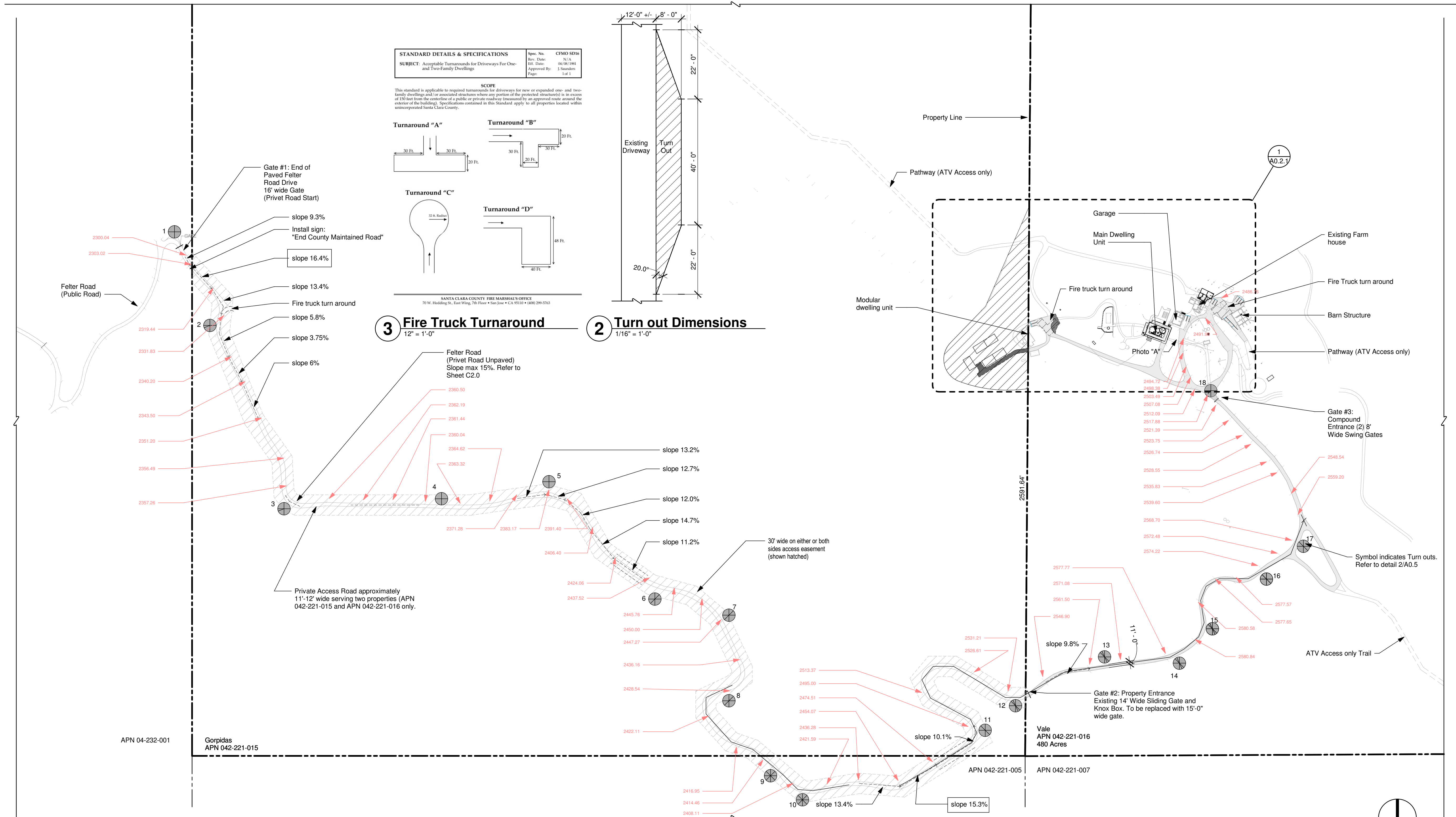
**Bella Vista Ranch  
Grading Abatement**

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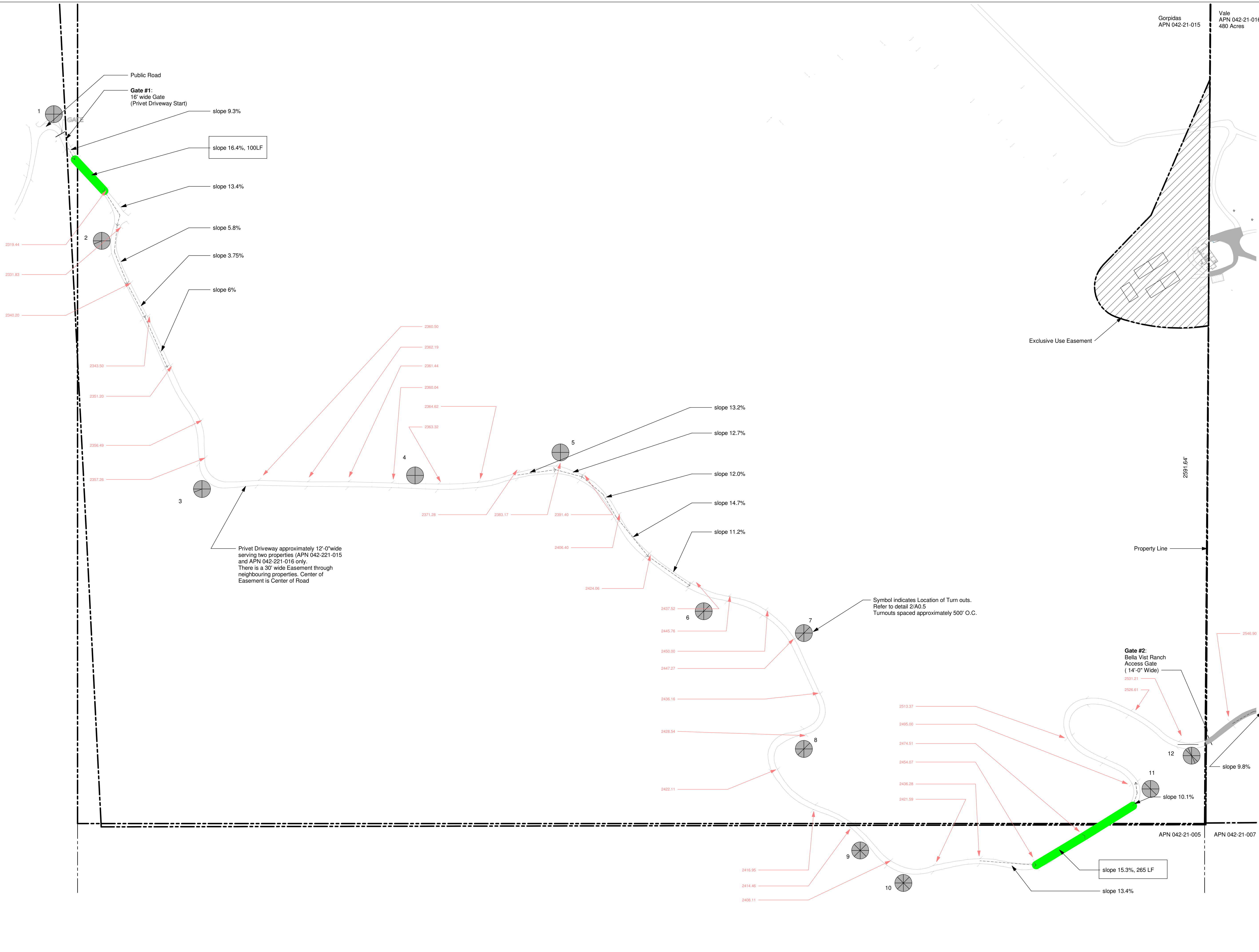
**ROAD / FIRE TRUCK  
ACCESS PLAN**

**A0.5.1**

Project number: 2021\_10  
Scale: As indicated



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Gorpidas  
APN 042-21-015

Vale  
APN 042-21-016  
480 Acres



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No.	Description	Date
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### Bella Vista Ranch Grading Abatement

5858 Felter Road, San Jose CA 95132

### ACCESS ROAD SECTION 1

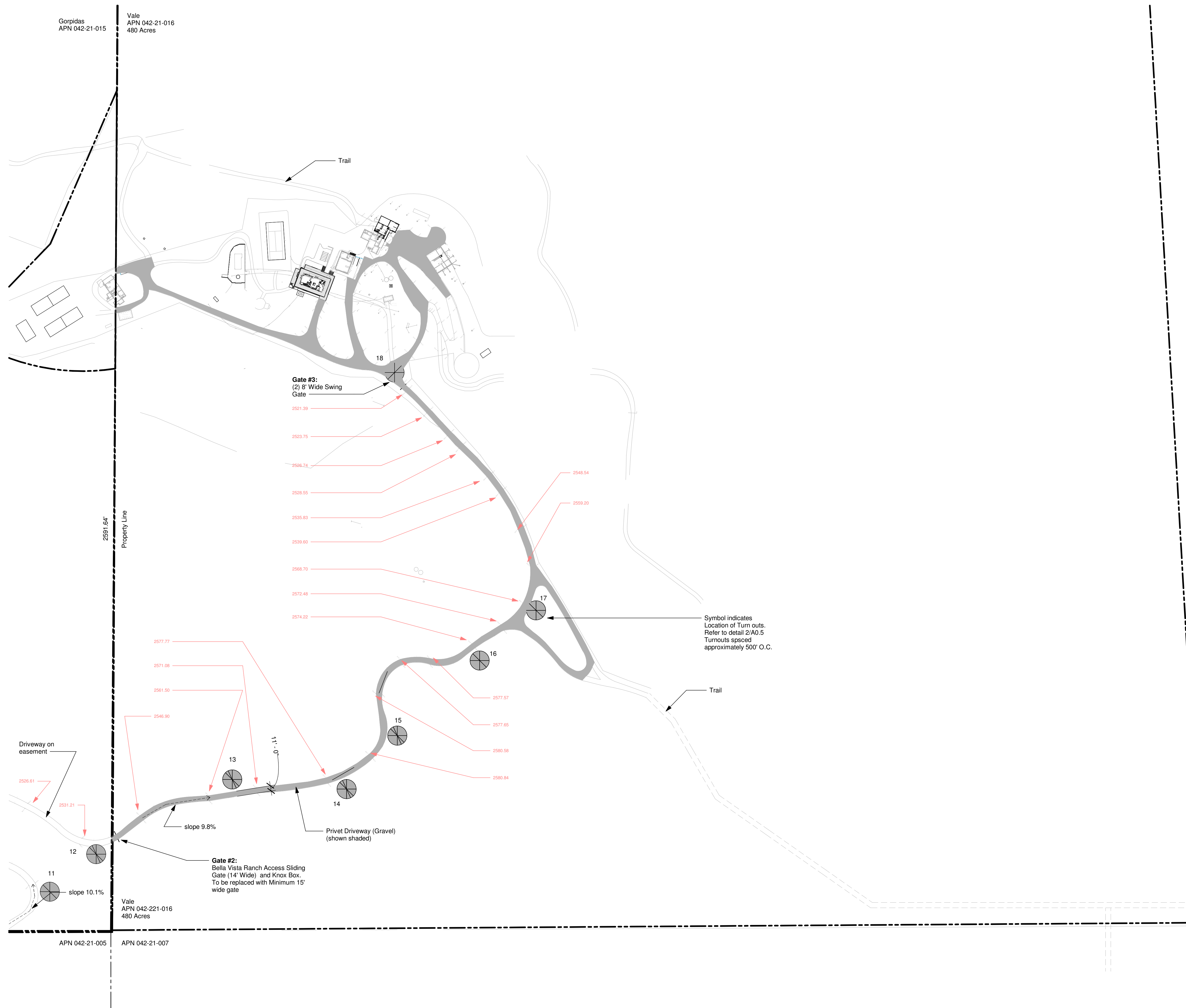
## A0.5.2

Project number: 2021\_10  
Scale: 1" = 100'-0"

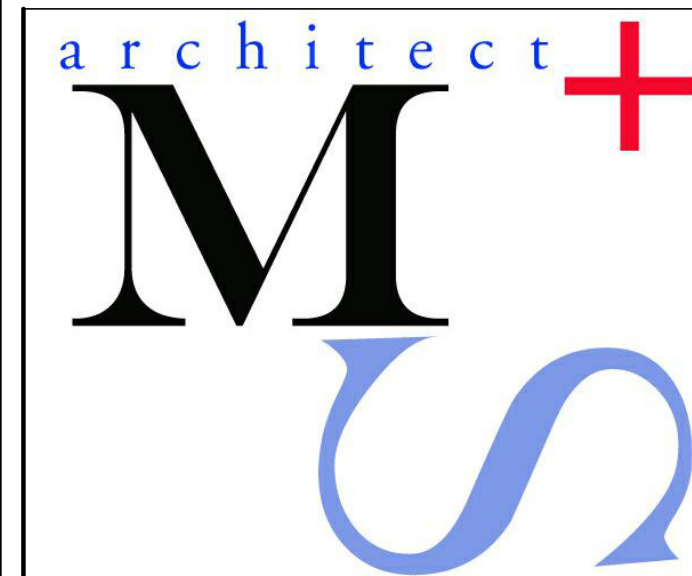
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1" = 100'-0"

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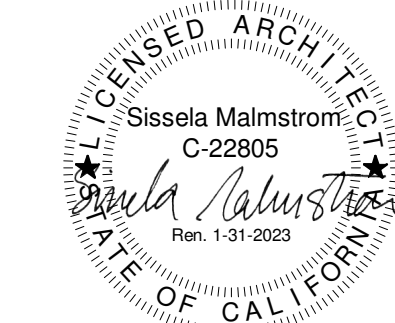




**1 ACCESS ROAD SECTION 2**  
1" = 100'-0"



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**Bella Vista Ranch  
Grading Abatement**

5858 Felter Road, San Jose CA 95132

**ACCESS ROAD  
SECTION 2**

**A0.5.3**

Project number: 2021\_10  
Scale: 1" = 100'-0"

EXHIB E  
**FIRE TRUCK TURNOUTS ANALYSIS**

**I. Backgrounds**

- A. Field measurements were taken 8/17/23-8/26/23 of the existing 18 fire truck turnouts from the transition of the public roadway (Felter) northwest of the property by length, width, depth and square footage. The turnouts are approximately 0.63 miles from the Bella Vista Ranch compound gate. The fire truck turnouts have been maintained and upgraded by the owner/applciant since the property was purchased.
- B. Dimensions including grades within the turn outs per overlays and diagrams comparing SCC minimum turn out elevations to existing conditions. The distance between turnouts are provided on Architect Sheet Abatement Road/Fire Truck Access Plan A0.5 overlaid on Kier and Wright survey.

**II. Summary of Findings**

- A. 11 of the 18 firetruck turnouts are code compliant. (3, 4, 5, 6, 7, 9, 10, 11, 12, 16 and 17).
- B. 7 of the 18 fire truck turnouts are not code compliant. (1, 2, 8, 13, 14, 15 and 18), but meet SCC criteria for "same practical effect" and are so noted.
- C. There are only two locations along the roadway from public (Felter) to the ranch compound that exceed the SCC criteria of 15%.  
(See ACCESS ROAD SECTION 1 A0.7)  
(1) 16.4% between fire truck turnouts #1 and #2 for 285 L.F.  
(2) 15.3% between fire truck turnouts #1 and #1 for 100 L.F.

**IV. Geotechnical Verification of Findings**

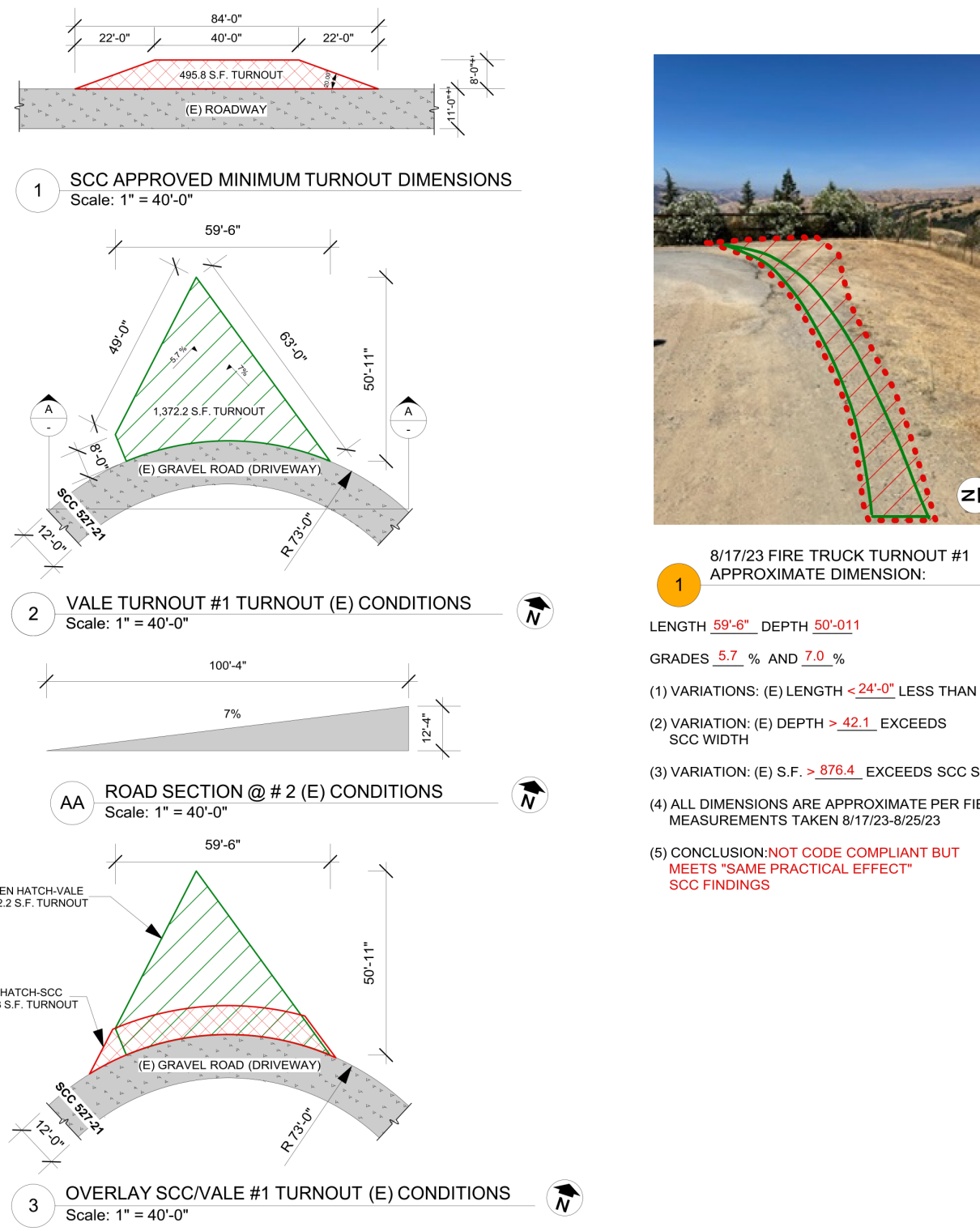


EXHIBIT F  
**FIRE TRUCK TURNOUTS ANALYSIS 5 & 4**

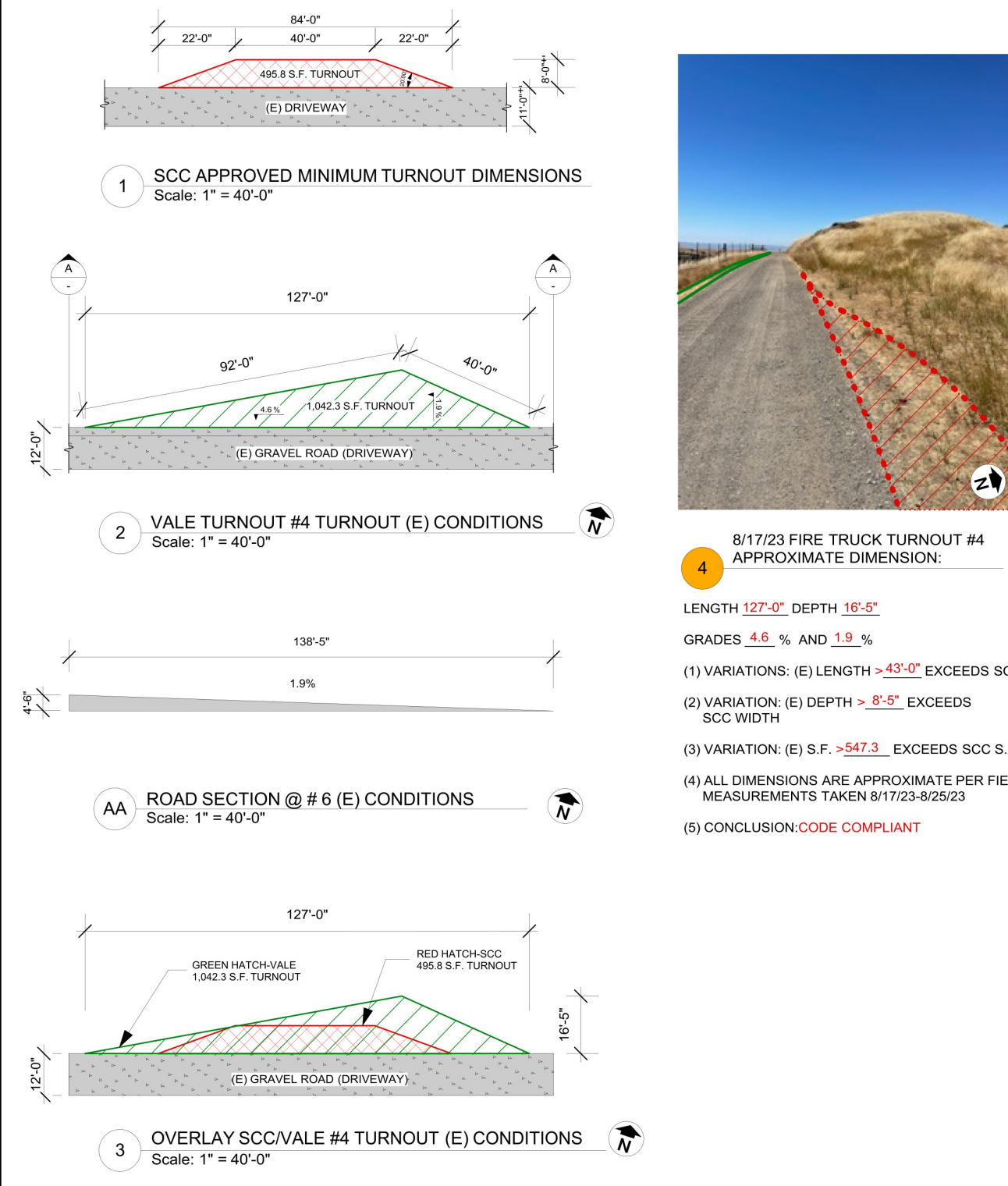
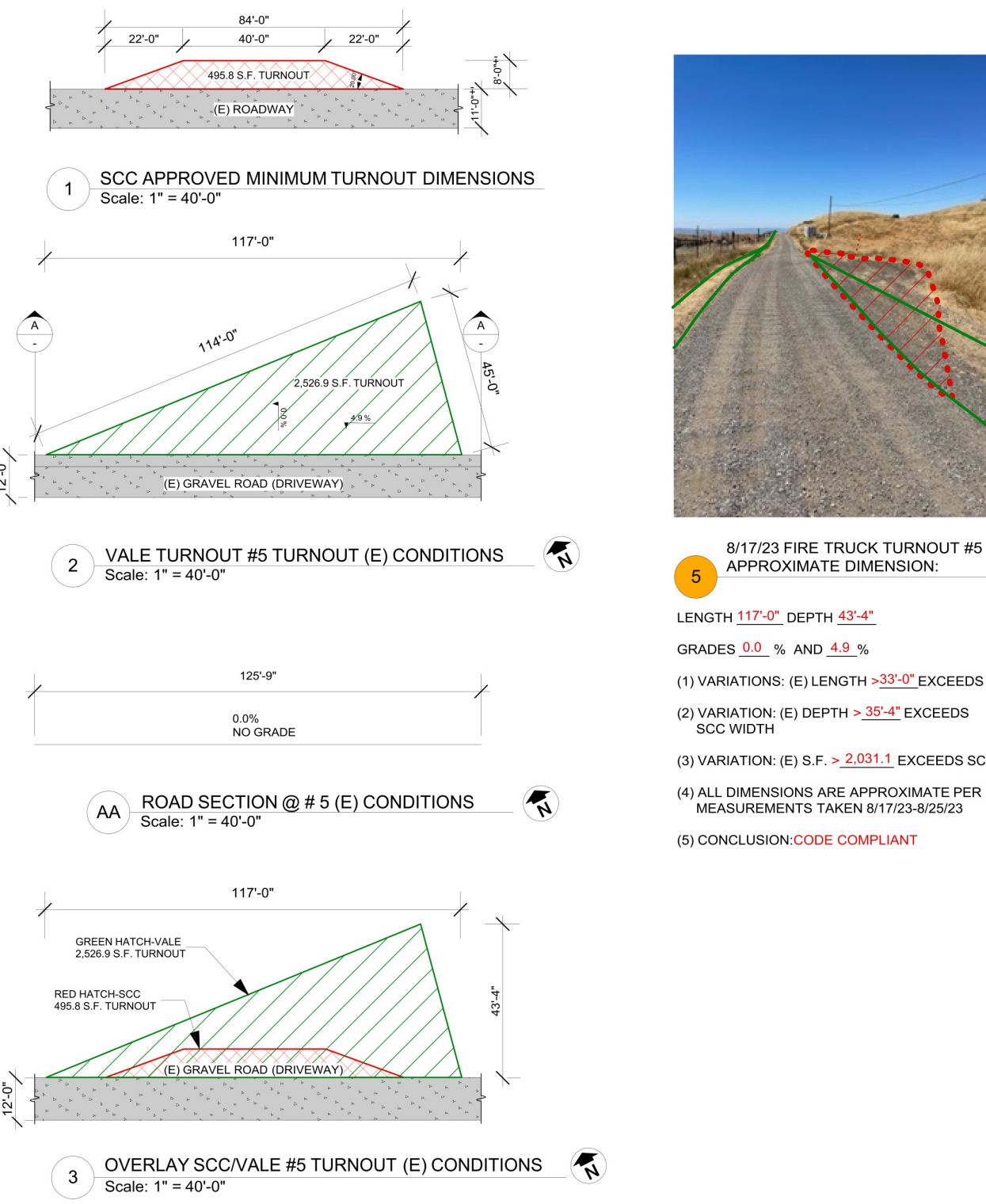


EXHIBIT F  
**FIRE TRUCK TURNOUTS ANALYSIS 3 & 2**

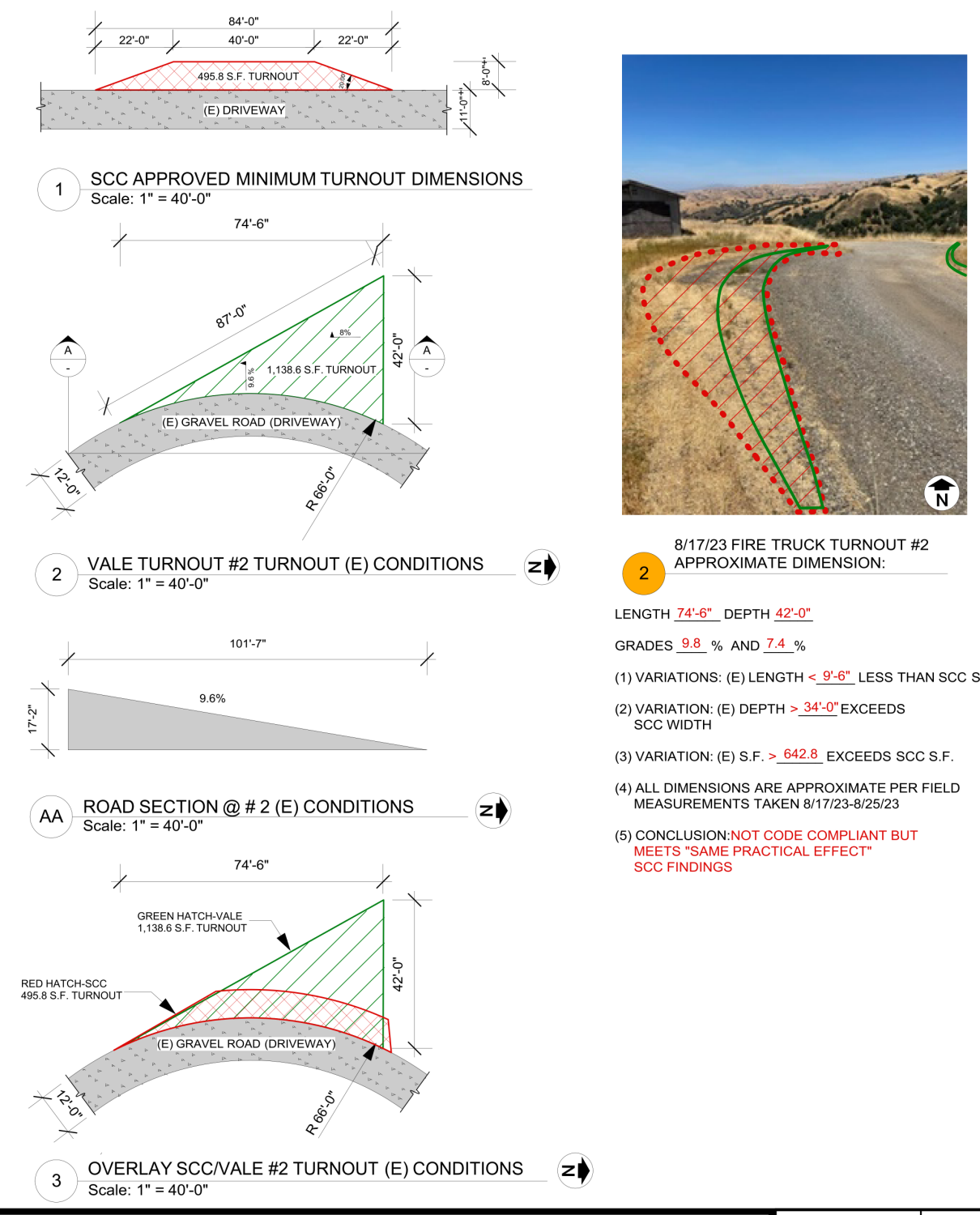
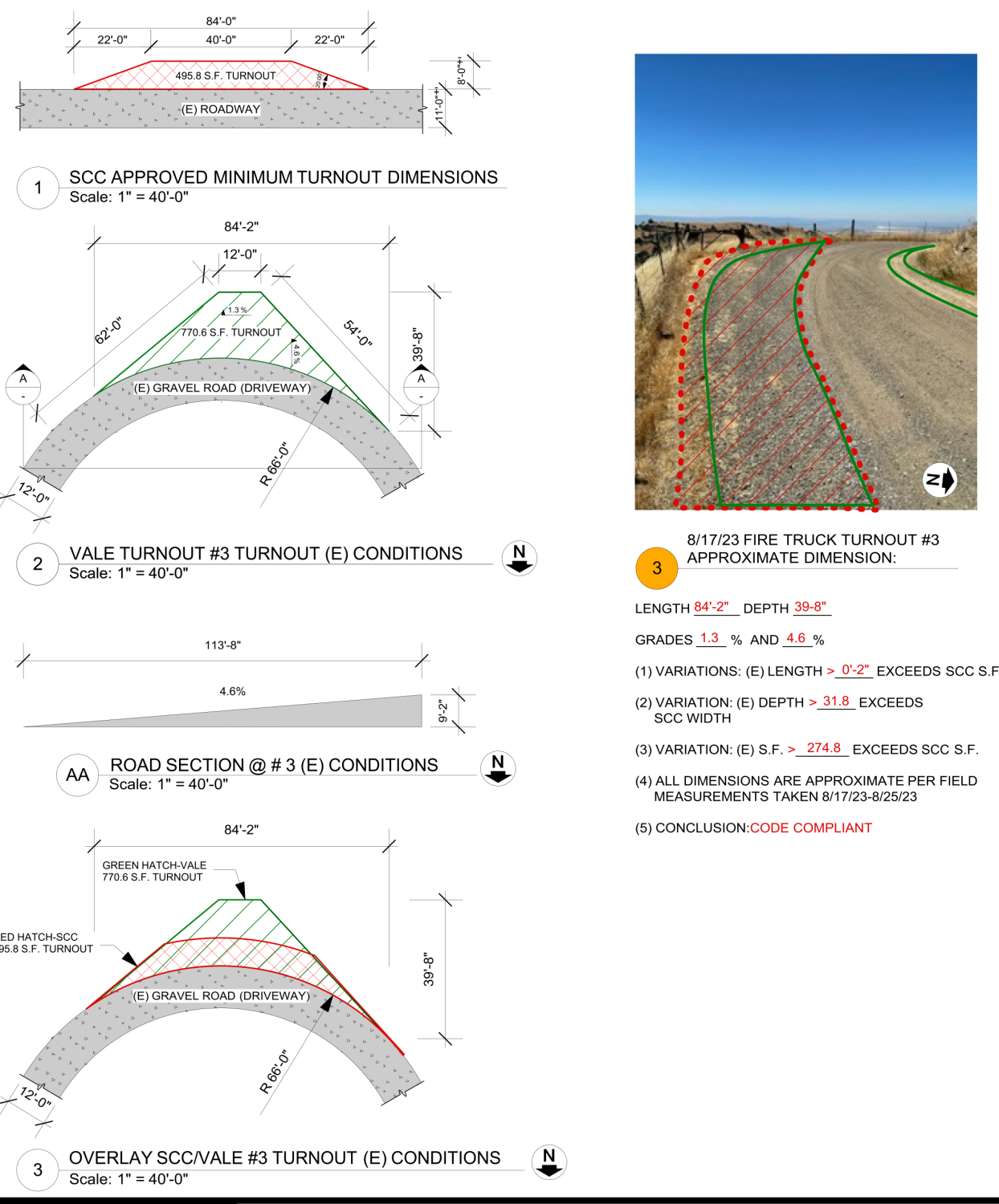
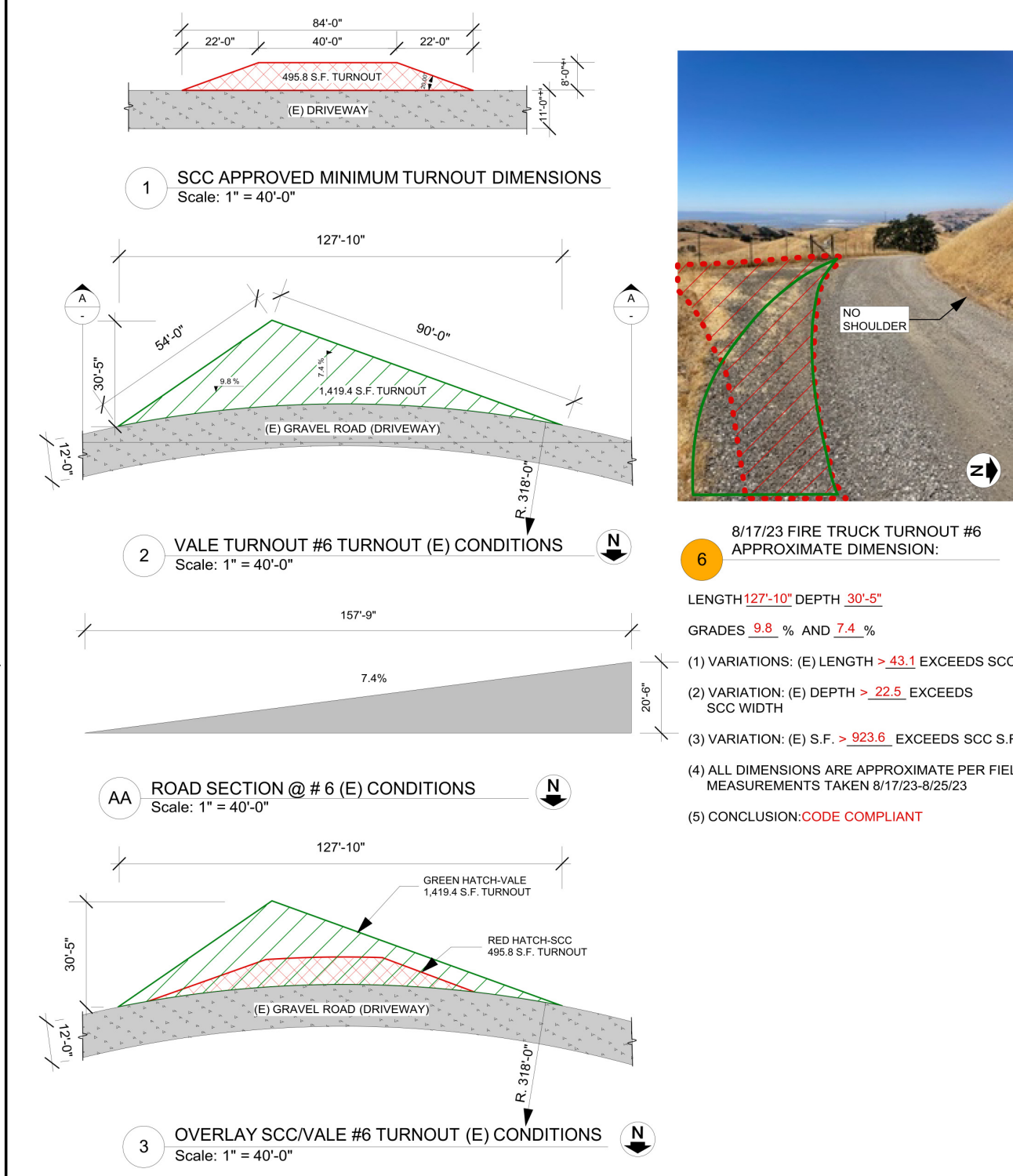
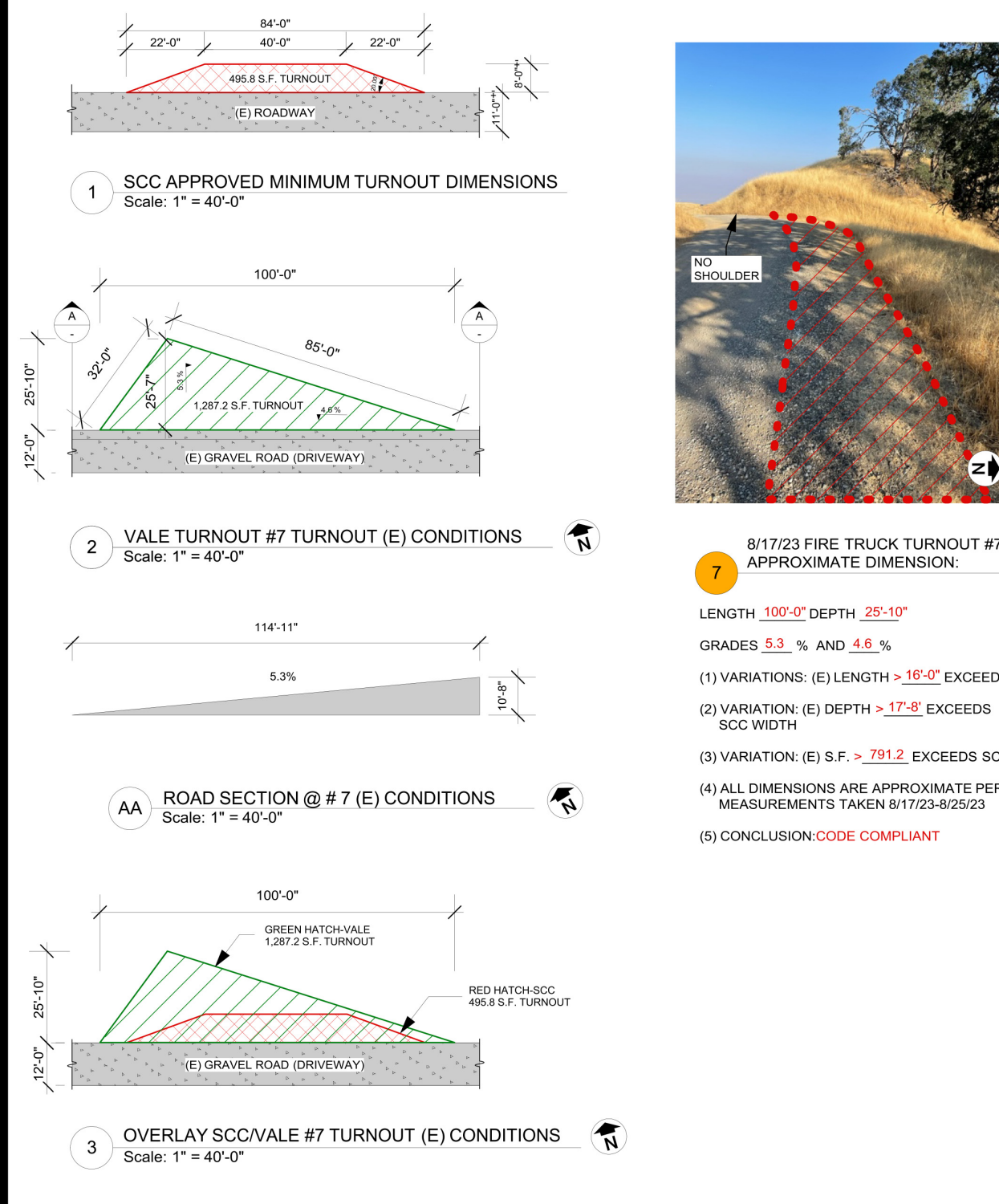


EXHIBIT F  
**FIRE TRUCK TURNOUTS ANALYSIS 7 & 6**

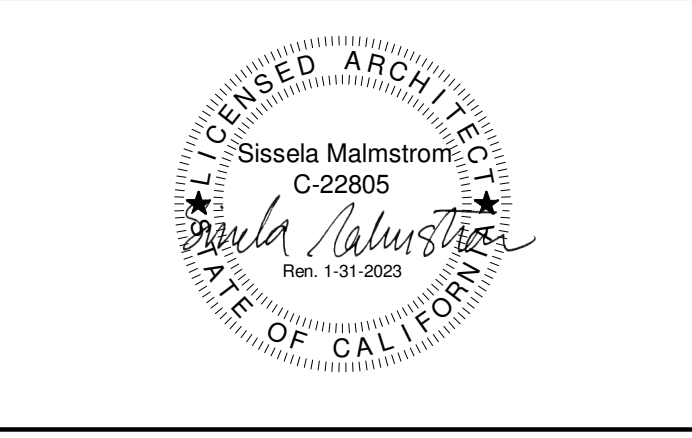


architect +

**M**

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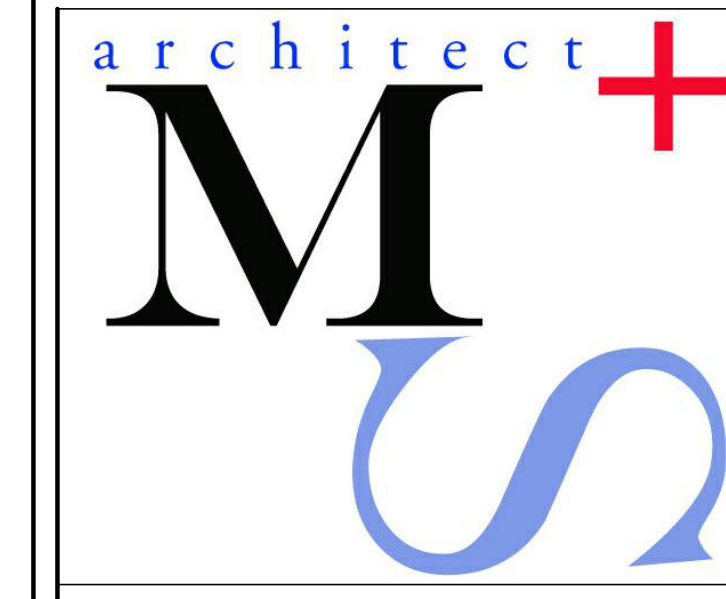
**Bella Vista Ranch  
Grading Abatement**

5858 Felter Road, San Jose CA 95132

**FIRE TRUCK  
TURNOUTS  
ANALYSIS**

**A0.5.4**

Project number: 2021\_10  
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### Bella Vista Ranch Grading Abatement

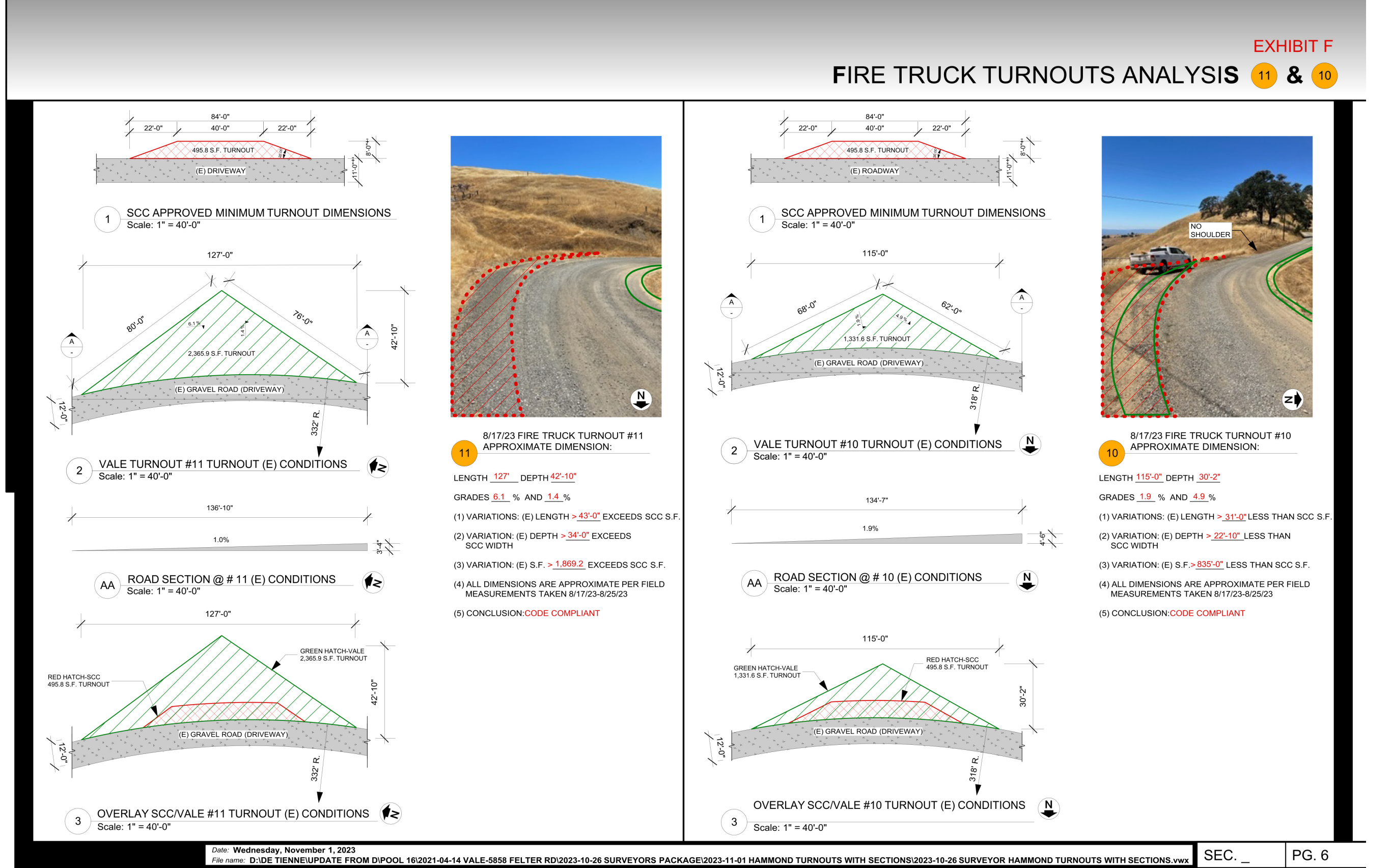
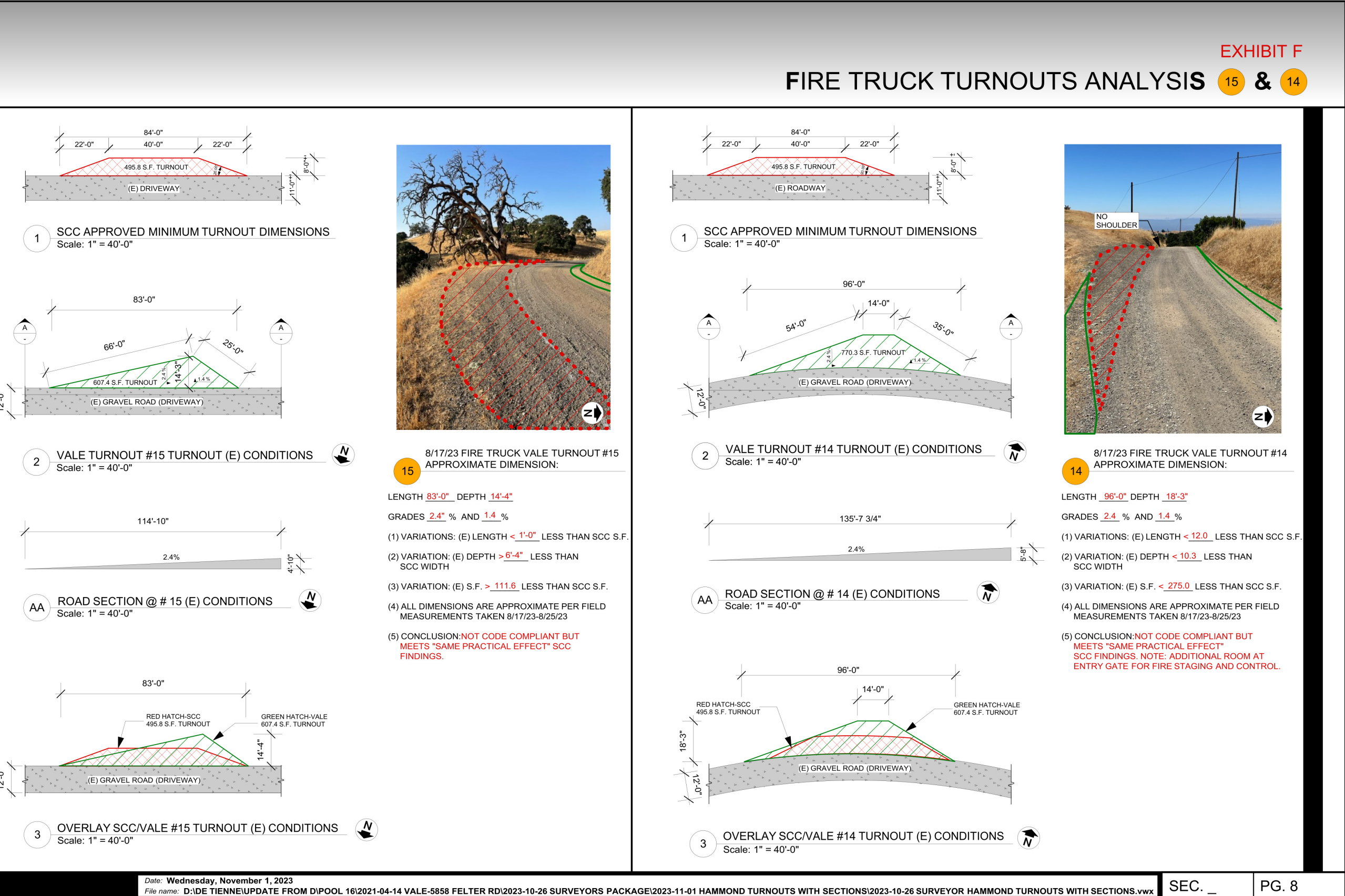
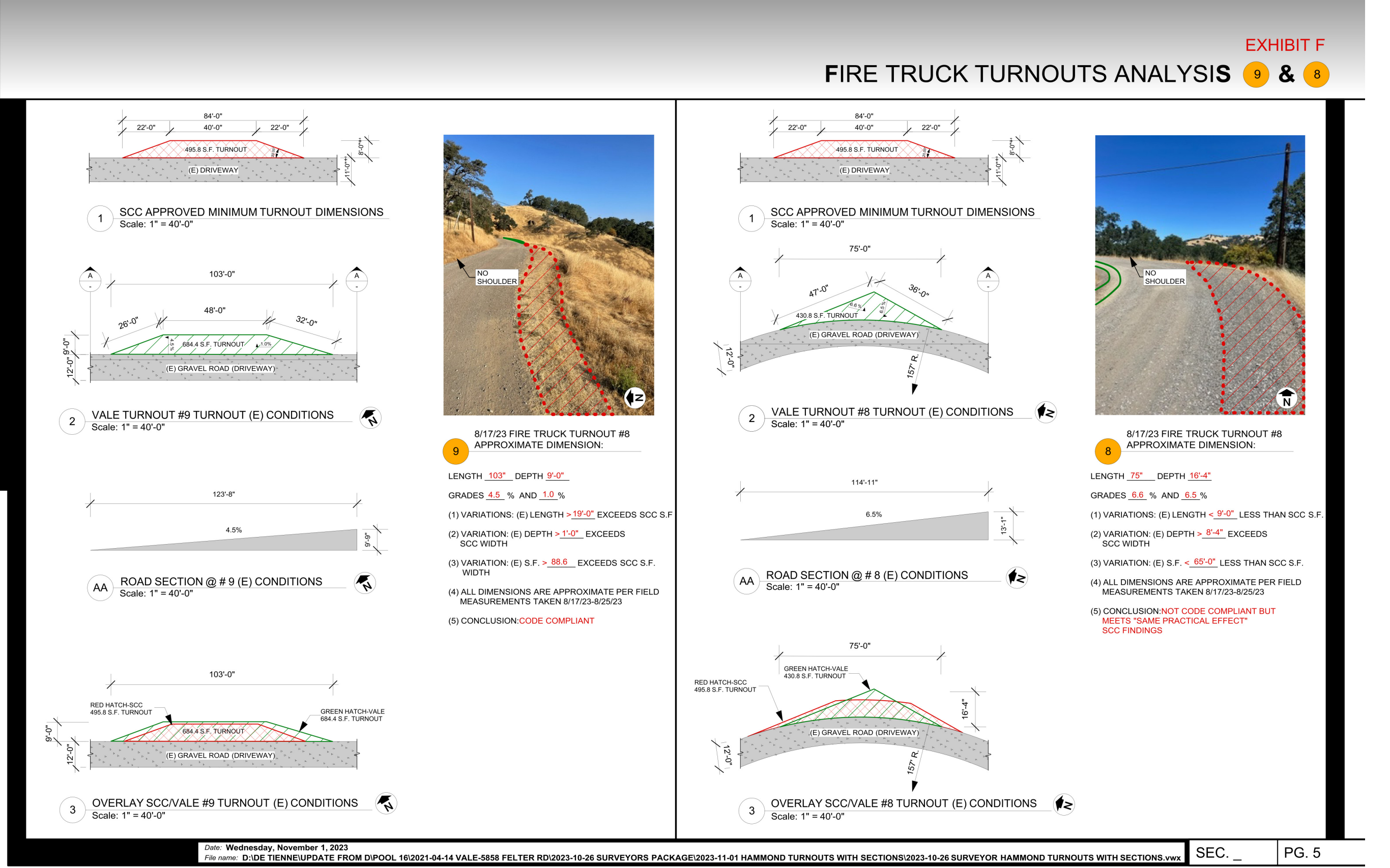
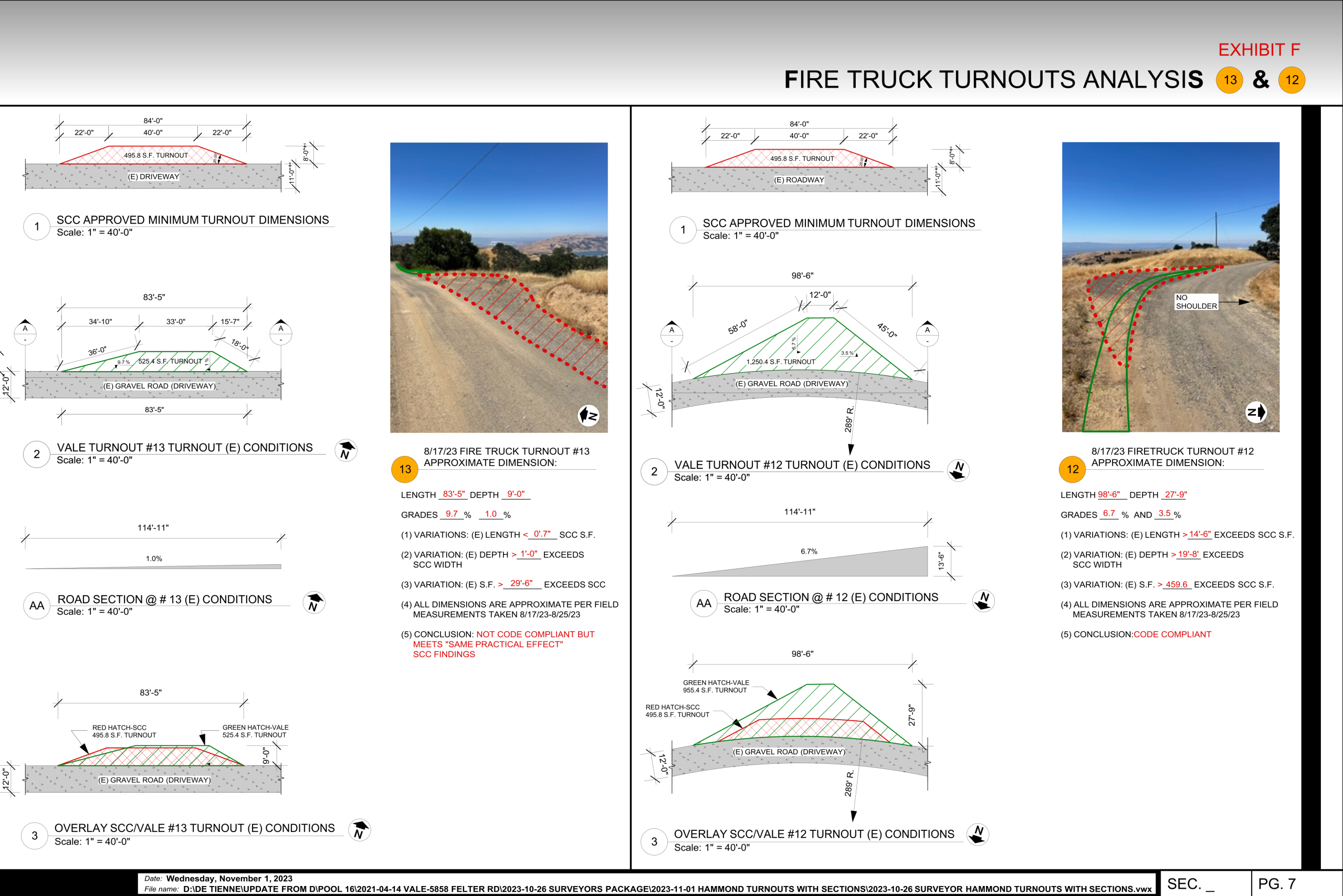
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## FIRE TRUCK TURNOUTS ANALYSIS

# A0.5.5

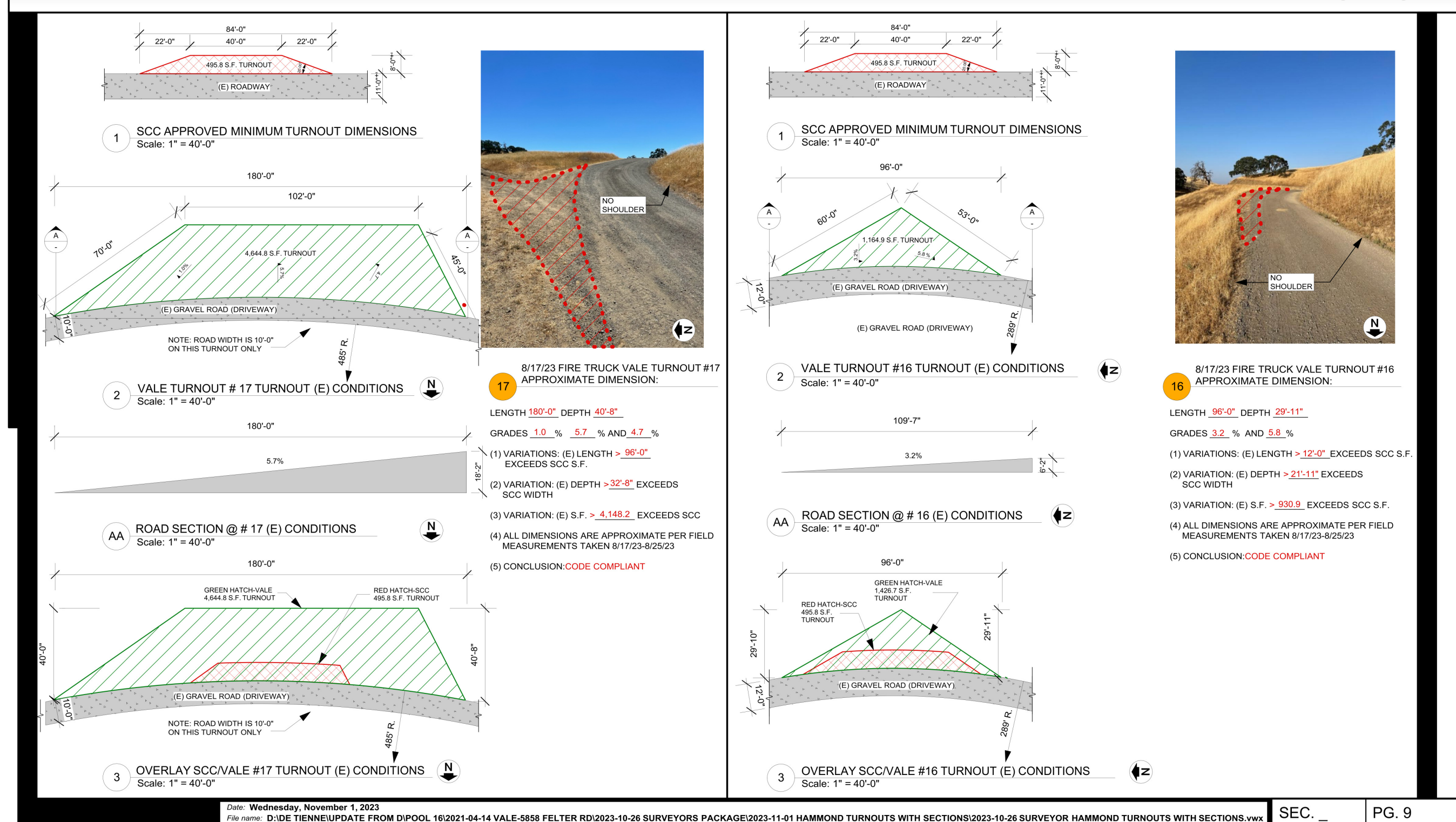
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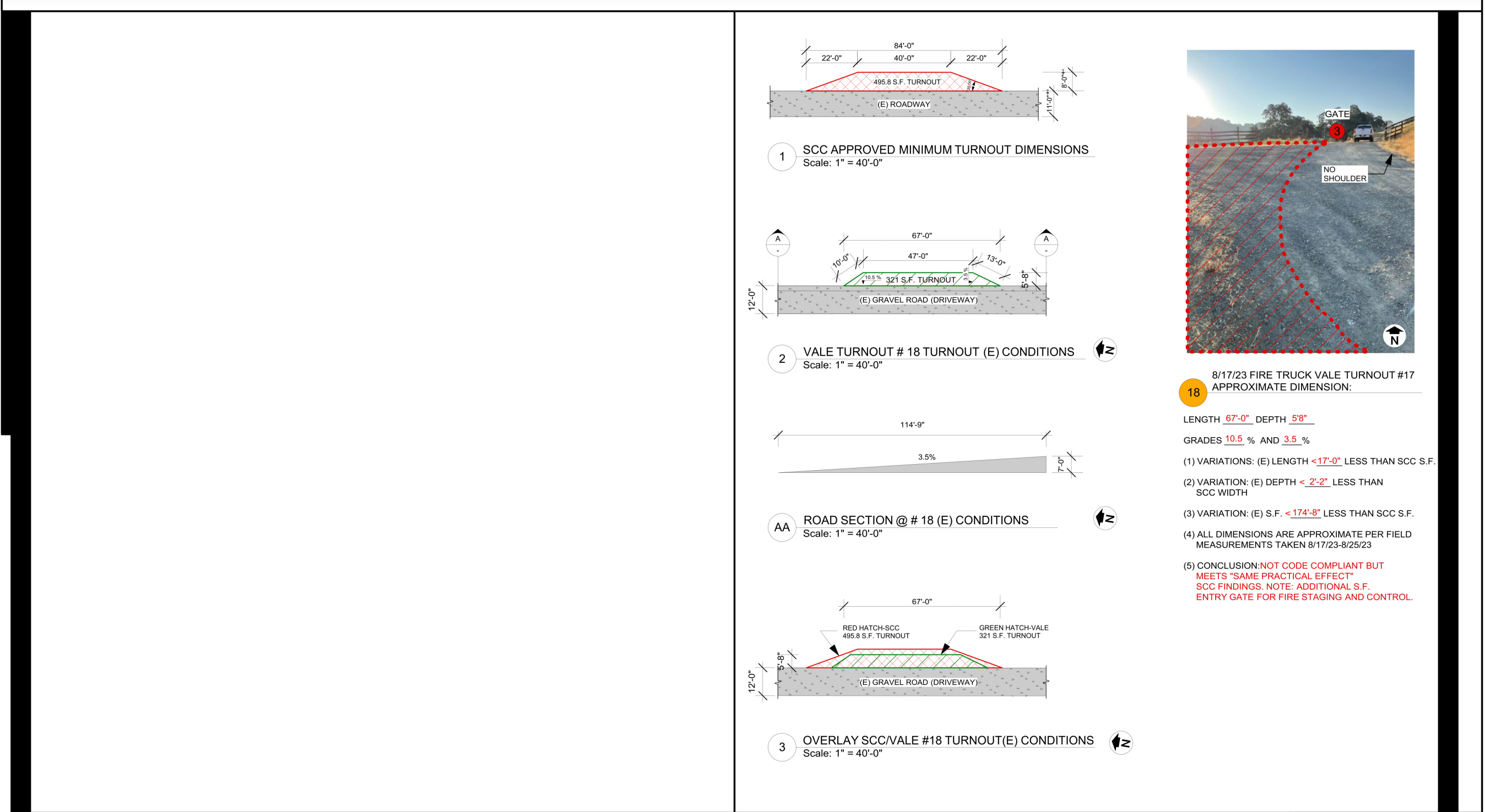




**EXHIBIT F**  
**FIRE TRUCK TURNOUTS ANALYSIS** 17 & 16



**EXHIBIT F**  
**FIRE TRUCK TURNOUTS ANALYSIS** 18



No.	Description	Date
1	Grading Submittal	2-29-2024

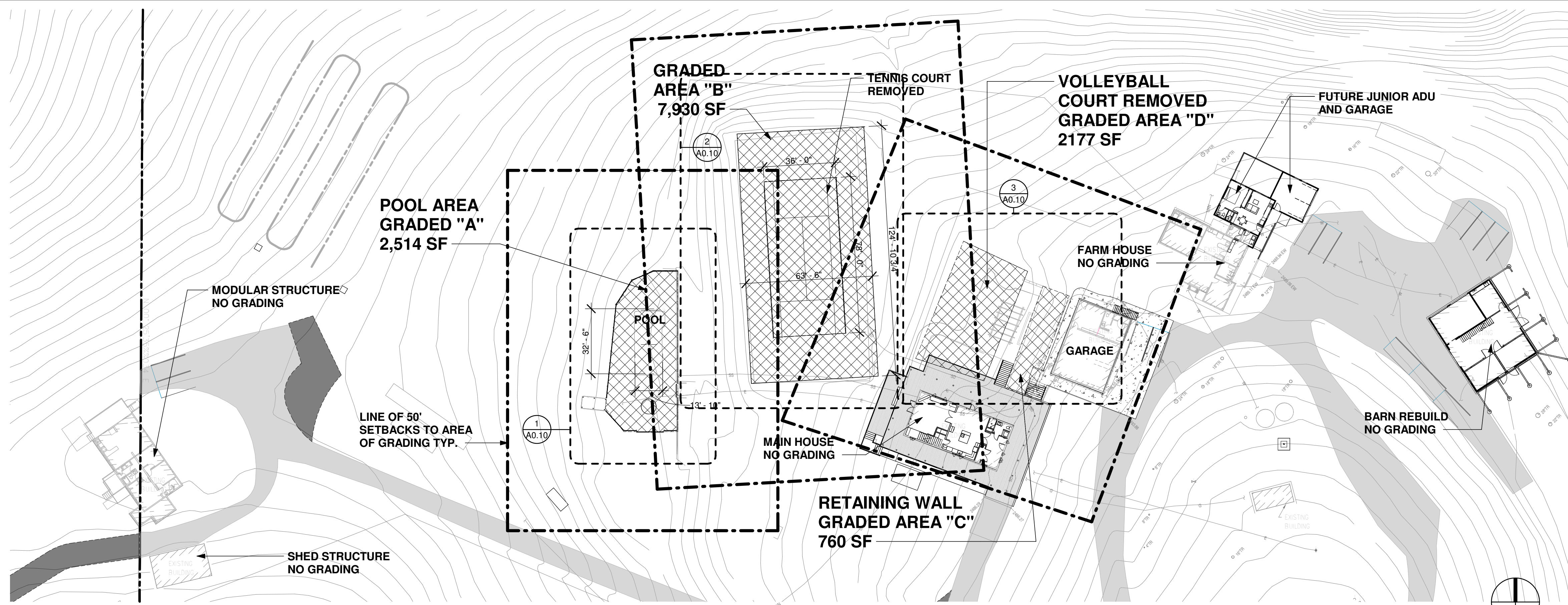
**Bella Vista Ranch**  
**Grading Abatement**

5858 Felter Road, San Jose CA 95132

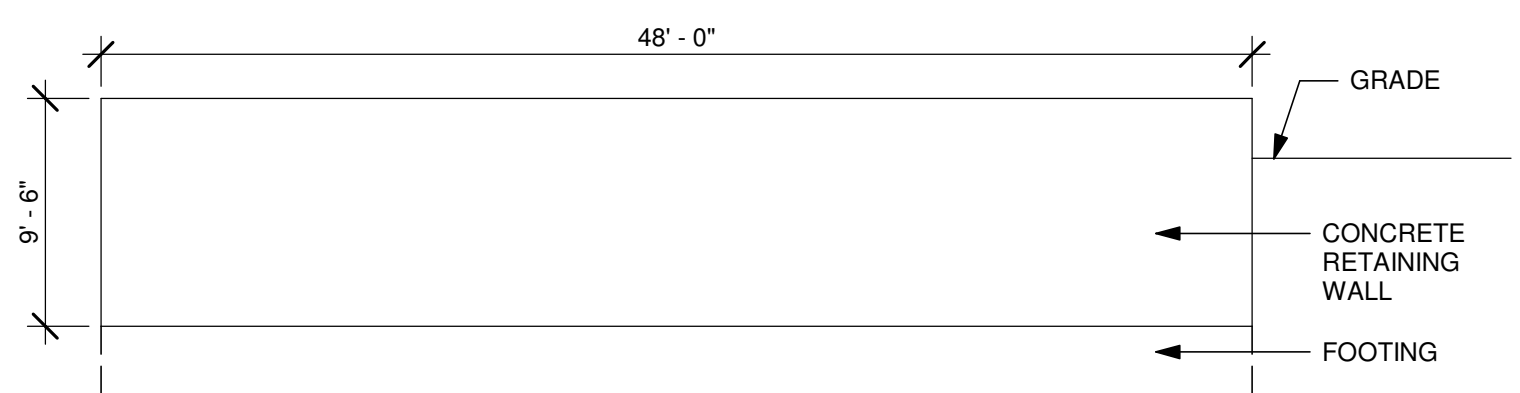
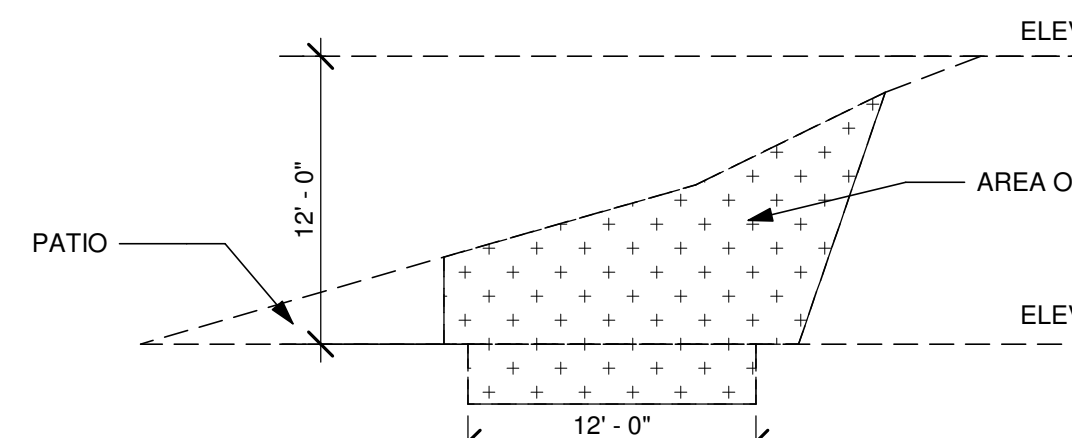
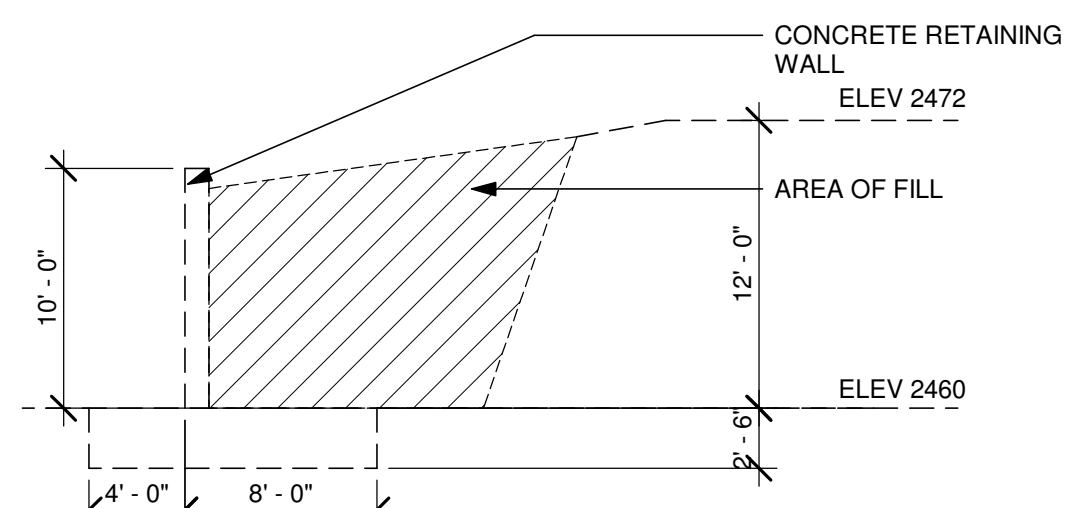
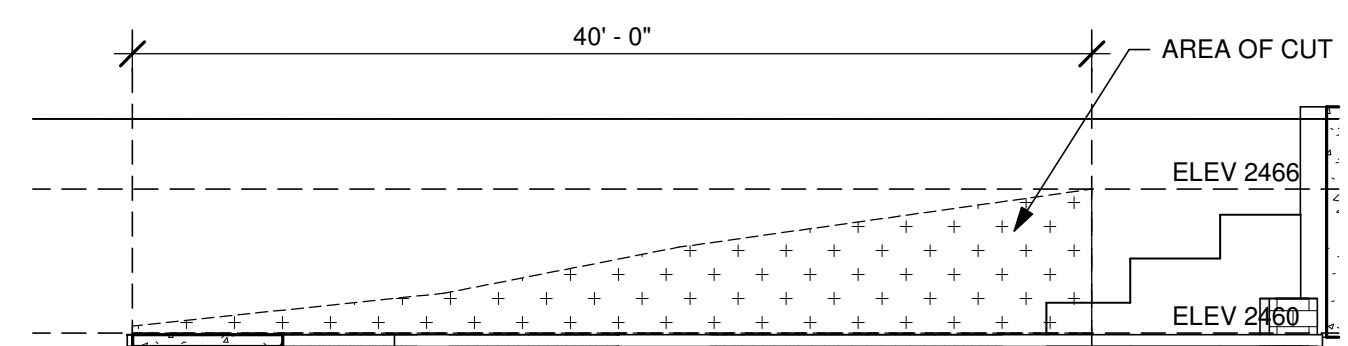
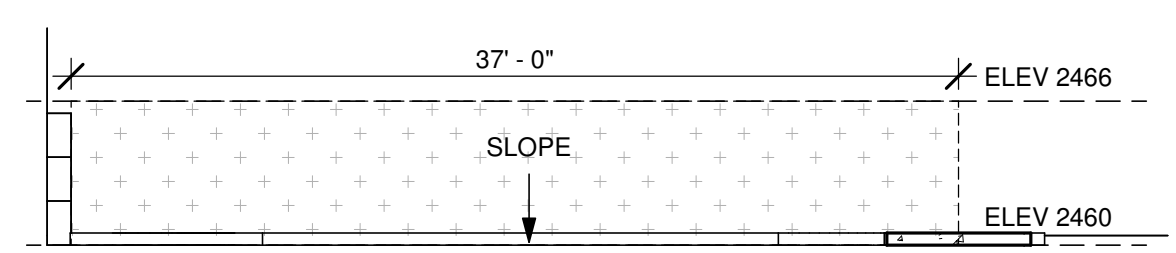
**FIRE TRUCK TURN**  
**OUTS ANALYSIS**

**A0.5.6**

Project number: 2021\_10  
 Scale: \_\_\_\_\_



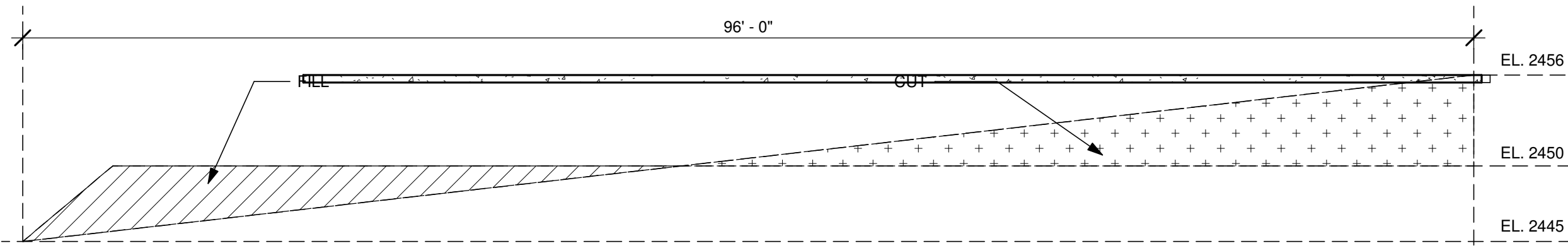
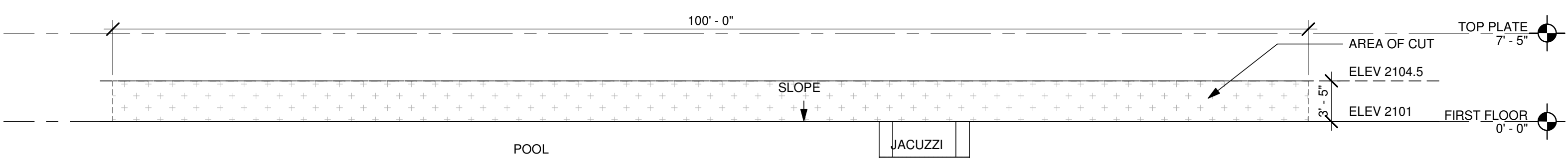
**1 GRADING PLAN**  
1/32" = 1'-0"



**8 SECTION AT RETAINING WALL AREA "C" FILL**  
1/8" = 1'-0"

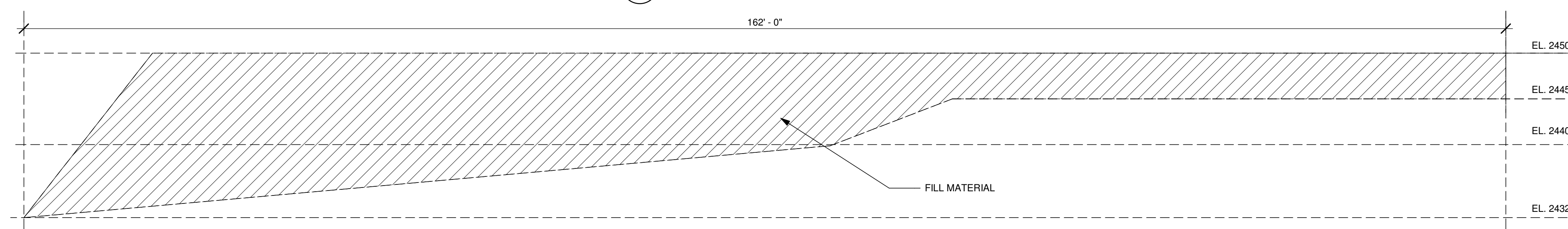
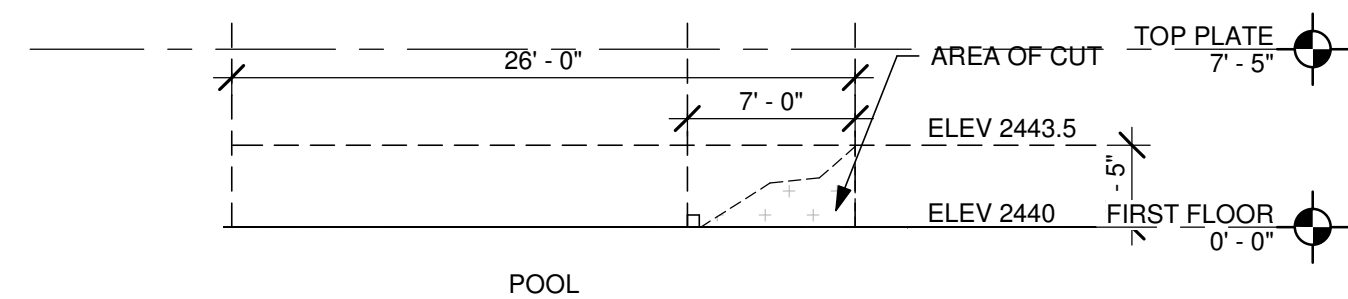
**7 SECTION AT RETAINING WALL AREA "C" CUT**  
1/8" = 1'-0"

**6 GRADING SECTION AT RETAINING WALL AREA "C"**  
1/8" = 1'-0"



**5 SECTION AT POOL AREA "A" 1**  
1/8" = 1'-0"

**4 SECTION AT TENNIS COURT AREA "B" 2**  
1/8" = 1'-0"

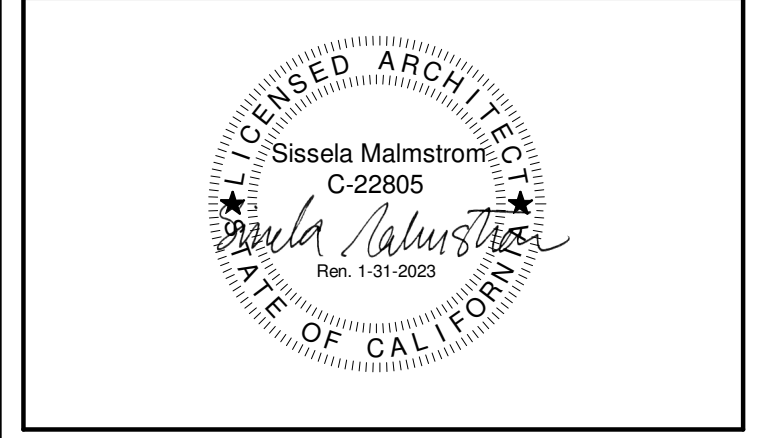


**3 SECTION AT POOL AREA "A" 2**  
1/8" = 1'-0"

**2 SECTION AT TENNIS COURT AREA "B" 1**  
1/8" = 1'-0"

architect +  
**M**  
 S

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**LEGEND**

- GRADED AREA
- CONCRETE
- EXISTING DRIVEWAY (GRAVEL)
- NEW DRIVEWAY (GRAVEL)
- PATHWAY (ATV ACCESS ONLY)

VIEW DIRECTION  
 EXTERIOR ELEVATION NUMBER  
 SHEET WHERE OCCURS  
 DETAIL NUMBER  
 SHEET WHERE OCCURS

No.	Description	Date
1	Grading Submittal	2-29-2024

**Bella Vista Ranch**  
 Grading Abatement

5858 Felter Road, San Jose CA 95132

**GRADING PLAN AND SECTIONS**

**A0.9**

Project number: 2021\_10  
 Scale: As indicated

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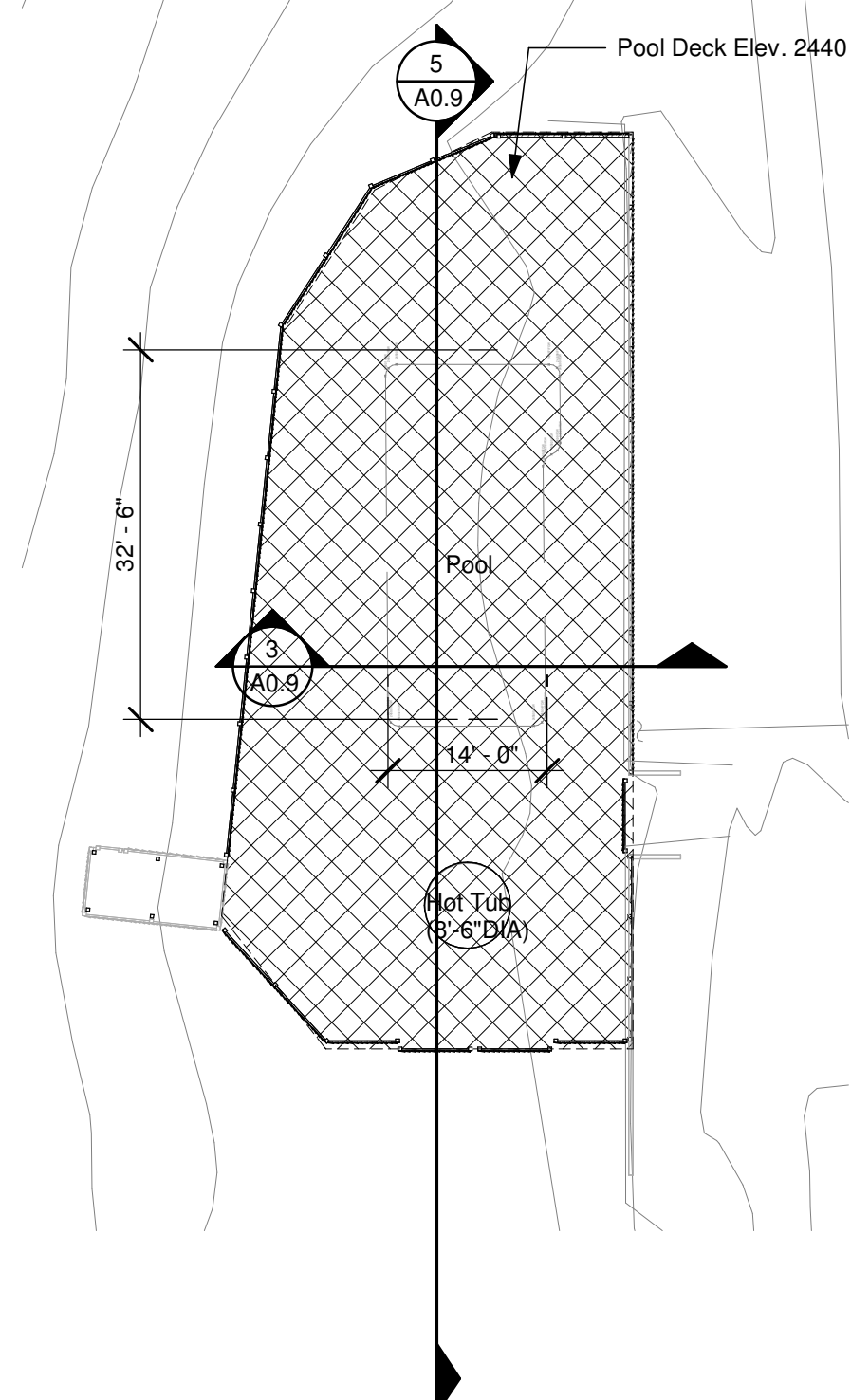


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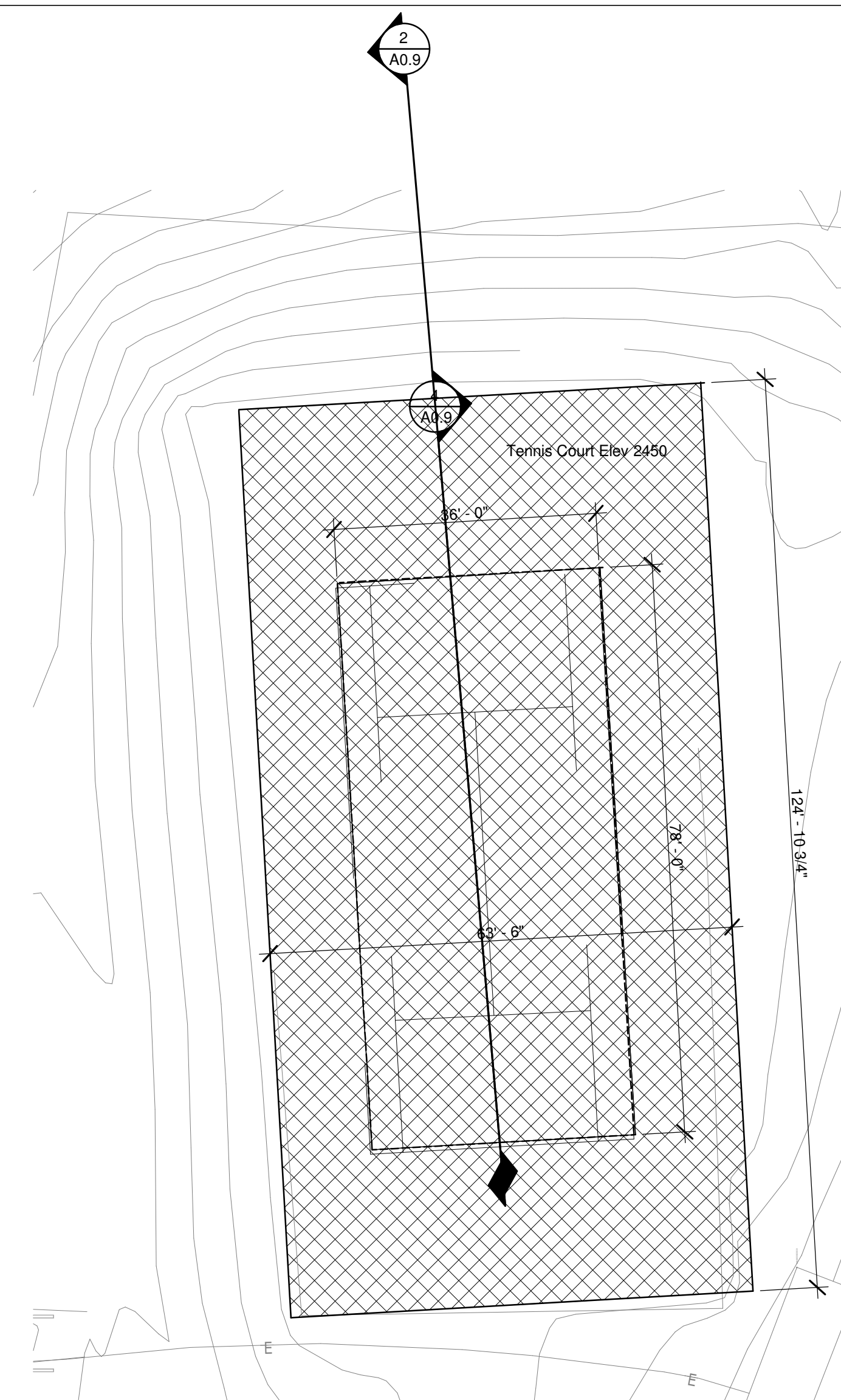


**LEGEND**

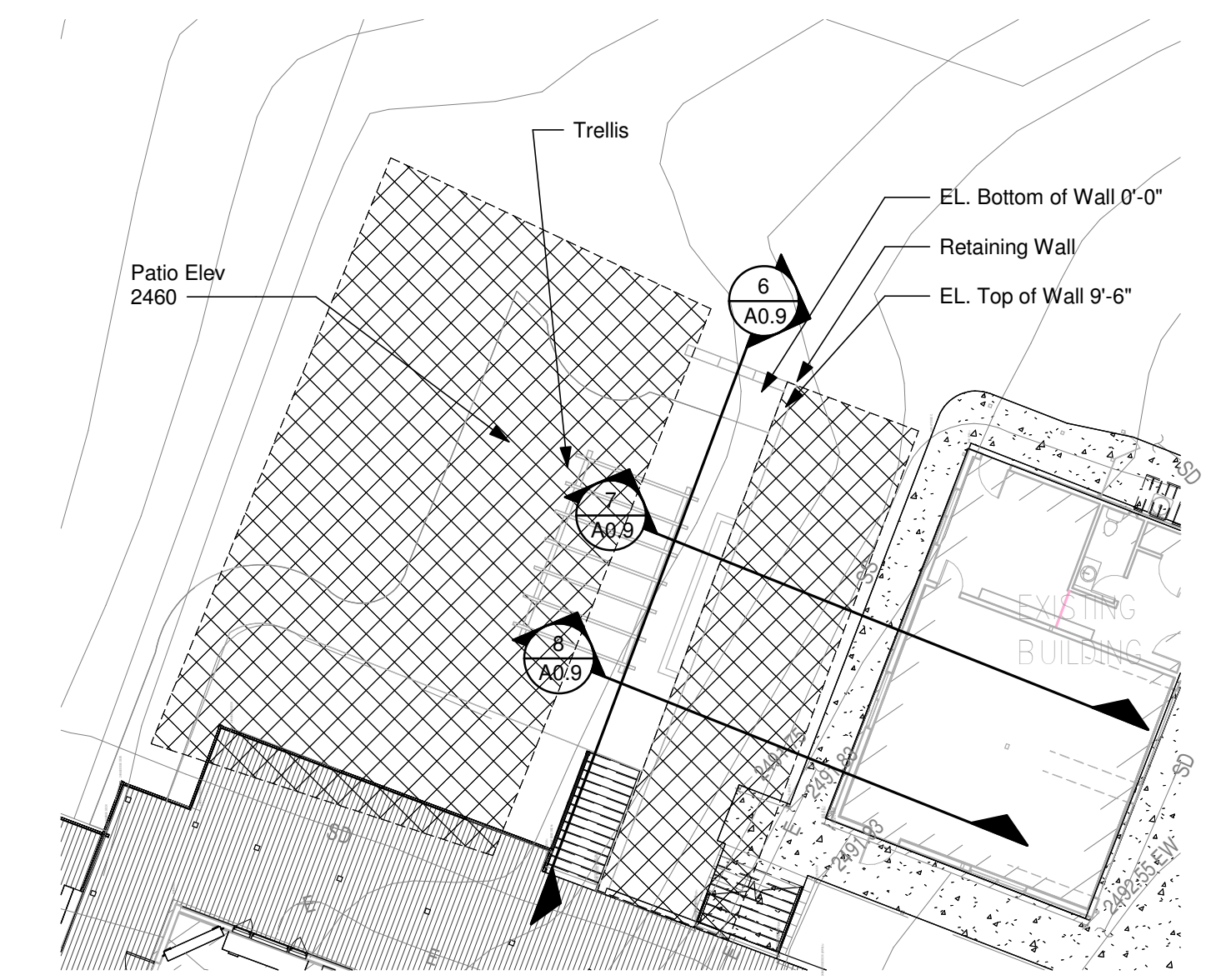
- GRADED AREA
- CONCRETE
- EXISTING DRIVEWAY (GRAVEL)
- NEW DRIVEWAY (GRAVEL)
- PATHWAY (ATV ACCESS ONLY)
- VIEW DIRECTION
- EXTERIOR ELEVATION NUMBER
- SHEET WHERE OCCURS
- DETAIL NUMBER SHEET WHERE OCCURS



**1 GRADING AREA "A" - POOL**  
 1/16" = 1'-0"



**2 GRADING AREA "B" (TENNIS COURT)**  
 1/16" = 1'-0"



**3 GRADING AREA "C" & "D"**  
 1/16" = 1'-0"

Bella Vista Ranch - Cut At Pool Area

DIF	CY'S	DESCRIPTIONS	ANNOTATIONS
		Surface cut excavation on Patio Area construction.	
		<b>Cut Area:</b>	
		Cross Section ( east retaining wall)	Elevations based on K&W Civil drawings.
		Length - 100'	
		Width - 7'	
		Height - 1.75' (3.5/2)	
100'	7'		
	1.75'		
		45.37 Retaining Wall	
		76.55 Pool Excavation	
		3.49 Jacuzzi Excavation	
	<b>125.41</b>	<b>Total Excavation</b>	
		<b>Fill Area:</b>	
		Cross Section	Soils tested in Romig Geotechnical Report dated 7-5-2022
		Length	
		Width	
		Height	
		0 Total fill volume	
	<b>125.41</b>	<b>Deduct site excavations</b>	
	<b>125.41</b>	<b>Total cubic yard offhaul</b>	

Bella Vista Ranch - Cut and Backfill Tennis Court

DIF	CY'S	DESCRIPTIONS	ANNOTATIONS
		Open face excavation on hill slope for retaining wall construction.	
		<b>Cut Area:</b>	
		Cross Section	Elevations based on K&W Civil drawings contour gradient lines.
		Length - 90'	
		Width - 56'	
		Height - .92"	
90'	56'		
	.93'		
	<b>86.8</b>	<b>Fill Area:</b>	
		412.5 Area "A"	
		95.75 Area "B"	
		229.6 Area "C"	
		114 Area "D"	
		375 Area "E"	
		29 Area "F"	
		1289 Area "G"	
		80 Area "H"	
	<b>2624.85</b>	<b>Total fill volume</b>	
	<b>86.8</b>	<b>Deduct area excavations</b>	
	<b>2538.05</b>	<b>Total cubic yard import fill</b>	

Bella Vista Ranch - Cut and Backfill at Retaining Wall

DIF	CY'S	DESCRIPTIONS	ANNOTATIONS
		Open face excavation on hill slope for retaining wall construction.	
		<b>Cut Area:</b>	
		Cross Section	Elevations based on K&W Civil drawings.
		Length - 48'	
		Width - 14'	
		Height - 14'	
48'	14'		
	14'		
	<b>348.44</b>	<b>Fill Area:</b>	
		Cross Section	Soils tested in Romig Geotechnical Report dated 7-5-2022
		Length - 42'	
		Width - 12.5'	
		Height - 12.42'	
42'	12.5'		
	12.42'		
	<b>241.51</b>	<b>Total fill volume</b>	
	<b>348.44</b>	<b>Deduct site excavations</b>	
	<b>106.93</b>	<b>Total cubic yard offhaul</b>	

**Grading Quantities Summary**

Area	Cut	Fill	Total Soil
A Pool Area	125.41 CY		-125.41 CY
B Tennis Court	86.8 CY	2,624.85 CY	2,538.05 CY
C & D Patio / Retaining Wall	348.44 CY	241.51 CY	-106.93 CY
<b>Total</b>	<b>560.65</b>	<b>2,866.36</b>	<b>2305.71 CY</b>

No.	Description	Date
1	Grading Submittal	2-29-2024

**Bella Vista Ranch Grading Abatement**

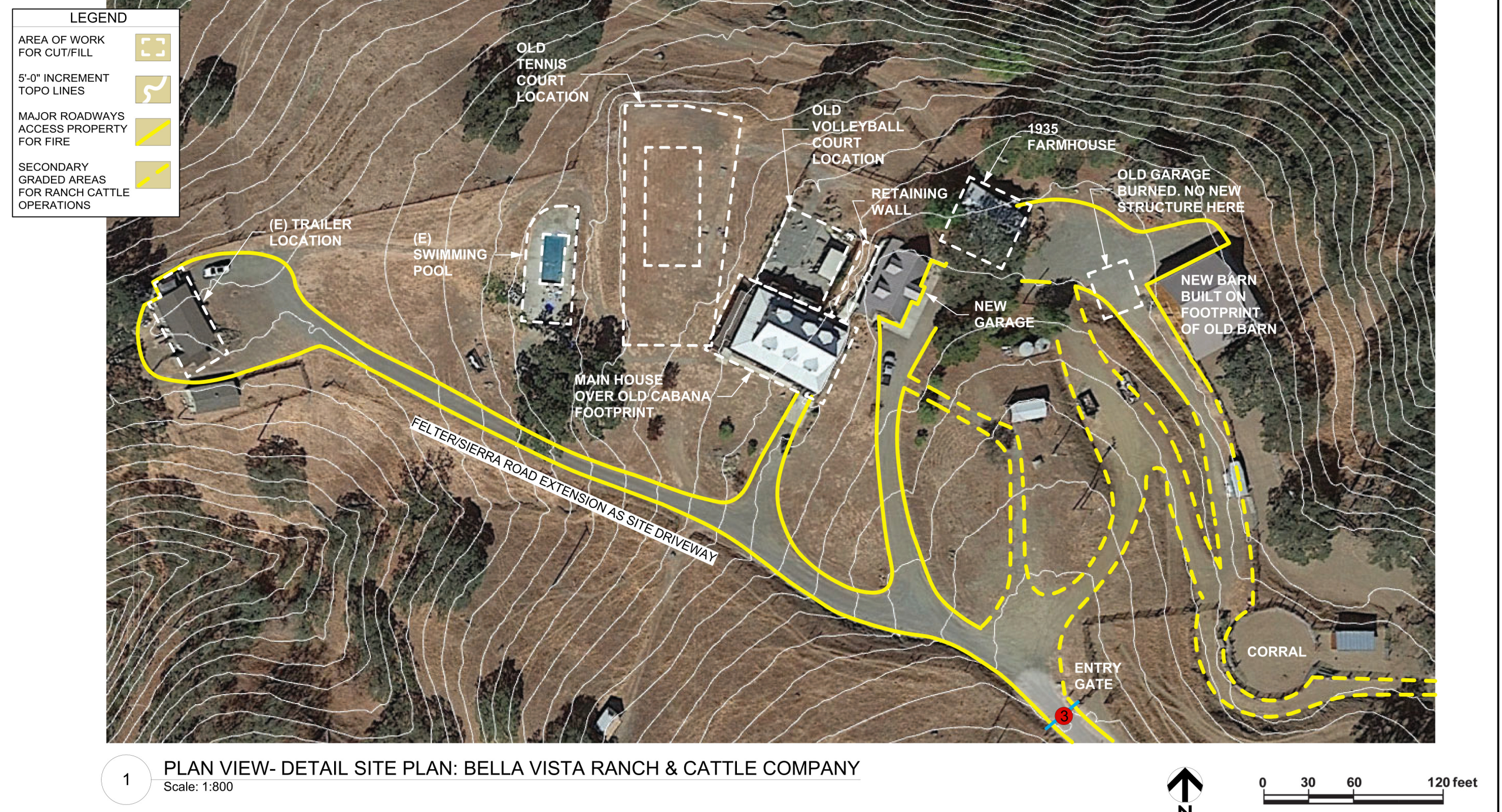
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**CUT AND FILL CALCULATIONS**

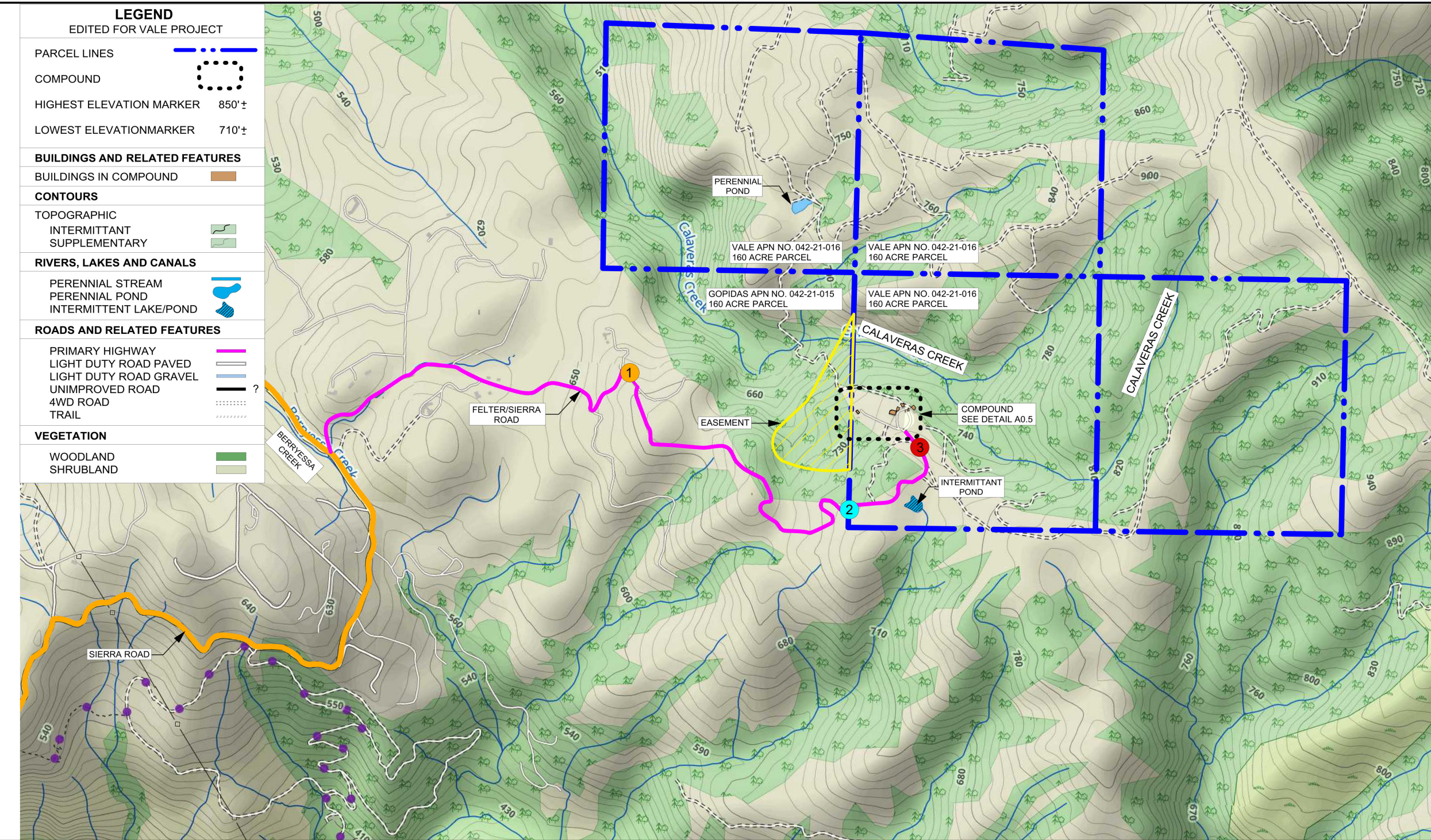
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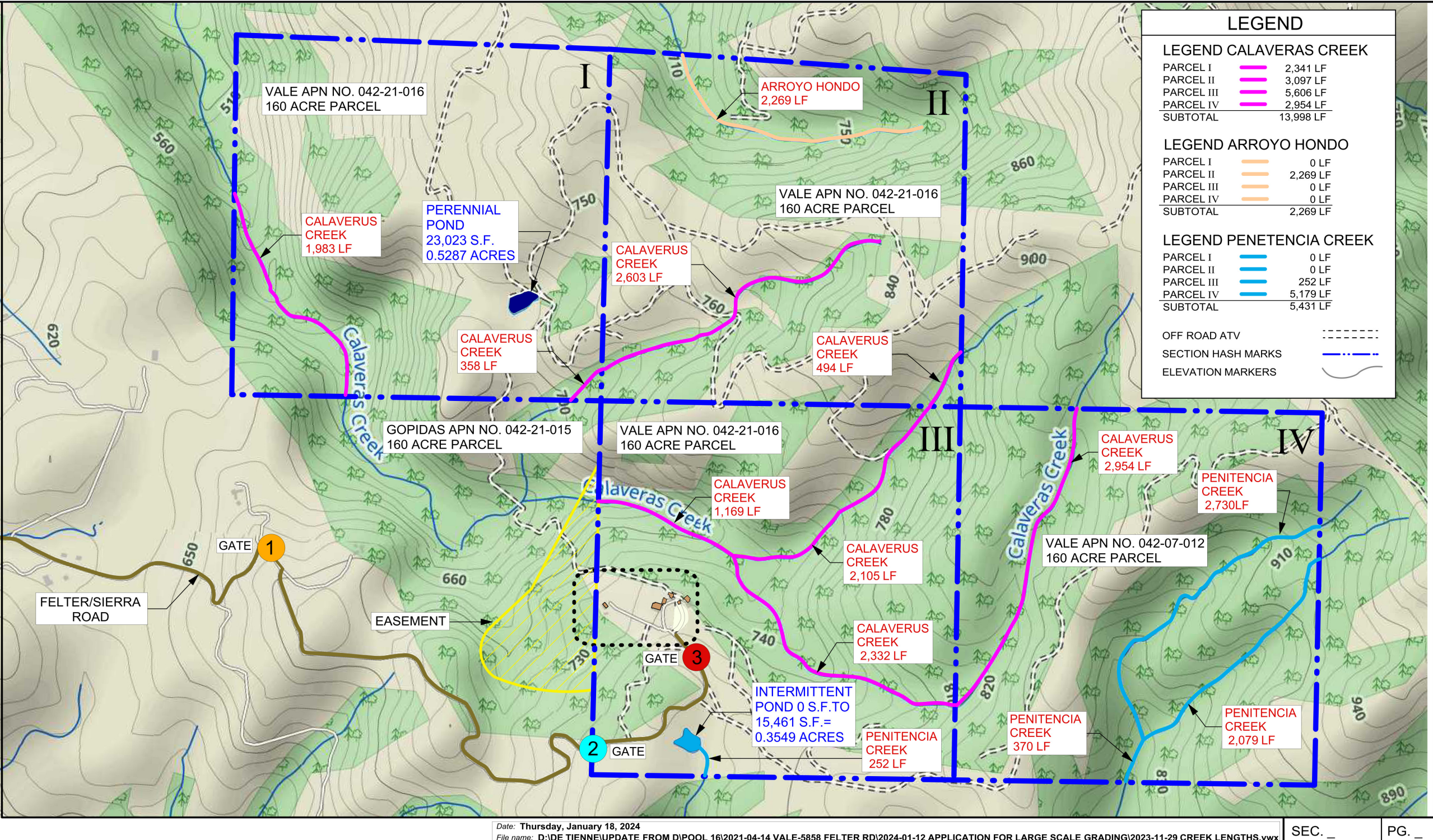
**STORMWATER DRAINAGE TOPO FOR COMPOUND GRADING PERMIT**



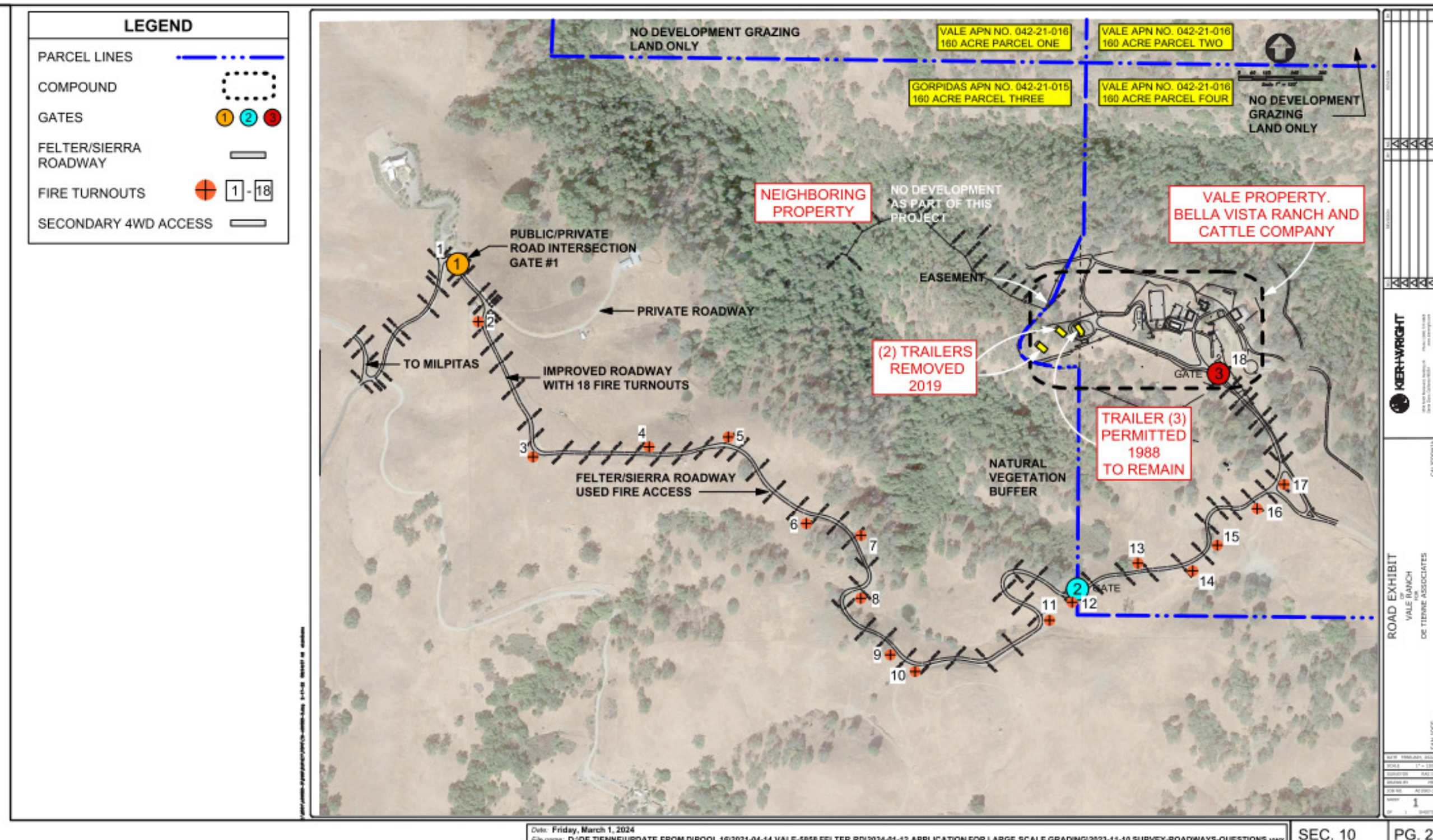
**STORMWATER DRAINAGE FOR GRADING PERMIT AREA MAP**



**CREEK LENGTHS ON SUBJECT PROPERTY AND EASEMENTS FOR STORMWATER TREATMENT PLAN**



**STORMWATER/DRAINAGE FOR GRADING PERMIT VICINITY MAP**



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No.	Description	Date
1	Grading Submittal	2-29-2024

**Bella Vista Ranch  
Grading Abatement**

5858 Felter Road, San Jose CA 95132

**STORM WATER  
DRAINAGE**

**A0.11**

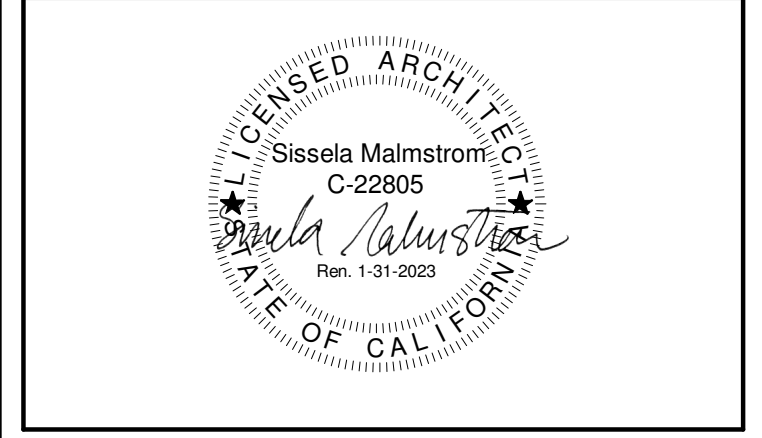
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architect +  
**M**  


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**FUTURE ADDITIONS SQUARE FEET**

Farm House ADU:	
Existing Farm House	1151 SF
Farm House Addition	42 SF
<b>Total Square Foot</b>	<b>1193 SF</b>
Junior ADU:	500 SF
Garage	400 SF

No.	Description	Date
1	Grading Submittal	2-29-2024

**Bella Vista Ranch  
 Grading Abatement**

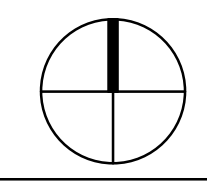
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**FUTURE FARM  
 HOUSE (ADU) / JR  
 ADU ADDITION**

**A0.12**

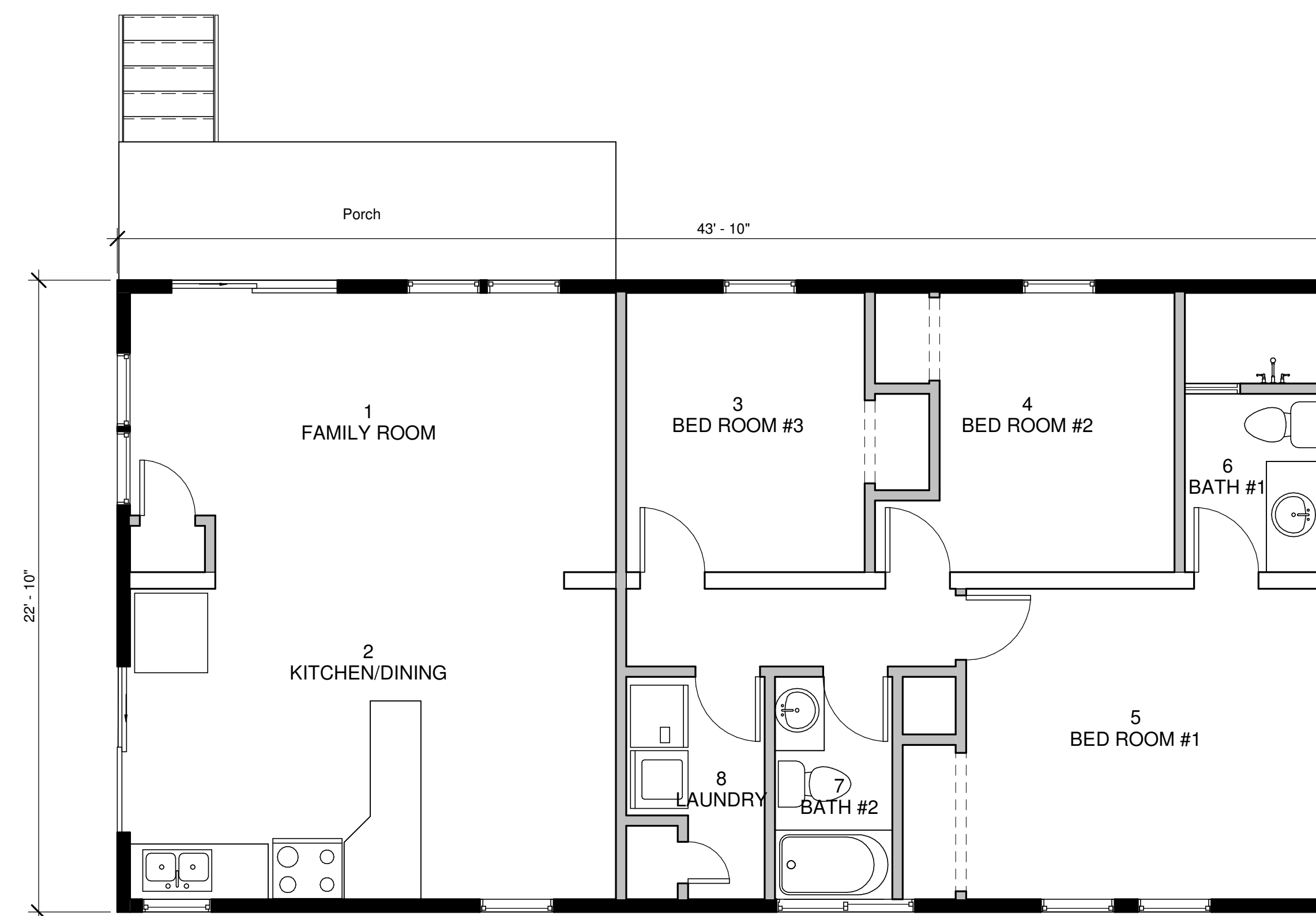
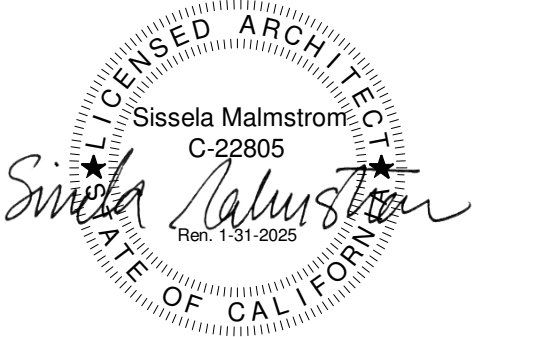
Project number: 2021\_10  
 Scale: 1/8" = 1'-0"

**1 ENLARGED SITE PLAN FARM HOUSE (ADU) ADDITION OF JUNIOR ADU**  
 1/8" = 1'-0"



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**1** TYPICAL 1,000 SF AG WORKERS HOUSING  
1/4" = 1'-0"

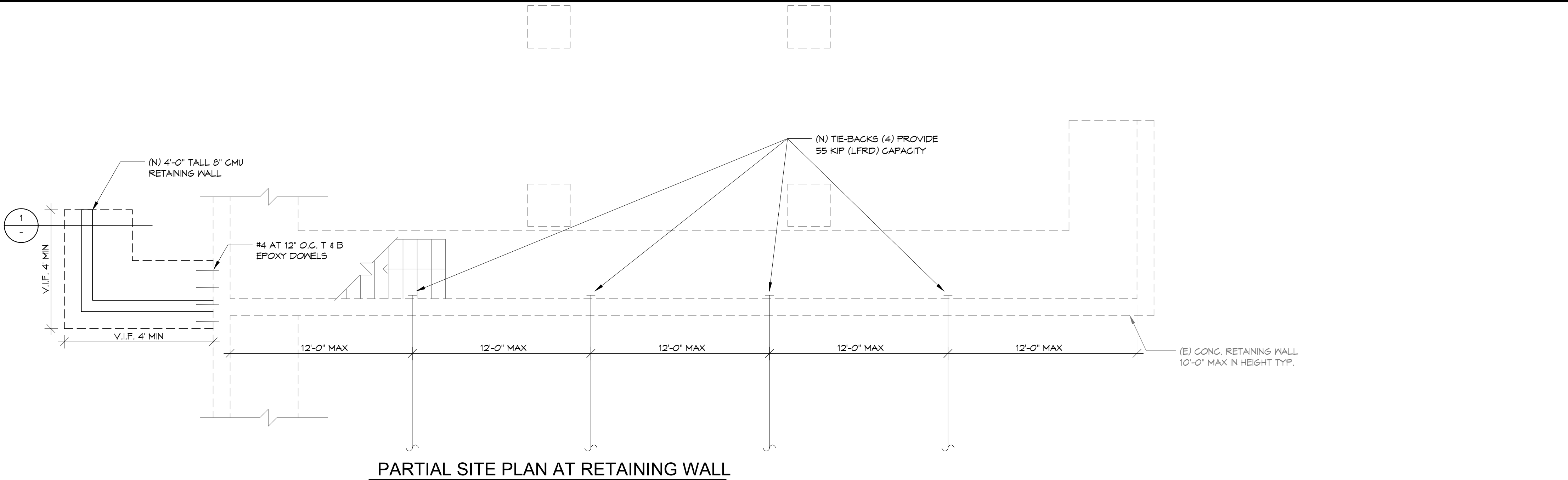
No.	Description	Date
1	GRADING SUBMITTAL	2-20-2024

Bella Vista Ranch  
Grading Permit

AG HOUSING FLOOR  
PLAN

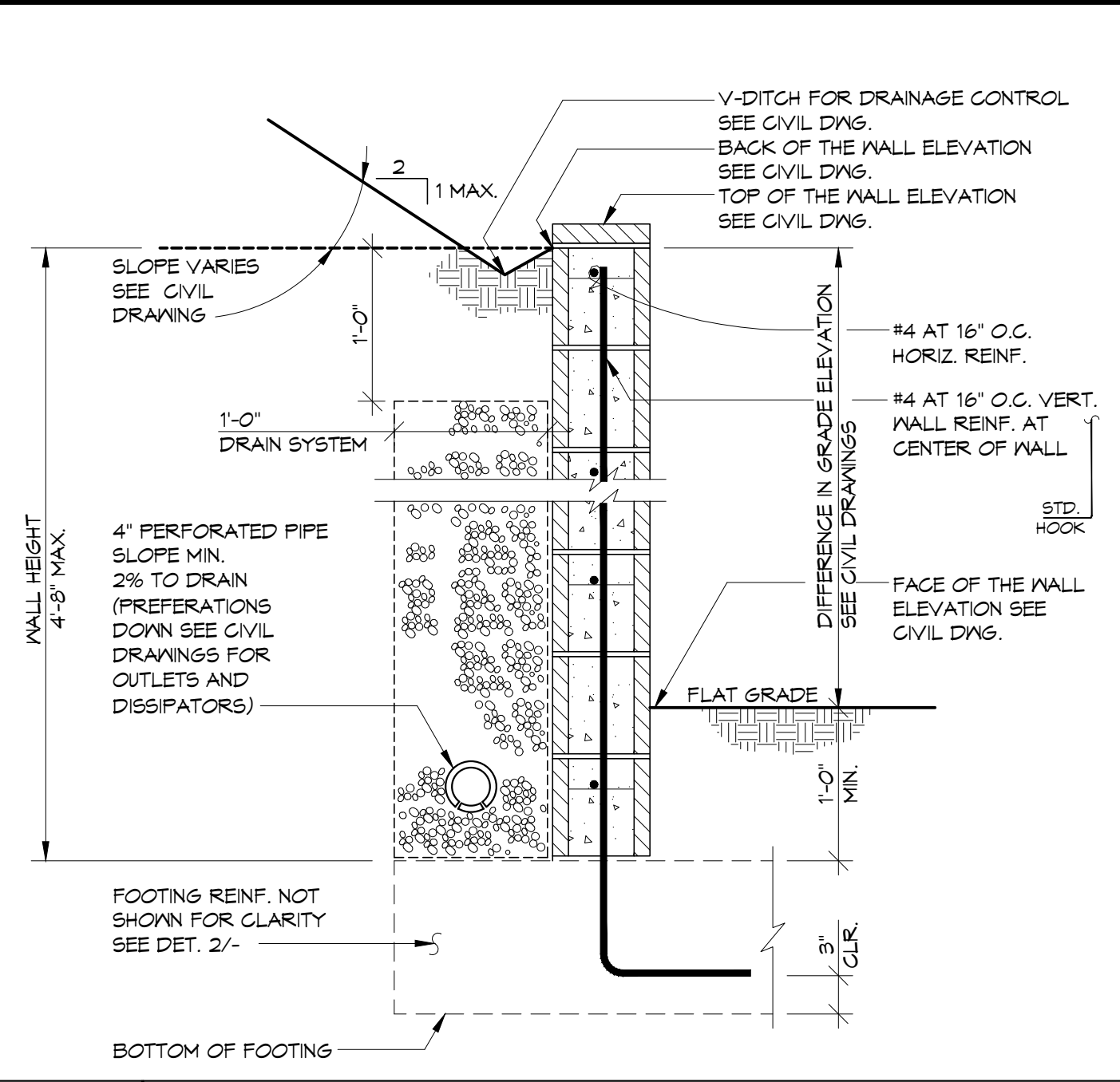
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Project number: 2021\_10  
Scale: 1/4" = 1'-0"



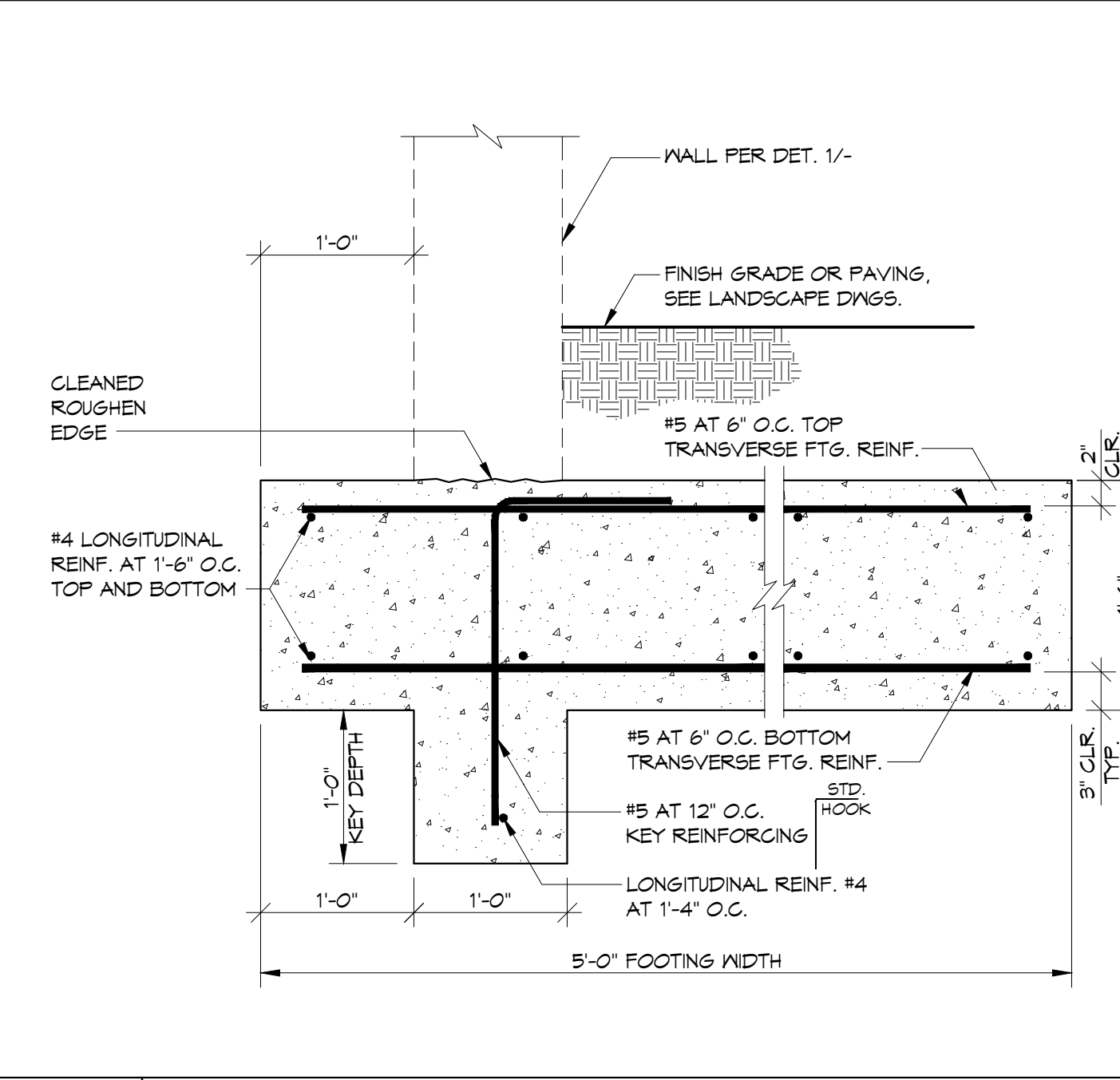
PARTIAL SITE PLAN AT RETAINING WALL

1/4"=1'-0"



8" CMU RETAINING WALL - CUT TYPE

1/2"=0"



SPREAD FOOTINGS RETAINING WALL - CUT TYPE

1/2"=0"

**GENERAL**

THESE DRAWINGS ARE COPY RIGHTED INSTRUMENTS OF SERVICE OF HOHBACH-LEWIN, INC. FOR USE ONLY ON THIS PROJECT.

CONTRACTOR RESPONSIBILITY - CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES AND SAFETY PRECAUTIONS, INCLUDING BUT NOT LIMITED TO SHORING AND TEMPORARY BRACING.

DIMENSIONS - USE WRITTEN DIMENSIONS ONLY. VERIFY ALL DIMENSIONS AT JOB SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES WHERE NO DIMENSIONS ARE PROVIDED, OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH WORK.

COORDINATION - OPENINGS THROUGH WALLS AND FLOORS FOR MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE COORDINATED BY CONTRACTOR AND CONSTRUCTED PER TYPICAL DETAILS SHOWN IN THESE DOCUMENTS. NO MECHANICAL OR ELECTRICAL SYSTEM COMPONENTS SHALL BE EMBEDDED IN SLABS OR WALLS UNLESS SPECIFICALLY DETAILED IN THESE DOCUMENTS.

OMISSIONS AND CONFLICTS - OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM. IF CERTAIN FEATURES ARE NOT FULLY DELINEATED IN THE CONSTRUCTION DOCUMENTS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE DELINEATED.

STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SUCH REQUIREMENTS INTO THEIR SHOP DRAWINGS AND WORK.

THERE SHALL BE NO CHANGE IN SIZE OR DIMENSION OF A STRUCTURAL MEMBER, NOR SHALL ANY OPENINGS BE MADE IN ANY STRUCTURAL MEMBER, WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.

THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.

THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS.

SEE DRAWINGS OTHER THAN STRUCTURAL FOR: TYPES OF FLOOR FINISH AND THEIR LOCATION, DEPRESSIONS IN FLOOR SLABS, OPENINGS IN WALLS AND FLOORS REQUIRED BY ARCHITECTURAL AND MECHANICAL FEATURES, AND ROADWAY PAVING, WALKS, RAMPS, STAIRS, CURBS, ETC.

**DESIGN BASIS**

A. APPLICABLE CODE: CALIFORNIA BUILDING CODE (CBC), 2019 EDITION.

B. VERTICAL LOADS:

1. ROOF: 20psf (FOR 2:12 SLOPE)

C. LATERAL LOADS:

1. DESIGN WIND CRITERIA: PER ASCE 7-16  
ULTIMATE DESIGN WIND SPEED: 100mph  
WIND EXPOSURE: C

2. DESIGN SEISMIC CRITERIA:  
DESIGN SOIL SITE CLASS: D  
 $S_{ps} = 1.045g$   
 $S_1 = 0.219g$   
 $S_0 = 2.364g$   
 $S_1 = 0.299g$   
REDUNDANCY FACTOR = 1.0  
IMPORTANCE FACTOR = 1.0  
SEISMIC DESIGN CATEGORY = D

D. GEOTECHNICAL CRITERIA: PER CBC 2016 ALLOWABLE MINIMUM.

1. ALLOWABLE SOIL BEARING PRESSURE:  
DEAD-LIVE: 1500 psf  
DEAD-LIVE+ WIND OR SEISMIC: 2000 psf

**CONCRETE**

A. CONCRETE SHALL BE SUPPLIED AND PLACED IN ACCORDANCE WITH ACI 318.

B. CONCRETE SHALL BE AS FOLLOWS:

CONCRETE USE	STRENGTH AT 28 DAYS U.O.N.	W/C RATIO	MAX. AGGREGATE SIZE	WEIGHT	SHRINKAGE
FOUNDATIONS	2500 PSI	0.45 MAX.	3/4" TO 1"	145pcf	-

C. STRENGTH: COMPRESSIVE STRENGTH IN PSI WHEN TESTED IN ACCORDANCE WITH ASTM C39

D. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE II.

E. AGGREGATE FOR STONE CONCRETE SHALL CONFORM TO ASTM C-33. FOR LOW SHRINKAGE AGGREGATE, USE LIMESTONE OR GRANITE AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C-330.

F. FLY ASH: ASTM C 618, CLASS F OR CLASS C. MINIMUM RECOMMENDED FLY ASH CONTENT BY MASS OF CEMENTITIOUS MATERIAL IS 20%. MAXIMUM RECOMMENDATION IS 25%.

2021/2/23 1:01 PM J:\10300-1649\1650\STRUCTURE\10-GRADINGPACKAGE.DWG

6. ADMIXTURES: MIX SHALL CONTAIN POLYMER BASED, WATER REDUCING ADMIXTURE. THE FOLLOWING TYPES OF ADMIXTURES ARE ALLOWED AS PLASTICIZERS AND/OR SET ACCELERATORS TO IMPROVE WORKABILITY.

1. ASTM C494, TYPES A, C, E, G, HIGH RANGE WATER REDUCERS SHALL ALSO MEET REQUIREMENTS OF ASTM C 1011.

2. THE INITIAL SLUMP OF THE CONCRETE BEFORE INTRODUCING ADMIXTURES SHOULD BE MINIMUM 2" INCHES

H. SHRINKAGE - CONTRACTOR TO PROVIDE CONCRETE MIX HISTORY DATA OR PROVIDE TESTING REPORT.

I. MINIMUM REINF. COVER FOR CAST-IN-PLACE CONCRETE:

1. CONG. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ..... 3"

2. CONG. FORMED BELOW GRADE OR EXPOSED TO WEATHER:  
NO. 6 AND GREATER ..... 2"  
NO. 5 AND SMALLER ..... 1 1/2"

3. CONG. NOT EXPOSED TO WEATHER NOR IN CONTACT WITH GROUND:  
SLABS, WALLS, AND JOISTS: NO. 11 AND SMALLER ..... 1"  
BEAMS AND COL. PRIMARY REINF., TIES, STRUPTS, SPIRALS ..... 1 1/2"

J. PLACEMENT

1. ALL REINFORCING BARS, ANCHOR BOLTS, AND ALL OTHER CONG. INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.

2. CHAMFER ALL CORNERS OF CONCRETE TO PREVENT DAMAGE.

3. CONSTRUCTION TOLERANCE SHALL COMPLY TO ACI 111.

4. CONCRETE SHALL BE PLACED IN A CONTINUOUS OPERATION BETWEEN PREDETERMINED CONSTRUCTION JOINTS.

5. USE VIBRATORS TO CONSOLIDATE CONCRETE. DO NOT USE VIBRATORS TO MOVE CONCRETE.

6. CONCRETE SHALL BE CONTINUOUSLY CURED FOR 7 DAYS AFTER PLACEMENT IN ANY APPROVED MANNER. FOOTINGS ARE EXEMPTED FROM THIS REQUIREMENT.

7. PATCHING OF CONCRETE: ALL INSERT HOLES AND OTHER IMPERFECTIONS ON THE SURFACES OF THE CONCRETE SHALL BE FILLED WITH GROUT, BRUSHED AND SACKED TO A UNIFORM FINISH.

K. ALL CONG. TO BE REINFORCED UNLESS SPECIFICALLY MARKED 'NOT REINFORCED'

L. VAPOR BARRIER:  
1. 15 MIL ASTM E-1745 CLASS A, TYP. U.O.N. SEE SOIL GEOTECHNICAL REPORT

**REINFORCING STEEL**

A. REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH ACI 318 AND ACI 318.

B. REINFORCING STEEL SHALL BE AS FOLLOWS:

1. BARS: ASTM A615, GRADE 60 TYP. U.O.N.

C. DO NOT FIELD BEND OR STRAIGHTEN IN ANY MANNER THAT WILL DAMAGE REINFORCING.

D. PROVIDE SPLICES IN REINFORCING ONLY WHERE SHOWN ON DRAWINGS OR APPROVED IN WRITING BY PROFESSIONAL OF RECORD.

**CONCRETE MASONRY**

A. CONCRETE MASONRY TO BE SUPPLIED PER 2019 CBC SECTION 2105 AND PLACED PER SECTION 2104

B. ASSEMBLY STRENGTH  $f_m = 1500$  psi AT 28 DAYS.

C. UNITS: MEDIUM WEIGHT 2 CELL BLOCKS CONFORMING TO ASTM C90. SHRINKAGE OF BLOCKS SHALL NOT EXCEED 0.65% WHEN TESTED PER ASTM C426.

D. MORTAR: ASTM C210, TYPE M.

E. GROUT: ASTM C416. COMPRESSIVE STRENGTH AS REQUIRED TO ATTAIN SPECIFIED ASSEMBLY STRENGTH. ALL CELLS SHALL BE FULLY GROUTED.

F. USE LOW LIFT CONSTRUCTION WITH MAXIMUM GROUT POUR HEIGHT OF 4'. HIGH LIFT GROUTING IS ACCEPTABLE IF APPROVED IN WRITING BY THE ENGINEER.

G. ALL MASONRY TO BE REINFORCED UNLESS SPECIFICALLY MARKED 'NOT REINFORCED'.

H. SEE PLAN FOR LOCATIONS OF VERTICAL CONTROL JOINTS. HORIZONTAL BOND BEAM AND LINTEL REINFORCING SHALL BE CONTINUOUS ACROSS VERTICAL CONTROL JOINTS.

I. ALL CELLS SHALL BE GROUTED SOLID. REINFORCING STEEL SHALL BE SECURED IN PLACE BEFORE GROUTING STARTS.

J. MASONRY BUILDINGS WALLS HAVE BEEN DESIGNED TO SPAN VERTICALLY AS SIMPLE SPANS FROM FLOOR TO ROOF AND ARE DEPENDENT UPON THE COMPLETED ROOF STRUCTURE AND THE COMPLETION OF ALL MASONRY WALLS FOR STABILITY AND FOR RESISTANCE TO WIND AND SEISMIC FORCES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY BRACING AS REQUIRED FOR CONSTRUCTION LOADS. FOR STABILITY AND FOR RESISTANCE TO WIND AND SEISMIC FORCES UNTIL THE ENTIRE STRUCTURE IS COMPLETE. THE SHORING SHALL NOT RELY ON ANY MOMENT RESISTANCE CAPACITY OF THE FOOTINGS.

**EPOXY ANCHORS** (CONCRETE INSTALLATION ONLY)

A. EPOXY ADHESIVE SHALL BE SIMPSON SET 95 (ESR-4051) OR EQUAL PRODUCT. ALTERNATE PRODUCTS MUST BE SUBMITTED TO E.O.R. FOR SUBSTITUTION PRIOR TO INSTALLATION PER SPECIFICATIONS.

B. INSTALLATION: INSTALL THE EPOXY ANCHORS IN ACCORDANCE WITH THE REQUIREMENTS GIVEN IN MANUFACTURER'S RECOMMENDATIONS FOR THE SPECIFIC ANCHOR. CONTRACTOR TO NOTIFY E.O.R. OF ANY ANCHOR/DOWEL LOCATIONS TO BE REPAIRED. E.O.R. TO REVIEW AND APPROVE ANCHORAGE LOCATIONS PRIOR TO THE EPOXY ANCHORAGE INSTALLATION.

C. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1104 OF THE CBC.

D. NOTIFY ARCHITECT IMMEDIATELY IF ELEMENTS WITH EXISTING STRUCTURE PREVENT DRILLING AT THE LOCATIONS SHOWN ON THE DRAWINGS.

E. DO NOT SUBSTITUTE EPOXIED DOWELS FOR HOOKED BARS.

F. WHEN EPOXY ANCHORS ARE USED FOR SILL PLATE BOLTING, 10% OF THE ANCHORS SHALL BE TENSION TESTED. FOR ALL OTHER STRUCTURAL APPLICATIONS, ALL SUCH EPOXY ANCHOR SHALL BE TENSION TESTED. WHEN EPOXY ANCHORS ARE USED FOR NON-STRUCTURAL APPLICATIONS, 50% OF ANCHORS SHALL BE TENSION TESTED. IF ANY ANCHOR FAILS TESTING, TEST ALL ANCHORS OF THE SAME TYPE NOT PREVIOUSLY TESTED UNTIL 20 CONSECUTIVE ANCHORS PASS.

G. CONCRETE AT TIME OF INSTALLATION SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AND SHALL HAVE A MINIMUM AGE OF 21 DAYS

REINF. DOWEL	THREADED ANCHOR ROD	HOLE DIAMETER	MIN. EMBED.	MIN. EDGE DISTANCE *	MIN. SPACING	TENSION TEST VALUE ***
#3	3/8" DIA	1/2" DIA.	2 3/8"	1 3/4"	8"	1,590#
#4	1/2" DIA.	5/8" DIA.	4"	4 1/2"	12"	4,080#
#5	5/8" DIA.	3/4" DIA.	5"	4 3/4"	15"	5,600#
#6	3/4" DIA.	7/8" DIA.	6"	5 1/2"	18"	7,200#
#7	7/8" DIA.	1" DIA.	8"	7"	24"	10,800#
#8	1" DIA.	1 1/8" DIA.	8 1/2"	7"	26"	11,460#

\* MINIMUM EDGE DISTANCE LIMITATION ASSUMED FROM ONE EDGE ONLY.

\*\* FOR SINGLE ANCHORS WITH NO ADDITIONAL EDGE DISTANCE OR SPACING REDUCTIONS. FOR OTHER CASES, REDUCTION OF VALUES CALCULATED PER ACI 318 IS REQUIRED.

\*\*\* TENSION TEST VALUES CORRESPOND TO THE LESSER OF 1.25X CRACKED CONCRETE STRENGTH AND 0.8X THE MINIMUM ANCHOR YIELD STRENGTH.

**TESTING**

REQUIRED STRUCTURAL TESTS ARE LISTED ON THE ATTACHED SCHEDULE OF STRUCTURAL TESTS. SEE THE STATEMENT OF SPECIAL INSPECTION FOR ADDITIONAL REQUIREMENTS.

**GEOTECHNICAL OBSERVATION (BY ROMIG ENGINEERS)**

\*ALL EARTHWORK AND SITE DRAINAGE, INCLUDING EXCAVATION OF THE PROPOSED BASEMENT, BASEMENT RETAINING WALL BACKFILL, FOUNDATION AND PIERS, PREPARATION OF SUBGRADE BENEATH SLABS-ONGRADE AND PAVERS, PLACEMENT AND COMPACTION OF ENGINEERED FILL BENEATH SLABS-ONGRADE AND PAVERS, BACKFILL IN UTILITY TRENCHES, AND FINAL SURFACE DRAINAGE INSTALLATION SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY ROMIG ENGINEERS. ROMIG ENGINEERS SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-541-5224) AND OF ANY EARTHWORK OPERATION AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.

**STRUCTURAL OBSERVATION (BY HOHBACH-LEWIN, INC.)**

OBSERVATION BY HOHBACH-LEWIN OR THEIR DESIGNATED REPRESENTATIVE IS REQUIRED AT THE PROJECT MILESTONES GIVEN BELOW. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY HOHBACH-LEWIN AT LEAST 24 HOURS IN ADVANCE OF COMPLETING MILESTONES THAT REQUIRE OBSERVATION AND ALLOW SUITABLE TIME TO MAKE ANY REQUIRED CORRECTIONS TO THE WORK PRIOR TO ENGAGING IN THE NEXT PHASE OF THE PROJECT.

• PRIOR TO PLACING CONCRETE: HOHBACH-LEWIN SHALL OBSERVE PLACEMENT OF REINFORCING, EMBEDMENTS AND CAST-IN ANCHORAGES TO CONCRETE.

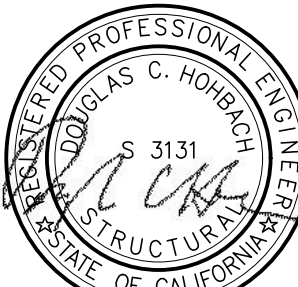
• **CONTRACTOR SUBMITTALS**

THE FOLLOWING IS A LISTING OF REQUIRED ITEMS TO BE SUBMITTED TO STRUCTURAL ENGINEER OF RECORD (TO BE PROVIDED IF MARKED):

SUBMITTAL	CERTIFICATE	SHOP DRAWINGS (2)	CALCS W/ ENG. STAMP	DEFERRED SUBMITTAL (1)
CONCRETE REINF. STEEL	X	X		
CONCRETE MIX DESIGN		X		



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DATE SIGNED: \_\_\_\_\_

No.	Description	Date
-	SUBMITTAL	12-21-23

### Bella Vale Ranch Grading Package

5858 Felter Road, San Jose CA 95132

### RETAINING WALL PLAN, GENERAL NOTES & DETAIL

## S1.0

Project number: 2021\_10  
Scale: AS SHOWN

HOHBACH-LEWIN #1680