

# GENERAL NOTES & CONDITIONS

- THE BUILDING PLANS PREPARED BY GHY CONSULTING ENGINEERS, INC., THE DESIGNER, ARE INTENDED FOR USE ONLY ON THE PROPERTY FOR WHICH THEY WERE DESIGNED AND SHALL REMAIN THE PROPERTY OF GHY CONSULTING ENGINEERS. THE BUILDING PLANS ARE NOT INTENDED TO BE COMPREHENSIVE AND IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO NOTIFY THE OWNER AND / OR THE DESIGNER OR ANY NECESSARY CLARIFICATIONS OR MODIFICATIONS.
- ALL INFORMATION PERTAINING TO THE SITE SHALL REMAIN THE OWNERS RESPONSIBILITY. SITE INFORMATION SHALL INCLUDE LEGAL DESCRIPTION, DEED RESTRICTIONS, EASEMENTS, SITE SURVEYS, STREET AND UTILITY IMPROVEMENTS. GEOTECHNICAL INVESTIGATIONS AND REPORTS, GRADING AND EXCAVATION, LANDSCAPING, DRAINAGE, AND ALL RELATED DATA.
- THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE DESIGNER AND/OR ENGINEER FOR ANY UNUSUAL OR UNFORESEEN STRUCTURAL CONDITIONS, DISCREPANCIES OR OMISSIONS WITHIN THE CONSTRUCTION DOCUMENTS OR ANY DEVIATIONS OR CHANGES FROM THE DOCUMENTS BEFORE PROCEEDING WITH THE WORK INVOLVED; OTHERWISE THEY WILL BE CONSIDERED ADEQUATE FOR PROPER COMPLETION OF THE PROJECT.
- THE GENERAL CONTRACTOR AND EACH SUPERVISOR SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS AND MEASUREMENTS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE DESIGNER AND OWNER'S ATTENTION PRIOR TO COMMENCING ANY WORK. IN THE EVENT WORK COMMENCED WITH FAILURE TO NOTIFY BOTH THE DESIGNER AND OWNER, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY AND ALL, CORRECTIVE MEASURES OR ERRORS.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER AND ENGINEER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BEYOND THE CONTROL OF THE DESIGNER OR ENGINEER.
- THESE DOCUMENTS ARE INTENDED FOR USE IN NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIALS AND / OR MANUFACTURERS. THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAMPLES AS REQUIRED, TO ASSIST THE OWNER IN MAKING MATERIAL OR EQUIPMENT SELECTIONS OR COMPARISON. FOR THE PURPOSE OF ESTIMATING, THE GENERAL CONTRACTOR SHALL USE MATERIALS SELECTED BY THE OWNER, OR IN THE ABSENCE OF OWNER, HE SHALL PROVIDE AN ALLOWANCE AMOUNT, AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DOCUMENTS SHALL BE INCLUDED IN ANY ESTIMATES.
- THE GENERAL CONTRACTOR SHALL REVIEW AND RECORD ALL EXISTING CONDITIONS, INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE PROPOSED CONSTRUCTION. ALL EXISTING ITEMS AND CONDITIONS IN GOOD CONDITION SHALL BE MAINTAINED IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE CONSTRUCTION DOCUMENTS SHALL NOT BE CONSIDERED COMPLETE AND READY FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.
- EXAMINATION OF SITE: THE GENERAL CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS TO THE CONDITION UNDER WHICH THE WORK IS TO BE PERFORMED. THE GENERAL CONTRACTOR SHALL VERIFY AT THESE SITE. ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY EXPENSES DUE TO NEGLECT TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.
- EXAMINATION OF EXISTING PLUMBING AND ELECTRICAL; IN ANY CASE WHERE A NEW LINE MAY TIE INTO AN EXISTING LINE WITHIN THE LIMITS OF THE RENOVATION WORK. THE GENERAL CONTRACTOR OR HIS SUBCONTRACTOR SHALL EXAMINE THE ENTIRE EXISTING LINE, AND DETERMINE WHETHER THE NEW WORK WILL ADVERSELY BE AFFECTED BY IT. AND NOTIFY THE OWNER AND THE DESIGNER OF ANY SUCH DEFECT BEFORE COMMENCING WORK.

## APPLICABLE CODES AND REGULATIONS:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRIC CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- SANTA CLARA COUNTY MUNICIPAL CODE

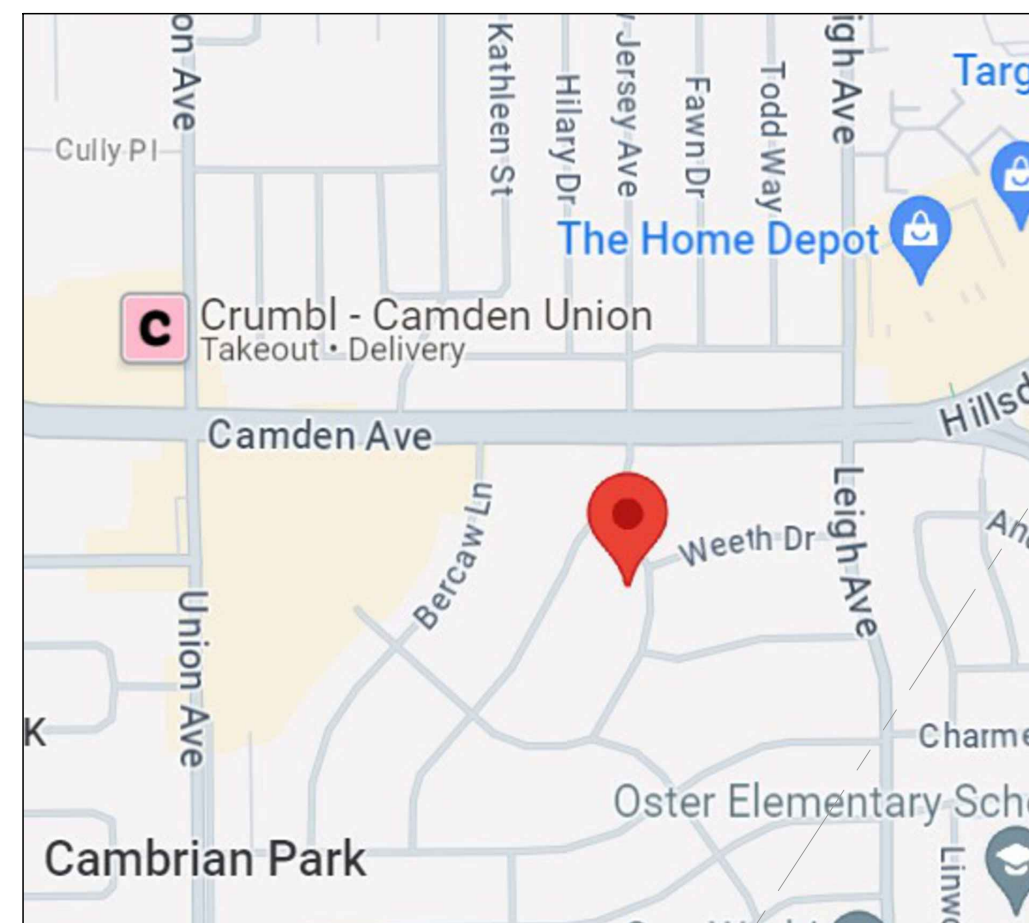
## SCOPE OF WORK:

- ROOM ADDITION ON FIRST FLOOR TO CREATE A BEDROOM, BATHROOM, KITCHEN AND FAMILY ROOM.
- ROOM ADDITION ON SECOND FLOOR TO CREATE 2 BEDROOMS AND 2 BATHROOMS.
- ADD NEW ENTRY PORCH.
- UPGRADE ELECTRICAL PANEL TO 400 AMP.
- DEMO (E) 2-CAR GARAGE ATTACHED TO WORKSHOP.
- ADD NEW 2-CAR GARAGE IN FRONT OF HOUSE.

PROJECT DATA					
ADDRESS: 14361 Lenray Ln, San Jose, CA 95124					
APN: 419-11-003					
Owner:	Phone:				
SHU-WEI HSU & HUI-CHING LU	(530) 601-3858				
Email: <a href="mailto:junisse1987@gmail.com">junisse1987@gmail.com</a>					
Zoning District: R1-20-n5	Gross Lot Area: 10863 sq. ft.				
Land Use: Low Density	Occupancy Group: R3 & U				
Residential (1+3 DU/AC)	Lot Width: 65.35', 92.35'				
	Lot Depth: 132.65', 151.07'				
DESCRIPTION OF PROJECT: ROOM ADDITION AND REMODEL. SEE SCOPE OF WORK.					
Fire Sprinkler (Yes or No ?) YES					
DEVELOPMENT STANDARDS					
STANDARD	EXISTING		CODE REQUIREMENT		PROPOSED
SETBACKS:	SANTA CLARA COUNTY ZONING ORDINANCE, CHAPTER 2.30.030, 3.40.070				
	FIRST FLOOR	SECOND FLOOR	FIRST FLOOR	SECOND FLOOR	FIRST FLOOR
FRONT	31'-0"	N/A	30'	30'	31'-0"
REAR	82'-0"	N/A	25'	25'	52'-8"
SIDE (LEFT)	8.47'	N/A	8'	8'	8.25'
SIDE (RIGHT)	26.20'	N/A	8'	8'	8.2'
TOTAL COMBINED SIDE	n/a	N/A	n/a	n/a	n/a
GARAGE/PARKING: SANTA CLARA COUNTY ZONING ORDINANCE, CHAPTER 4.30.070					
# OF PARKING SPACES	2		2		2
INTERIOR GARAGE DIMENSIONS	19'-2" x 19'-3"		17' x 18'		19'-5" x 29'-0"
HEIGHT: SANTA CLARA COUNTY ZONING ORDINANCE, CHAPTER 2.30.030					
MAIN BUILDING HEIGHT	14.5'		35.0'		22.5'
ENTRY FEATURE HEIGHT	8.0'		n/a		13.8'
LOT COVERAGE: SEE DIAGRAM SHEET A4.0 - CHAPTER 2.30.030					
TOTAL LOT COVERAGE	<< 50%		n/a		41.0%
FLOOR AREA RATIO	<< 45%		n/a		32.9%
FLOOR AREA CALCS					
	EXISTING	(E) TO BE REMOVED	PROPOSED	SUBTOTAL	
FIRST FLOOR LIVING AREA (EXCLUDING GARAGE)	1,181 S.F.	0	1,002 S.F.	2,183 S.F.	
SECOND FLOOR	0	0	986 S.F.	986 S.F.	
TOTAL FLOOR AREA	1,181 S.F.	0	1,988 S.F.	3,169 S.F.	
(E) GARAGE	407 S.F.	-407 S.F.	0 S.F.	0 S.F.	
NEW GARAGE	0 S.F.	0	394 S.F.	394 S.F.	
(E) ENTRY PORCH	106 S.F.	-106 S.F.	0 S.F.	0 S.F.	
NEW ENTRY PORCH	0 S.F.	0 S.F.	105 S.F.	105 S.F.	
WORKSHOP	742 S.F.	0 S.F.	0 S.F.	742 S.F.	
TOTAL LOT COVERAGE	2,436 S.F.	N/A	N/A	3,911 S.F.	

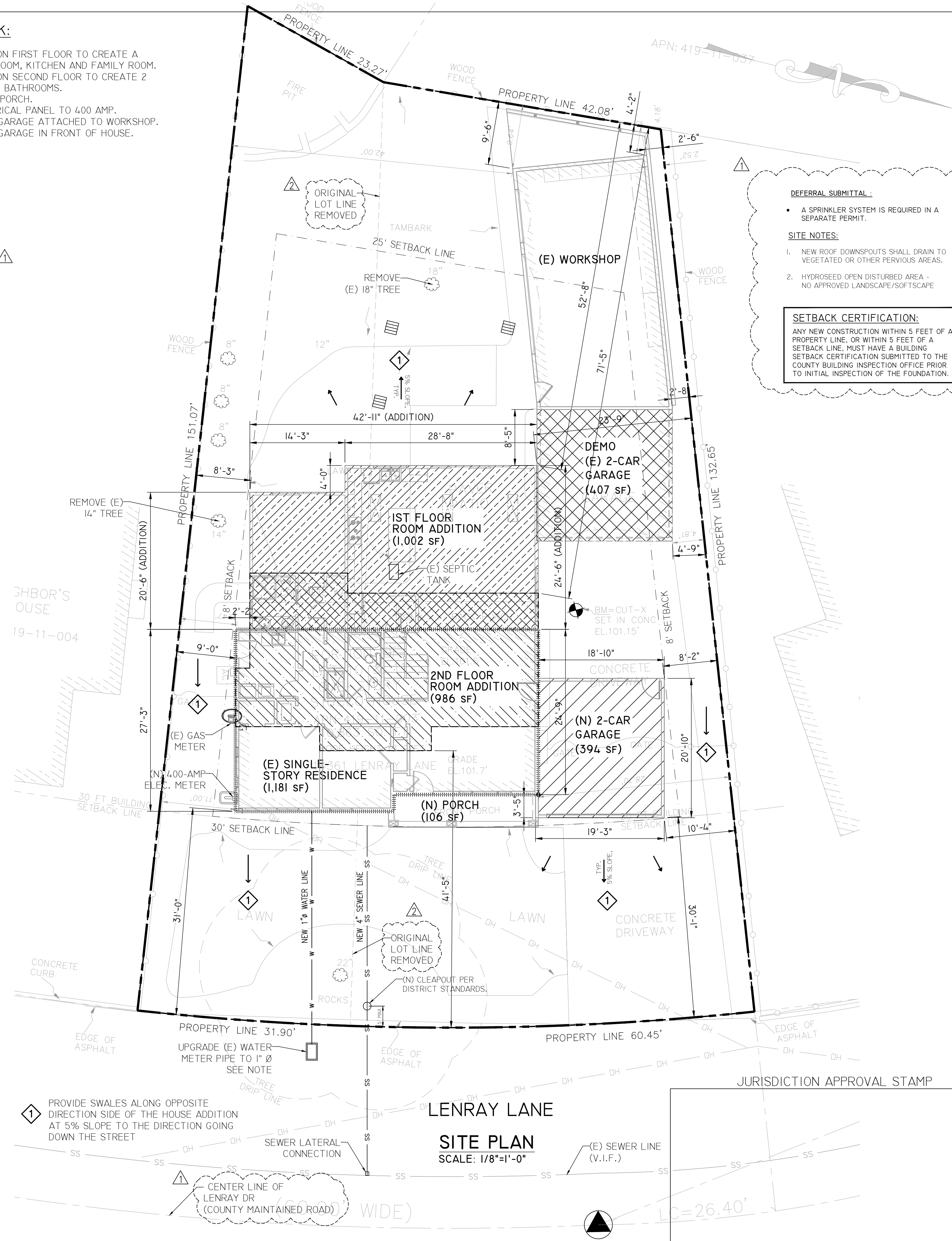
## LIST OF DRAWINGS :

- A1.0: SITE PLAN & GENERAL NOTES
- A1.1: CLEAN BAY BLUEPRINT
- A2.0: EXISTING & DEMO FLOOR PLAN
- A3.0: PROPOSED FIRST FLOOR PLAN
- A3.1: PROPOSED SECOND FLOOR PLAN
- A4.0: FLOOR AREA DIAGRAM
- A5.0: ROOF PLAN
- A6.0: EXISTING EXTERIOR ELEVATIONS
- A6.1: EXISTING EXTERIOR ELEVATIONS
- A6.2: PROPOSED EXTERIOR ELEVATIONS-1
- A6.3: PROPOSED EXTERIOR ELEVATIONS-2
- A6.4: SECTIONS & DETAILS
- B1.0: BOUNDARY & TOPO SURVEY PLAN
- E1.0: 1ST FLOOR ELECTRICAL PLAN & NOTES
- E1.1: 2ND FLOOR ELECTRICAL PLAN & NOTES
- S-0: STRUCTURAL NOTES
- S-1: FOUNDATION PLAN
- S-2: FLOOR & CEILING FRAMING PLAN
- S-3: LOWER ROOF FRAMING PLAN
- S-4: 2ND FLOOR ROOF FRAMING PLAN
- S-5: STRUCTURAL DETAILS-1
- S-6: STRUCTURAL DETAILS-2
- S-7: STRONG WALL DETAILS-1
- S-8: STRONG WALL DETAILS-2
- T-1: TITLE 24 COMPLIANCE-1
- T-2: TITLE 24 COMPLIANCE-2
- T-3: TITLE 24 COMPLIANCE-3
- CG-1: CALGREEN MANDATORY REQUIREMENTS
- CG-2: CALGREEN MANDATORY REQUIREMENTS
- ES-1: EROSION CONTROL PLAN
- BMP-1: EROSION CONTROL DETAILS-1
- BMP-2: EROSION CONTROL DETAILS-2



VICINITY MAP

CALL 811 BEFORE YOU DIG



**DEFERRAL SUBMITTAL :**

- A SPRINKLER SYSTEM IS REQUIRED IN A SEPARATE PERMIT.

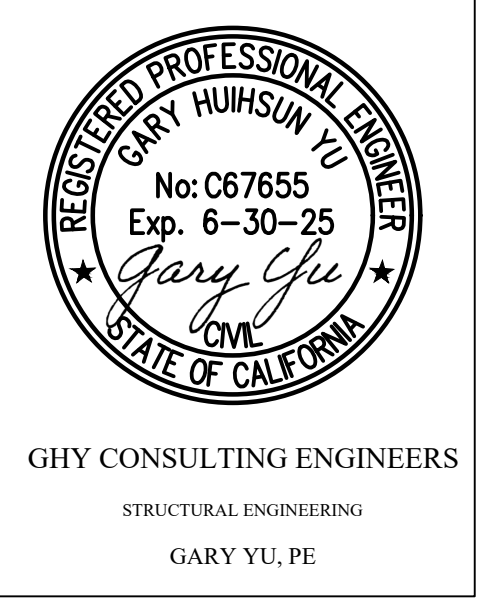
**SITE NOTES:**

- NEW ROOF DOWNSPOUTS SHALL DRAIN TO VEGETATED OR OTHER PERVIOUS AREAS.
- HYDROSEED OPEN DISTURBED AREA - NO APPROVED LANDSCAPE/SOFTSCAPE

**SETBACK CERTIFICATION:**

ANY NEW CONSTRUCTION WITHIN 5 FEET OF A PROPERTY LINE, OR WITHIN 5 FEET OF A SETBACK LINE, MUST HAVE A BUILDING SETBACK CERTIFICATION SUBMITTED TO THE COUNTY BUILDING INSPECTION OFFICE PRIOR TO INITIAL INSPECTION OF THE FOUNDATION.

**GHY CONSULTING ENGINEERS, INC.**  
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 STRUCTURAL ENGINEERING  
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**ROOM ADDITIONS AND RENOVATIONS**  
 HSU & LU'S FAMILY RESIDENCE  
 14361 LENRAY LN  
 SAN JOSE, CA 95124

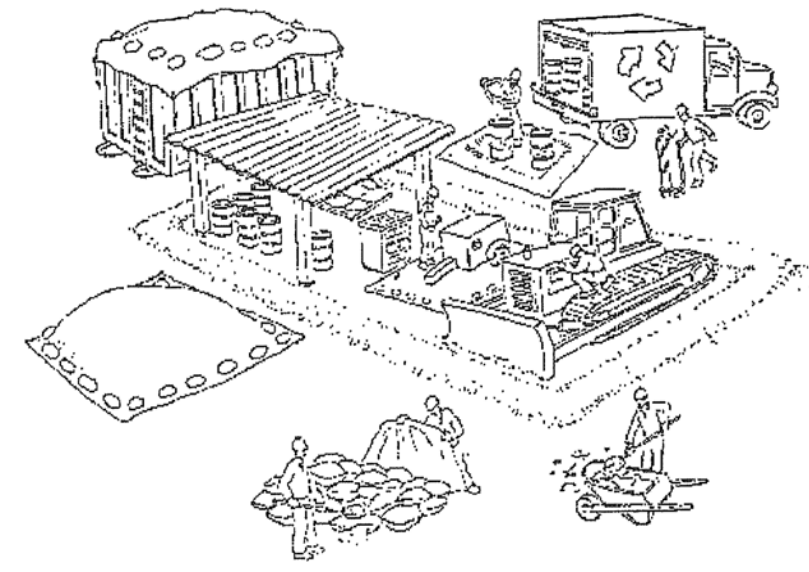
**SITE PLAN & GENERAL NOTES**

REVISION NOTES		
PO	02-23-24	PLANNING REVIEW
0	04-08-24	BUILDING REVIEW
1	10-15-24	PLAN CHECK COMMENTS
2	11-11-24	COMMENTS
NO	DATE	REVISION

SCALE: AS NOTED  
 DRAWN BY: GHY

DWG. NO. **A1.0**

# Clean Bay Blue Print



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Fremont requirements.

### Materials storage & spill cleanup

#### Non-hazardous materials management

- Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control as needed.
- Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
- Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with City of Fremont Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
- Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
- Cover all dumpsters with a tarp at the end of every work day or during wet weather.

#### Hazardous materials management

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- Keep a stockpile of spill cleanup materials (rags, absorbents, etc. ) available at the construction site at all times.
- When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- Dispose of all containment and cleanup materials properly.
- Report any hazardous materials spills immediately! Dial 911

#### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

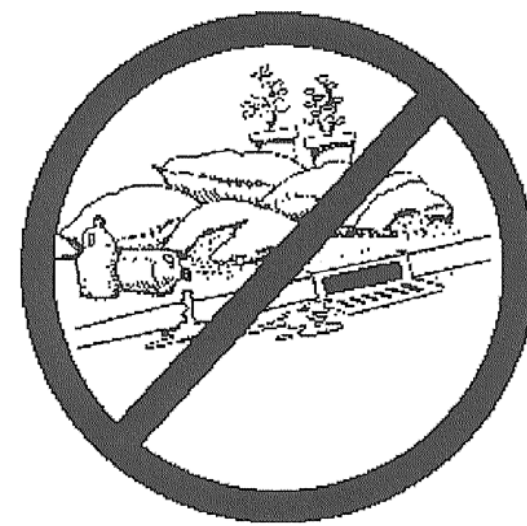
### Vehicle and equipment maintenance & cleaning

- Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Earthwork & contaminated soils

- Keep excavated soil on the site where it will not collect in the street.
- Transfer to dump trucks should take place on the site, not in the street.
- Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.
- Earth moving activities are only allowed during dry weather by permit and as approved by the City Inspector in the Field.
- Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.
- If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.



### Dewatering operations

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.
- Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

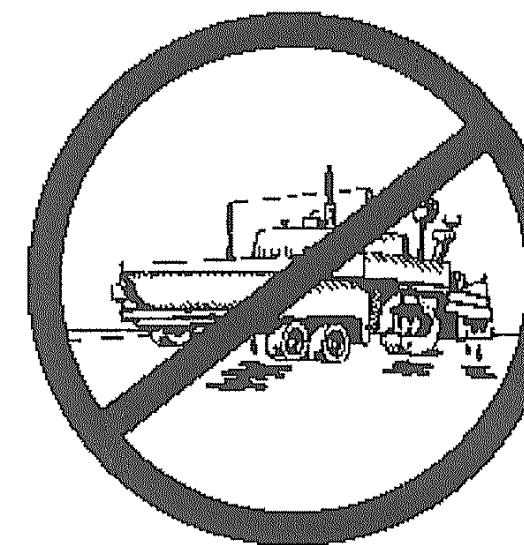


### Saw cutting

- Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If saw cut slurry enters a catch basin, clean it up immediately.

### Paving/asphalt work

- Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- Do not use water to wash down fresh asphalt concrete pavement.



### Concrete, grout, and mortar storage & waste disposal

- Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.



- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.

### Painting

- Never rinse paint brushes or materials in a gutter or street!
- Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- Paint out excess oil-based paint before cleaning brushes in thinner.
- Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



### Landscape Materials

- Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.

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**ROOM ADDITIONS AND RENOVATIONS**  
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 SAN JOSE, CA 95124

**CLEAN BAY BLUEPRINT REQUIREMENTS**

**Storm drain pollutants may be liable for fines of \$10,000 or more per day!**

For references and more detailed information:  
[www.cleanwaterprogram.org](http://www.cleanwaterprogram.org)  
[www.cabmphandbooks.com](http://www.cabmphandbooks.com)

JURISDICTION APPROVAL STAMP

#### REVISION NOTES

PO	02-23-24	PLANING REVIEW
0	03-22-24	BUILDING REVIEW
NO	DATE	REVISION

SCALE: AS NOTED  
 DRAWN BY: GHY

DWG. NO.  
**A-1.1**

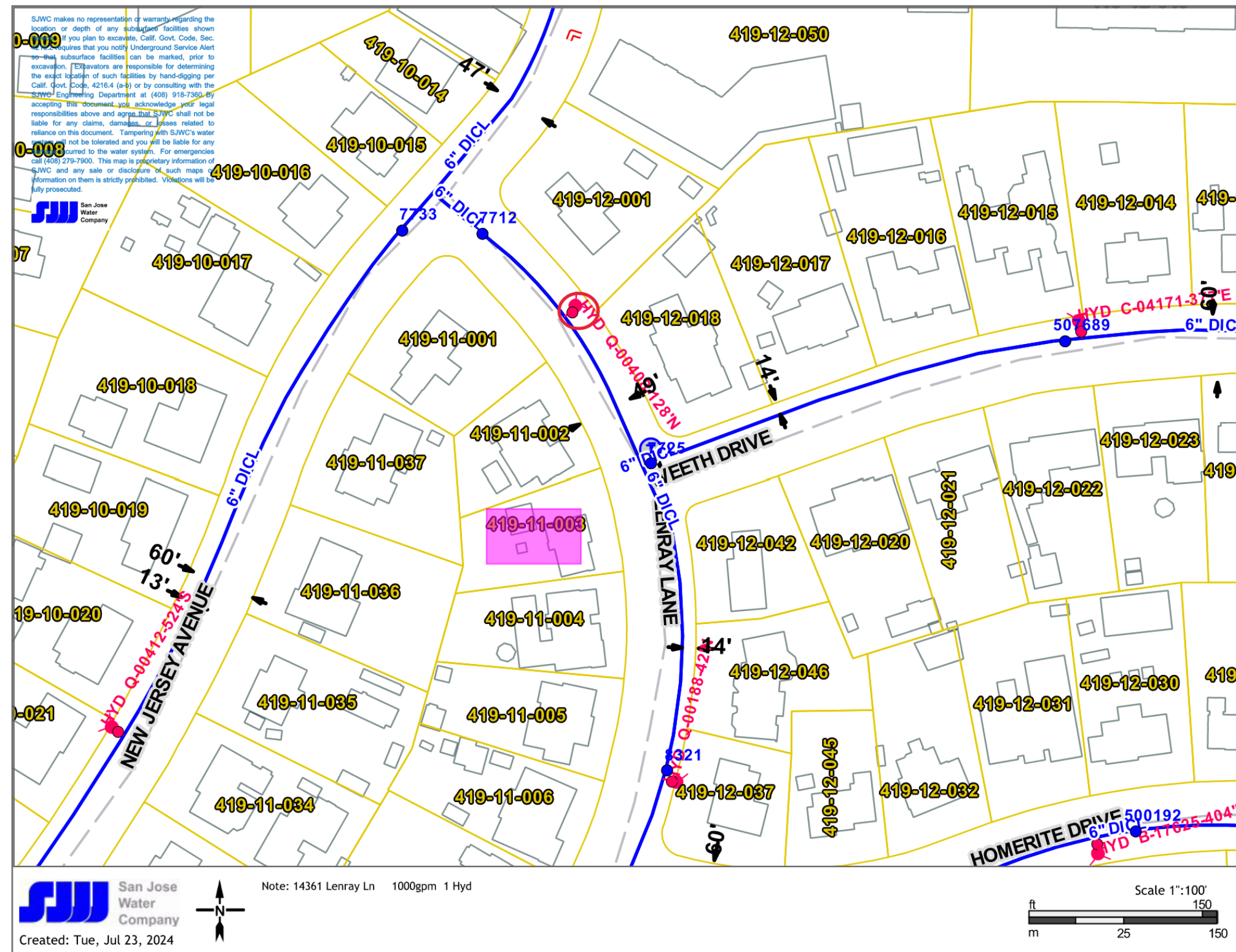
**Santa Clara County REBUILD Threshold <sup>a</sup>**

**Existing Residence Wall Modifications <sup>b c d</sup>**

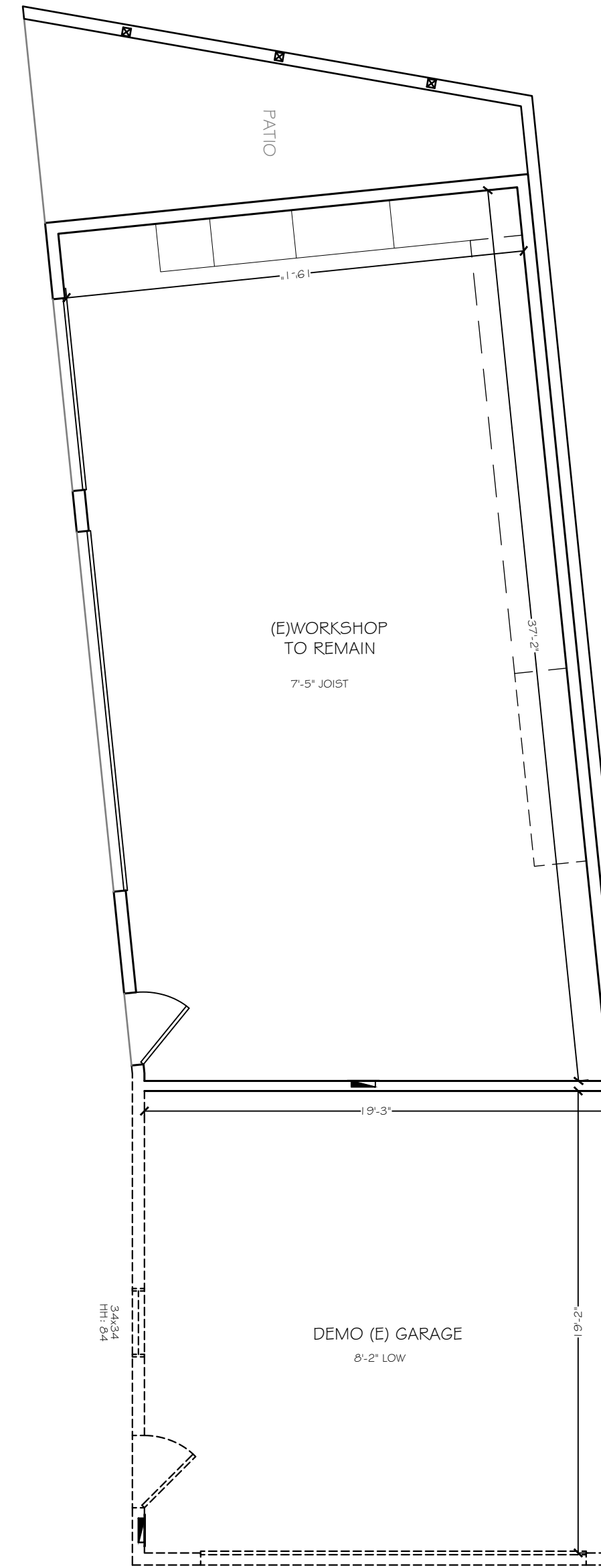
Total Lineal footage of all existing legally established exterior and interior walls (E)	Total Lineal footage of all walls proposed to be demolished (D) <sup>e</sup>	Total Lineal footage of walls to remain (R)	% Demolished = D/E (If this is over 50%, then project will be classified as a "REBUILD")
<b>268.5</b>	<b>29.6</b>	<b>238.9</b>	<b>11%</b>

**Footnotes:**

- a See County Ordinance # NS-1100.136
- b Lineal Feet measured to outside face or end of wall. Lengths of intersecting walls at corners may not be double counted.
- c All legally established interior & exterior walls including framed openings (doors & windows).
- d **The project will be classified as a "REBUILD" if the % Demolished exceeds 50%.**
- e A Demolished wall is a wall where the sill plate, studs, and double top plates have been removed or disconnected from adjacent roof/floor framing. New framed openings in the wall, such as doors or windows, are not considered a demolished wall.

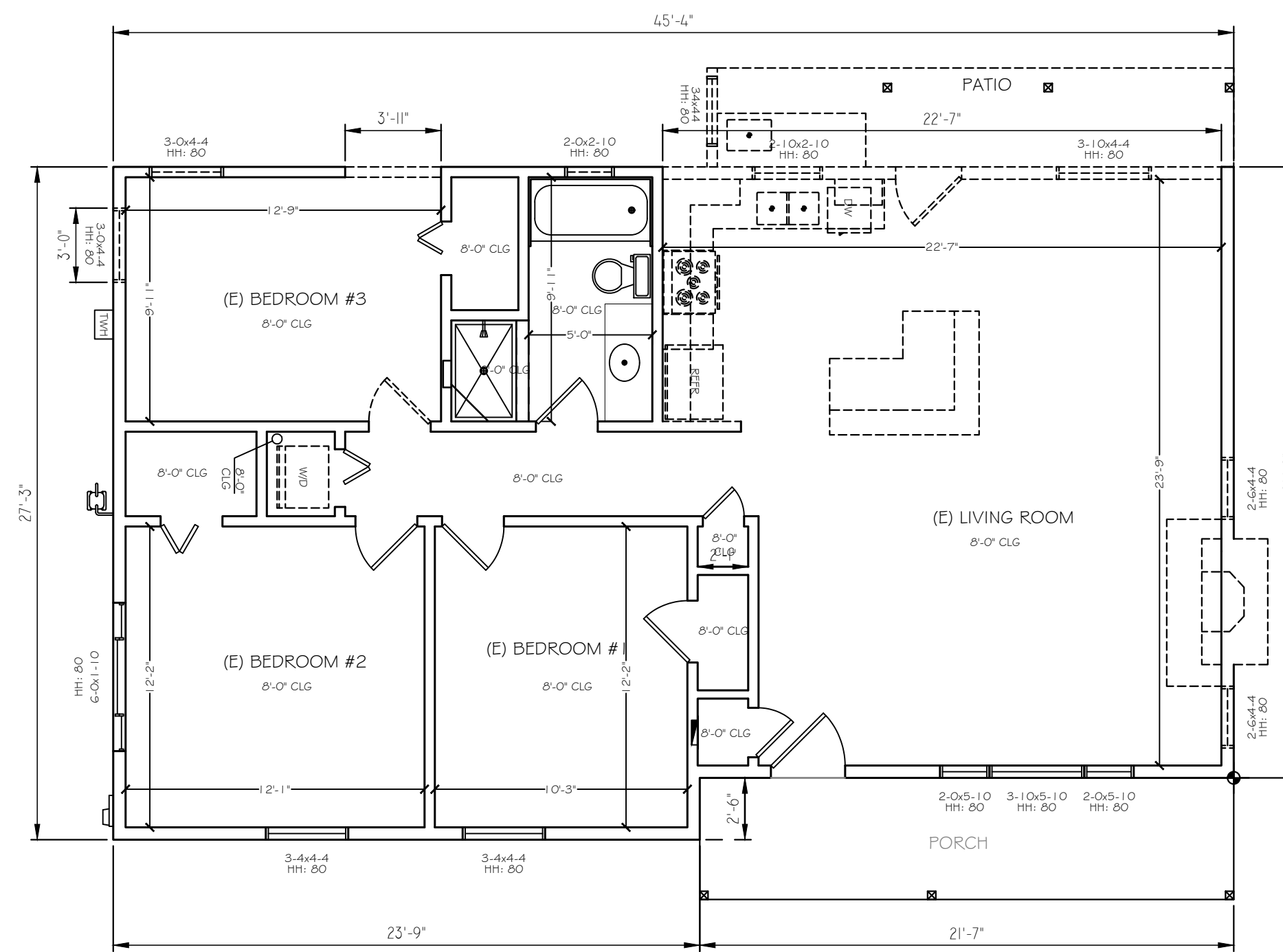


**FIRE HAYDRANT MAP**



**LEGENDS:**

- : INDICATES EXIST. WALL
- : INDICATES NEW 2X4 STUD WALL
- : INDICATES NEW 2X6 STUD WALL
- : INDICATES NEW WALL
- : INDICATES (E) WALL TO BE REMOVED
- : INDICATES (E) WINDOW TO BE REMOVED
- HH:80 : HEADER HEIGHT: 80"
- (E) WINDOW W/SIZE INDICATION: 6'-0"W x 4'-6"H
- (E) WINDOW W/SIZE INDICATION: 3'-10"W x 4'-10"H
- DOOR W/SIZE INDICATION: 2'-4"W x 6'-8"H

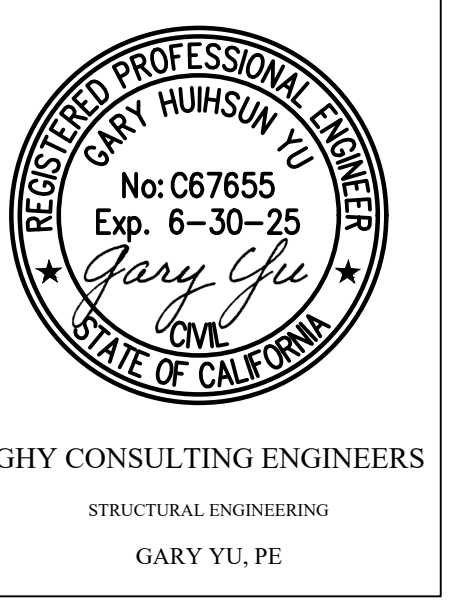


**EXISTING & DEMO FLOOR PLAN**

SCALE: 3/16" = 1'-0"

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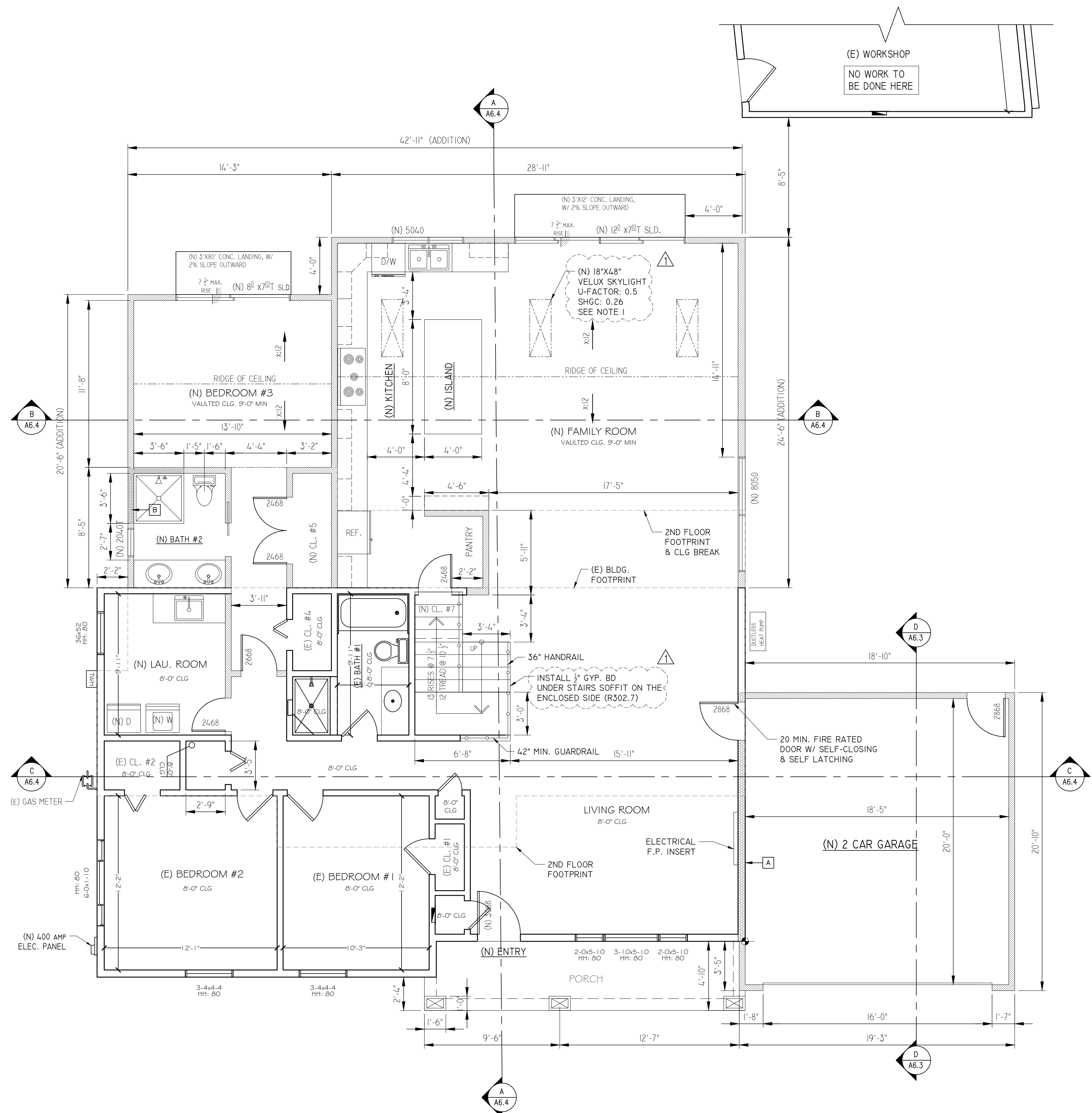
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**EXISTING & DEMO FLOOR PLAN**

**REVISION NOTES**

NO	DATE	REVISION
PO	02-23-24	PLANING REVIEW
0	04-08-24	BUILDING REVIEW
1	08-15-24	PLAN CHECK COMMENTS

SCALE: AS NOTED  
 DRAWN BY: GHY

DWG. NO.  
**A2.0**



**LEGENDS:**

- : INDICATES EXIST. WALL
- : INDICATES NEW 2X4 STUD WALL
- : INDICATES NEW 2X6 STUD WALL
- : INDICATES NEW WALL
- : INDICATES (E) WALL TO BE REMOVED
- : INDICATES (E) WINDOW TO BE REMOVED
- NEW WINDOW W/SIZE INDICATION: 6'-0"W x 4'-6"H
- (E) WINDOW W/SIZE INDICATION: 3'-6"W x 4'-10"H
- DOOR W/SIZE INDICATION: 2'-4"W x 6'-8"H
- T : TEMPERED GLAZE
- SH : SINGLE HUNG WINDOW
- SLD : SLIDING DOOR

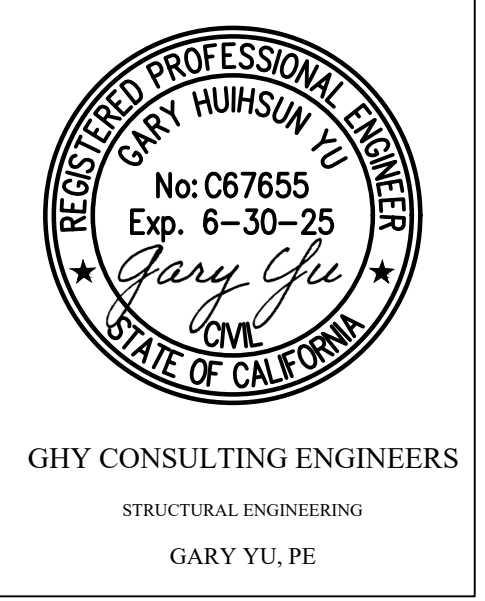
- : INDICATES 1/2" THK. TYPE X GYP. BD. FIRE-RESISTANCE WALL. EXTEND FROM FOOTING TO THE UNDERSIDE OF ROOF SHEATHING. SEE SECTIONS FOR WALL ASSEMBLY DETAILS.
- : INDICATES SHOWER AND TUB/SHOWER WALLS TO HAVE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET
- : INDICATES NEW WINDOWS U-FACTOR MAX. 0.30 SHGC MAX. 0.23
- : INDICATES EGRESS WINDOWS MAX 44" SILL HEIGHT ABOVE F.F. MIN 5.7 SF. NET CLEAR OPENING AREA EXCEPT: GRADE FLOOR OPENING NOT > 44" ABOVE OR BELOW FINISHED GRADE LEVEL CAN BE MIN 5.0 SF. MIN 24" NET CLEAR OPENING HEIGHT MIN 20" NET CLEAR OPENING WIDTH

**NOTES:**

- I. SKYLIGHTS INSTALLED IN A ROOF WITH A PITCH FLATTER THAN 3:12 SHALL BE MOUNTED ON A CURB EXTENDING NOT LESS THAN 4 INCHES ABOVE THE ROOF UNLESS OTHERWISE SPECIFIED IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS PER CRC R308.6.8

**PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

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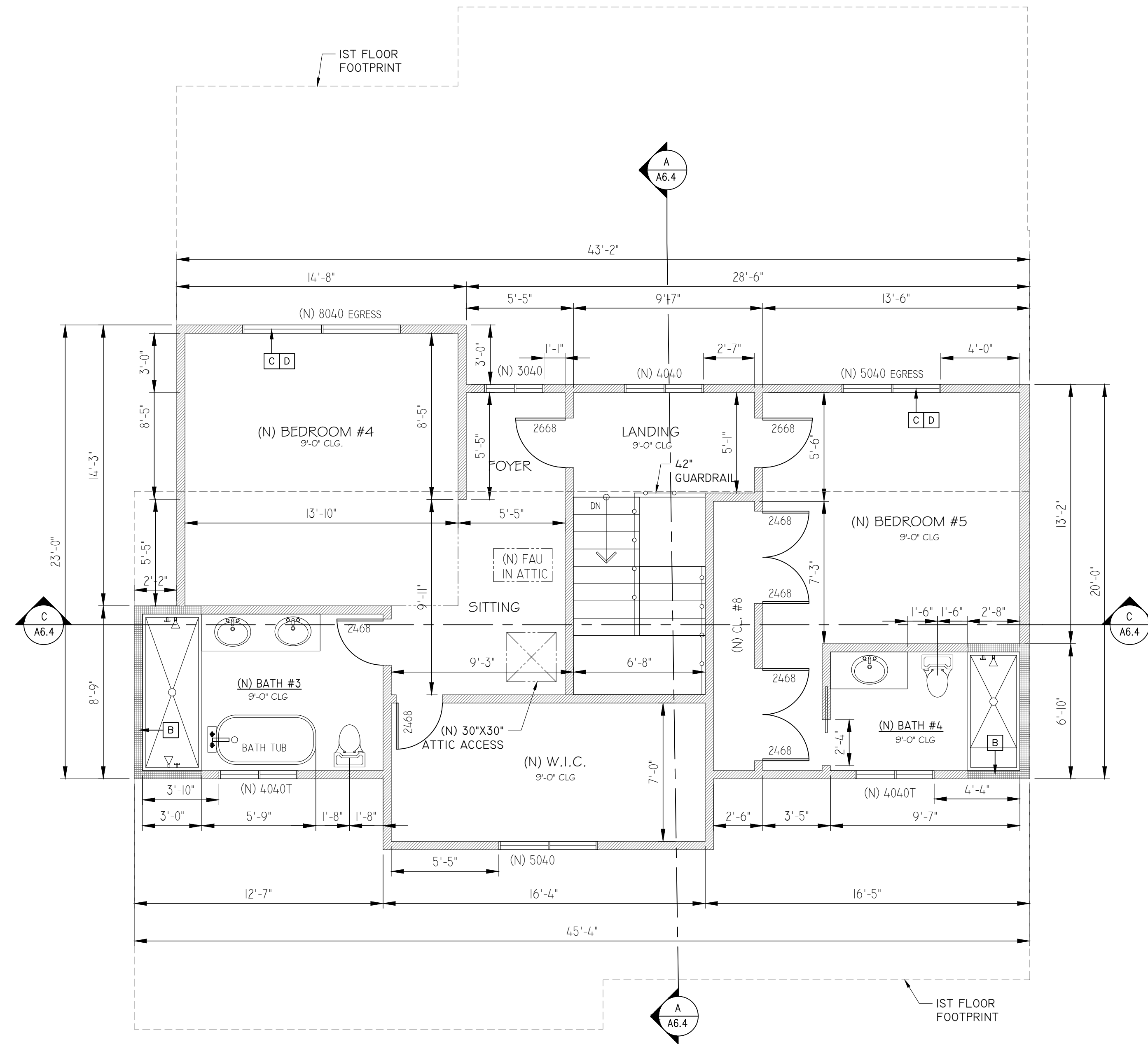
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**PROPOSED FIRST FLOOR PLAN**

REVISION NOTES		
PO	02-23-24	PLANING REVIEW
0	04-08-24	BUILDING REVIEW
1	08-26-24	PLAN CHECK COMMENTS
NO	DATE	REVISION

SCALE: AS NOTED  
DRAWN BY: GHY

DWG. NO.  
**A3.0**

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**PROPOSED SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"

**LEGENDS:**

- : INDICATES EXIST. WALL
- : INDICATES NEW 2X4 STUD WALL
- : INDICATES NEW 2X6 STUD WALL
- : INDICATES NEW WALL
- : INDICATES (E) WALL TO BE REMOVED
- : INDICATES (E) WINDOW TO BE REMOVED
- : NEW WINDOW W/SIZE INDICATION: 6'-0"W x 4'-6"H
- : (E) WINDOW W/SIZE INDICATION: 3'-6"W x 4'-10"H
- : DOOR W/SIZE INDICATION: 2'-4"W x 6'-8"H
- T : TEMPERED GLAZE
- SH : SINGLE HUNG WINDOW
- SLD : SLIDING DOOR

: INDICATES 5/8" THK. TYPE X GYP. BD. ONE-HOUR FIRE-RESISTANCE FIRE SEPARATION WALL. EXTEND FROM FOOTING TO THE UNDERSIDE OF ROOF SHEATHING. SEE SECTIONS FOR WALL ASSEMBLY DETAILS.

: INDICATES SHOWER AND TUB/SHOWER WALLS TO HAVE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET

: INDICATES NEW WINDOWS  
U-FACTOR MAX. 0.30 SHGC MAX. 0.23

: INDICATES EGRESS WINDOWS  
MAX 44" SILL HEIGHT ABOVE F.F.  
MIN 5.7 SF. NET CLEAR OPENING AREA EXCEPT: GRADE FLOOR OPENING NOT > 44" ABOVE OR BELOW FINISHED GRADE LEVEL CAN BE MIN 5.0 SF.  
MIN 24" NET CLEAR OPENING HEIGHT  
MIN 20" NET CLEAR OPENING WIDTH

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ROOM ADDITIONS AND RENOVATIONS  
HSU & LU'S FAMILY RESIDENCE  
14361 LENRAY LN  
SAN JOSE, CA 95124  
**PROPOSED SECOND FLOOR PLAN**

**REVISION NOTES**

PO	02-23-24	PLANING REVIEW
0	04-08-24	BUILDING REVIEW

NO	DATE	REVISION

SCALE: AS NOTED

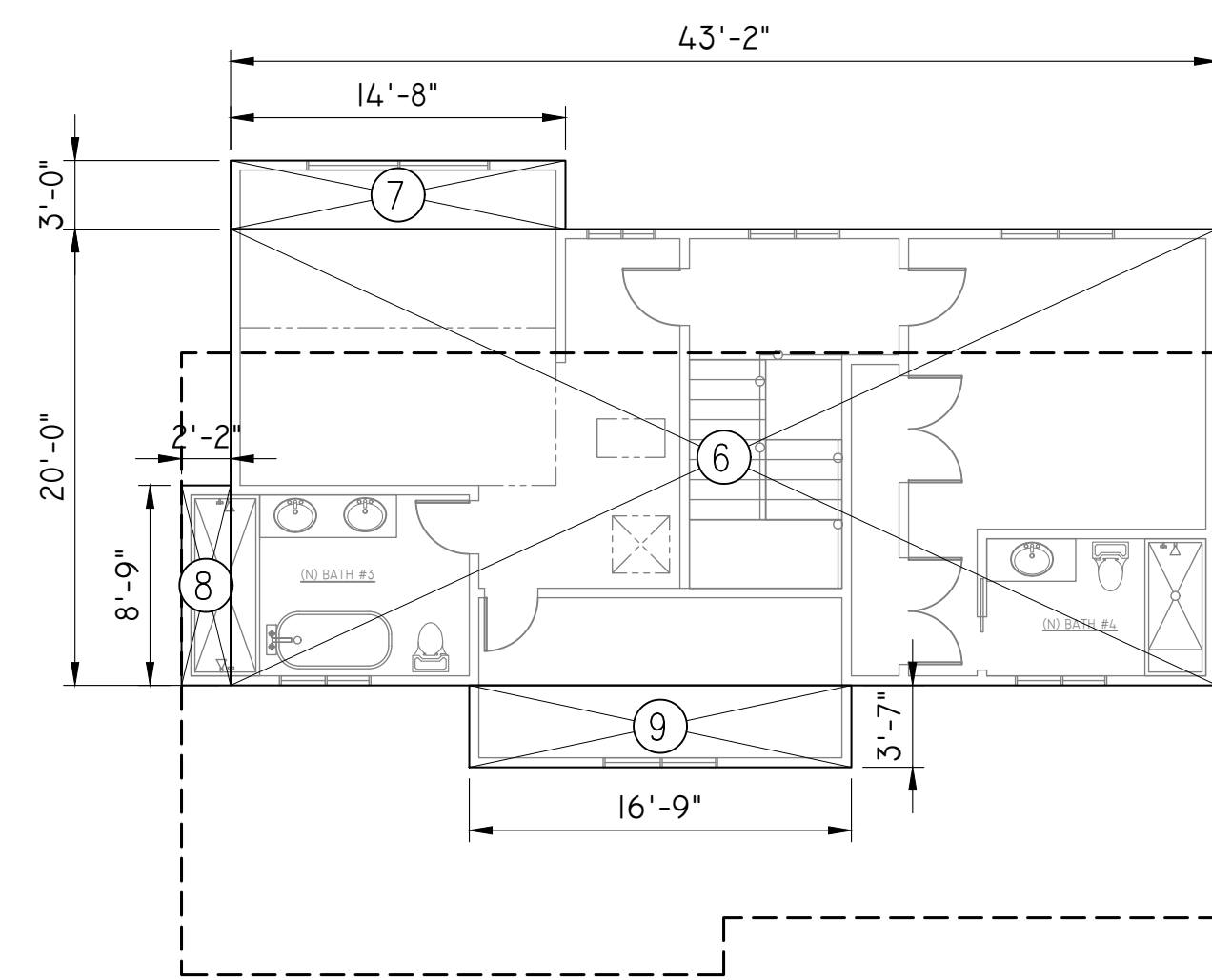
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DWG. NO.

**A3.1**

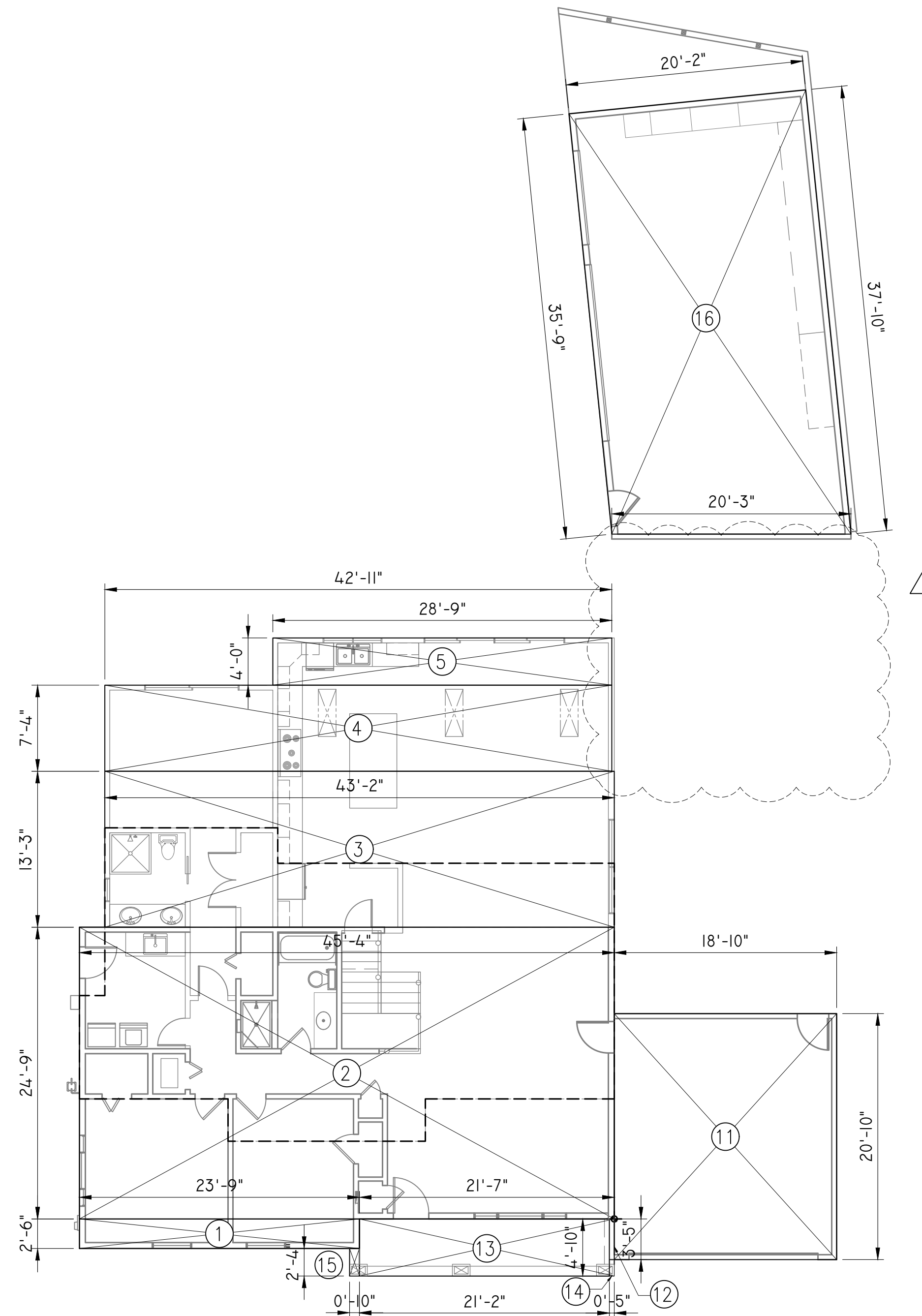
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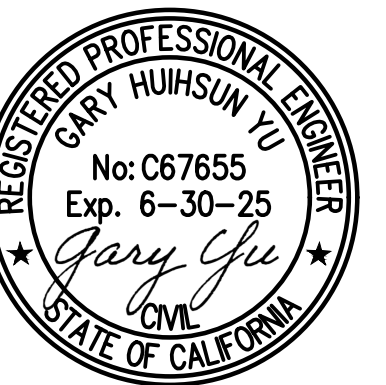
**2nd FLOOR  
FLOOR AREA DIAGRAM**  
SCALE: 1/8"=1'-0"

FLOOR AREA CALCS				
ITEM	BLOCK	LENGTH (FT)	WIDTH (FT)	AREA (SQ. FT.)
(E) 1ST FLOOR	1	23.8	2.5	59.4
	2	45.3	24.8	1122.0
(E) 1ST FLOOR AREA	A0			1181.4
1ST FLOOR ADDITION	3	43.2	13.3	572.0
	4	42.9	7.3	314.7
	5	28.8	4.0	115.0
TOTAL 1ST ADDITION AREA	A1			1001.7
2ND FLOOR ADDITION	6	43.2	20.0	863.3
	7	14.7	3.0	44.0
	8	8.8	2.2	19.0
	9	16.8	3.6	60.0
TOTAL 2ND ADDITION AREA	A2			986.3
PROPOSED ADDITION AREA	A1 + A2			1988.0
TOTAL PROPOSED FLOOR AREA	A0 + A1 + A2			3169.4
DEMO (E) GARAGE AREA	10	20.3	20.1	406.7
NEW GARAGE	11	20.8	18.8	392.4
	12	3.4	0.4	1.4
TOTAL NEW GARAGE	A3			393.8
ENTRY PORCH	13	21.2	4.8	102.3
	14	1.4	0.4	0.6
	15	2.3	0.8	1.9
TOTAL ENTRY PORCH	A4			104.8
(E) WORKSHOP AREA	16	36.8	20.2	742.0
TOTAL FLOOR AREA	A0 + A1 + A2 + A3			3563.2
NET LOT AREA				10863
MAX F.A.R. (50% OF LOT AREA)			50%	5431.5
FLOOR AREA RATIO				32.8% (OK)



**1st FLOOR  
FLOOR AREA DIAGRAM**  
SCALE: 1/8"=1'-0"

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SAN JOSE, CA 95124  
**FLOOR AREA DIAGRAM**

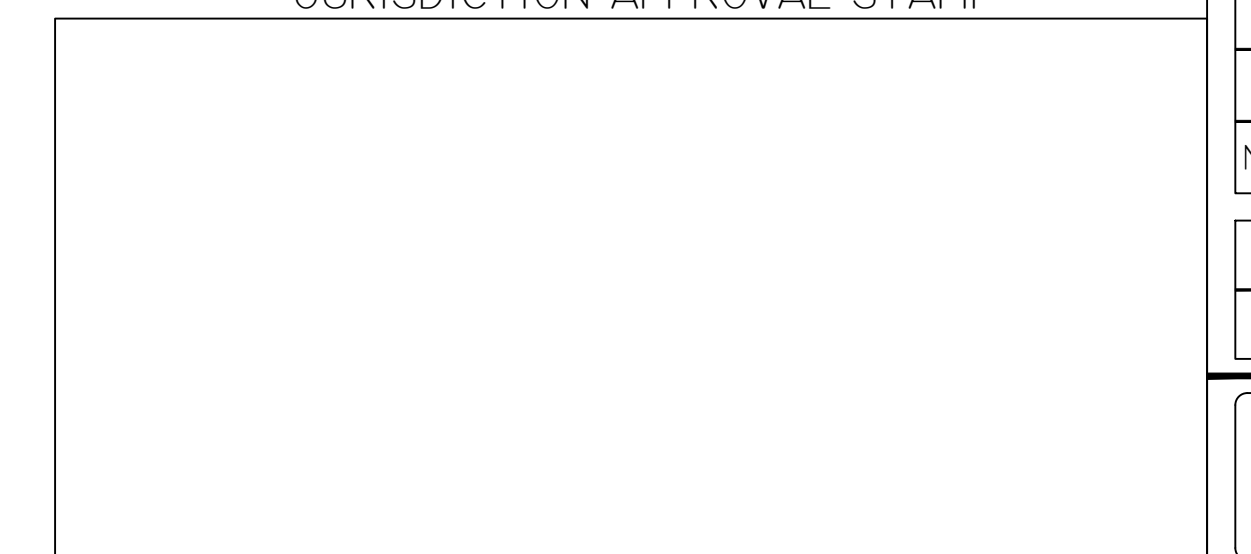
**REVISION NOTES**

NO	DATE	REVISION
P0	02-23-24	PLANING REVIEW
0	04-08-24	BUILDING REVIEW
1	08-15-24	PLAN CHECK COMMENTS

SCALE: AS NOTED  
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**A4.0**

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**ROOF SPECIFICATIONS:**

1. SPECIFICATION: ROOFING MATERIAL TO MATCH EXISTING.
2. UNDERLAYMENT: 2 LAYERS OF 30 LBS FELT OR BETTER APPLICATION: PER MANUFACTURER'S WRITTEN SPECIFICATIONS
3. FIRE REQUIREMENT: ROOF SHALL BE FIRE STOPPED TO PRECLUDE ENTRY OF FLAME OR EMBERS UNDER ROOF COVERING.
4. MIN. UNDERLAYMENT REQUIREMENT SHOULD BE TWO 30 POUND FELTS, BLIND NAILED 18" FOR SLOPES GREATER THAN 3/12 NO INTERPLAY ASPHALT SHOULD BE NECESSARY.
5. ROOFING CONTRACTOR SHALL VERIFY THE ABOVE SPECIFICATIONS WITH ROOFING MANUFACTURER'S WRITTEN SPECIFICATIONS.

**ROOF NOTES:**

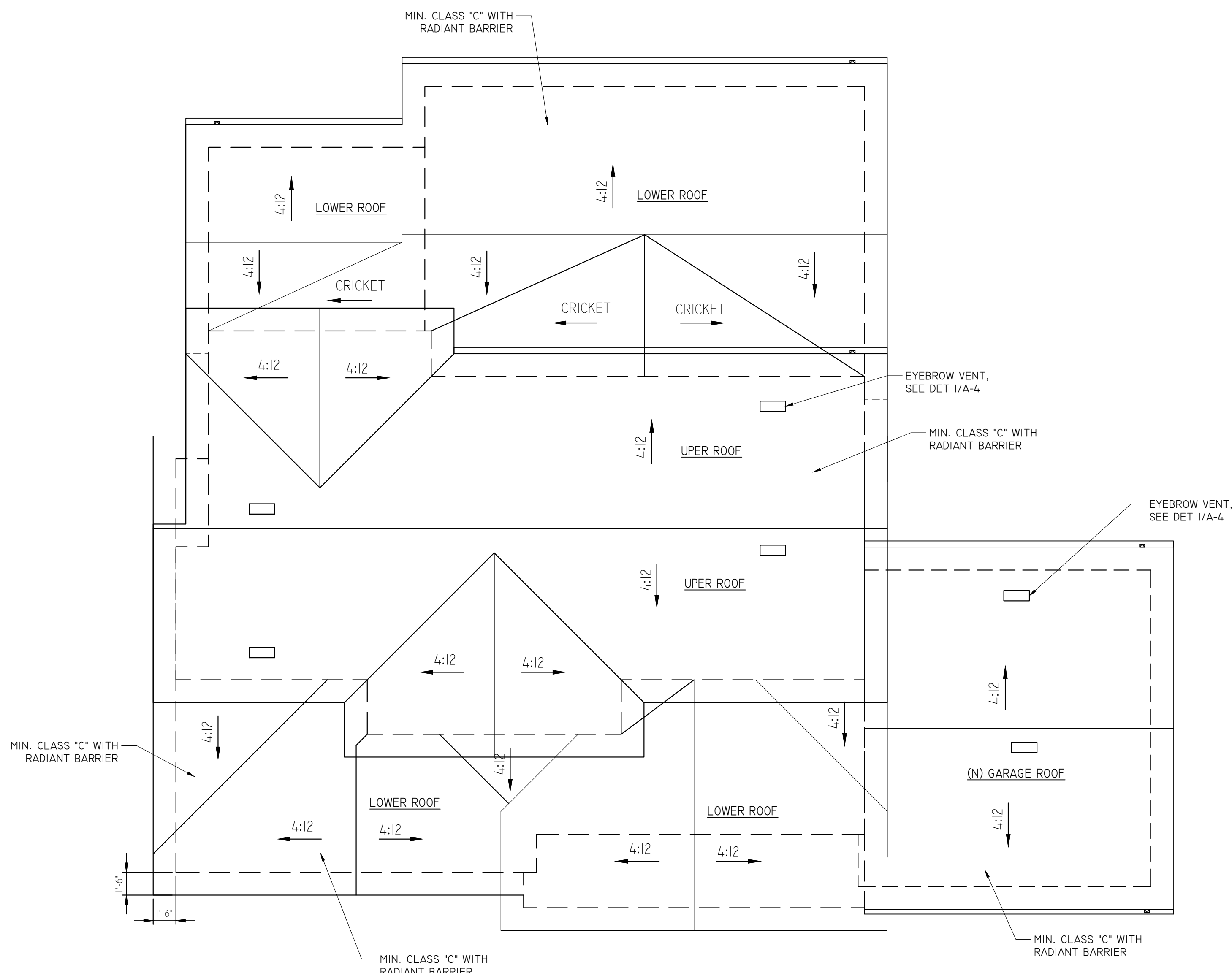
- ROOF PITCH, SLOPE 4 IN 12 AND VARIES TO BE VERIFIED IN FIELD.
- PROVIDE VALLEY FLASHING PER 2022 CRC;
- PROVIDE FLASHING AT JUNCTION BETWEEN ROOFS & WALLS PER 2022 CRC;
- INSTALL RADIANT BARRIER ON THE WARM SIDE OF ALL THE ATTIC/CEILING INSULATION.

NEW 2ND FLOOR ATTIC VENT CALCULATIONS						
ITEM	VENTILATION TYPE	ATTIC VENT CALCS (R800)	NEW ROOF DATA	(N) ROOF ATTIC AREA	X 144 SQ. IN.	ATTIC VENT REQUIRED DEVIDED BY 150
(1)	NEW			986 (SQ. FT.)	141984 (SQ. IN.)	947 (SQ. IN.)
	2" DIA. VENT HOLE	RAFTER BLOCK'S LENGTH	VENT HOLE SPACING	NO. OF BLY'G	(3) 2" VENT HOLE/NFVA	TOTAL VENT HOLE NFVA
(2)		71.0 (FT)	4.0 (FT)	18	9.42 (SQ. IN.)	170 (SQ. IN.)
	GABLE LOUVER VENT	MAKE/MODEL	SIZE	NO. OF LOUVER	LOUVER NFVA	TOTAL LOUVER NFVA
(3)		GIBRALTAR	14"X24"	4	147 (SQ. IN.)	588 (SQ. IN.)
	EYEBROW VENT MODEL	SIZE	NFVA	NO. OF HIGH VENT	NO. OF LOW VENT	TOTAL EYEBROW NFVA
(4)	O'HAGIN-TAPERED	LOW-PROFILE	72	2	2	288 (SQ. IN.)
(5)	TOTAL VENT PROVIDED				(5) = (2) + (3) + (4)	1046 (SQ. IN.)
	*NFVA =	NET FREE VENTILATION AREA			(5) - (1)	(OK)

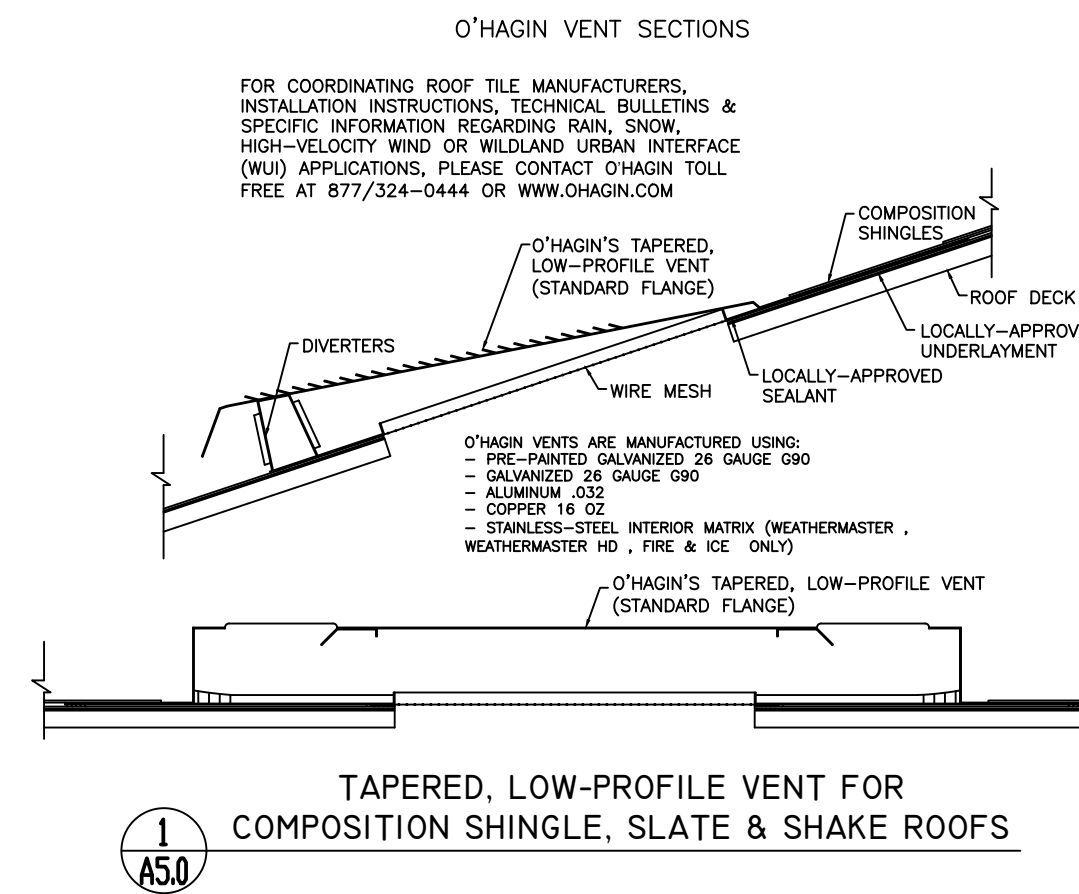
  

NEW GARAGE ATTIC VENT CALCULATIONS						
ITEM	VENTILATION TYPE	ATTIC VENT CALCS (R800)	NEW ROOF DATA	(N) ROOF ATTIC AREA	X 144 SQ. IN.	ATTIC VENT REQUIRED DEVIDED BY 150
(1)	NEW			394 (SQ. FT.)	56736 (SQ. IN.)	378 (SQ. IN.)
	2" DIA. VENT HOLE	RAFTER BLOCK'S LENGTH	VENT HOLE SPACING	NO. OF BLY'G	(3) 2" VENT HOLE/NFVA	TOTAL VENT HOLE NFVA
(2)		36.0 (FT)	4.0 (FT)	10	9.42 (SQ. IN.)	94 (SQ. IN.)
	GABLE LOUVER VENT	MAKE/MODEL	SIZE	NO. OF LOUVER	LOUVER NFVA	TOTAL LOUVER NFVA
(3)		GIBRALTAR	14"X24"	1	147 (SQ. IN.)	147 (SQ. IN.)
	EYEBROW VENT MODEL	SIZE	NFVA	NO. OF HIGH VENT	NO. OF LOW VENT	TOTAL EYEBROW NFVA
(4)	O'HAGIN-TAPERED	LOW-PROFILE	72	1	1	144 (SQ. IN.)
(5)	TOTAL VENT PROVIDED				(5) = (2) + (3) + (4)	385 (SQ. IN.)
	*NFVA =	NET FREE VENTILATION AREA			(5) - (1)	(OK)

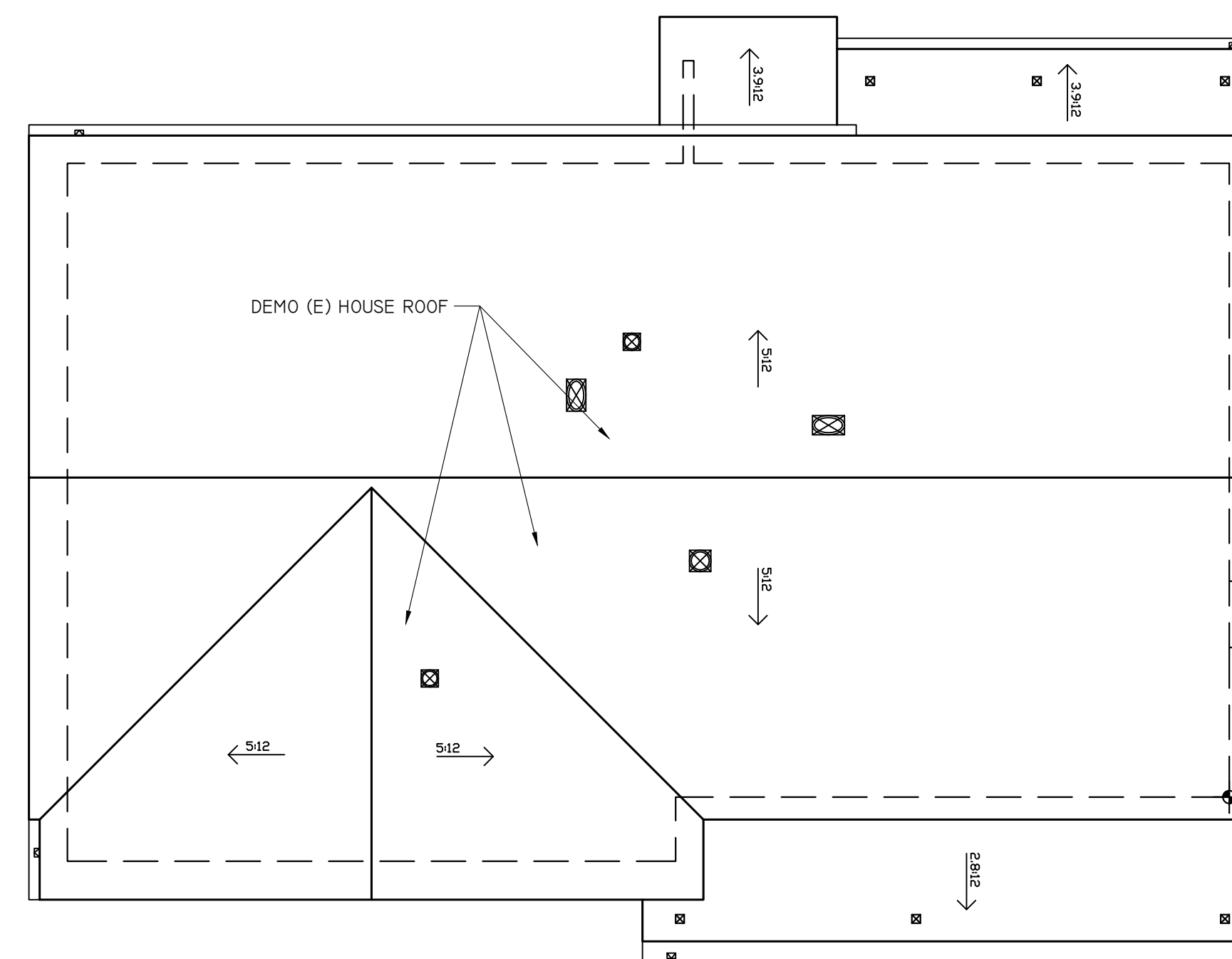
NOTE: ANY EXISTING VENTS BLOCKED BY THE ADDITION SHALL BE PROVIDED IN KIND AT THE NEW STRUCTURE.



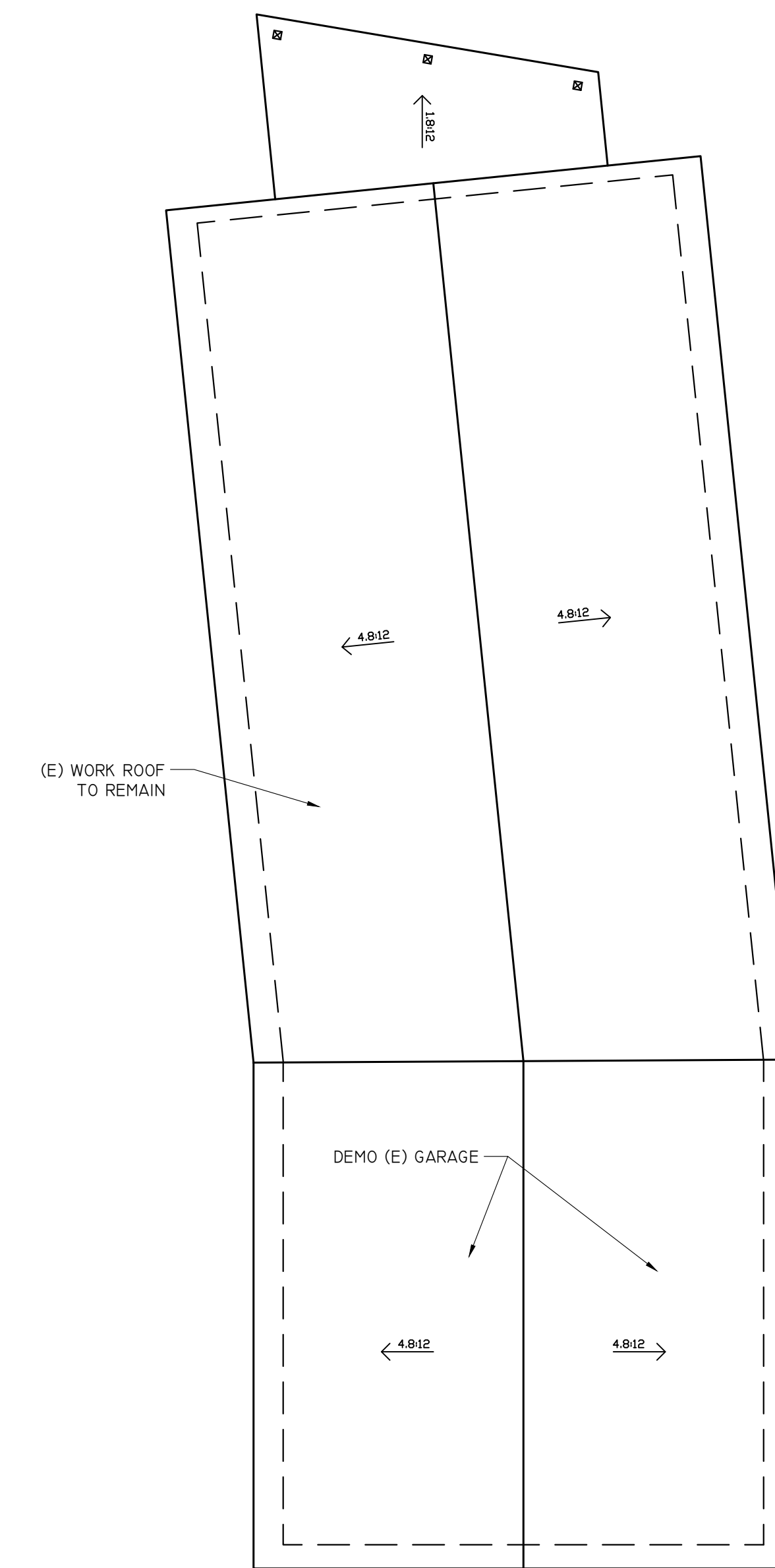
**PROPOSED ROOF PLAN**  
SCALE: 3/16"=1'-0"



**TAPERED, LOW-PROFILE VENT FOR COMPOSITION SHINGLE, SLATE & SHAKE ROOFS**



**MAIN HOUSE**  
**(E) ROOF PLAN**  
SCALE: 3/16"=1'-0"



**DETACHED GARAGE**

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**EXISTING & PROPOSED ROOF PLAN**

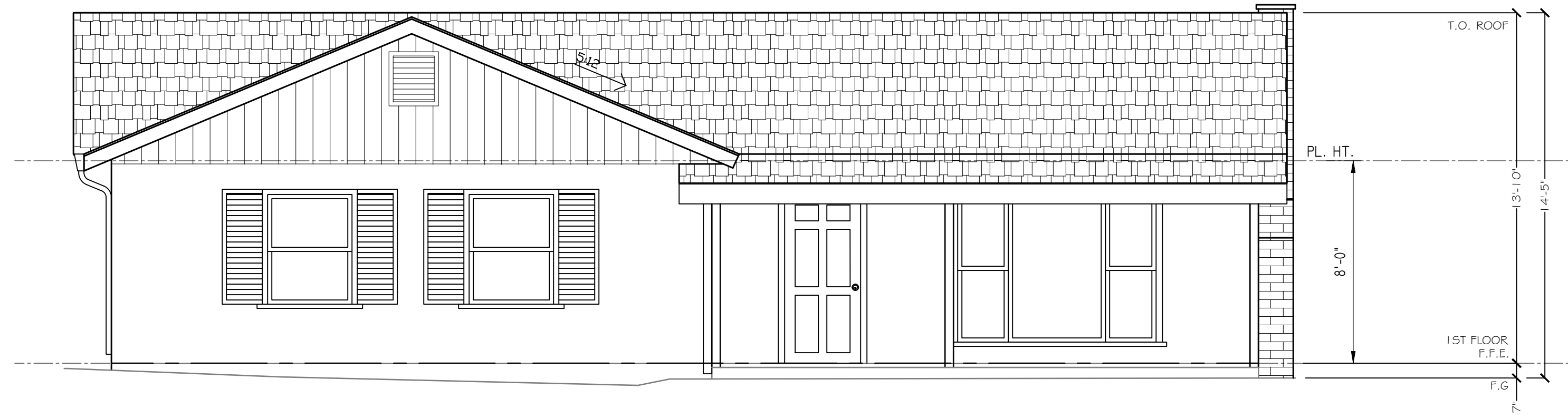
**REVISION NOTES**

PO	02-23-24	PLANNING REVIEW
0	04-08-24	BUILDING REVIEW

NO	DATE	REVISION
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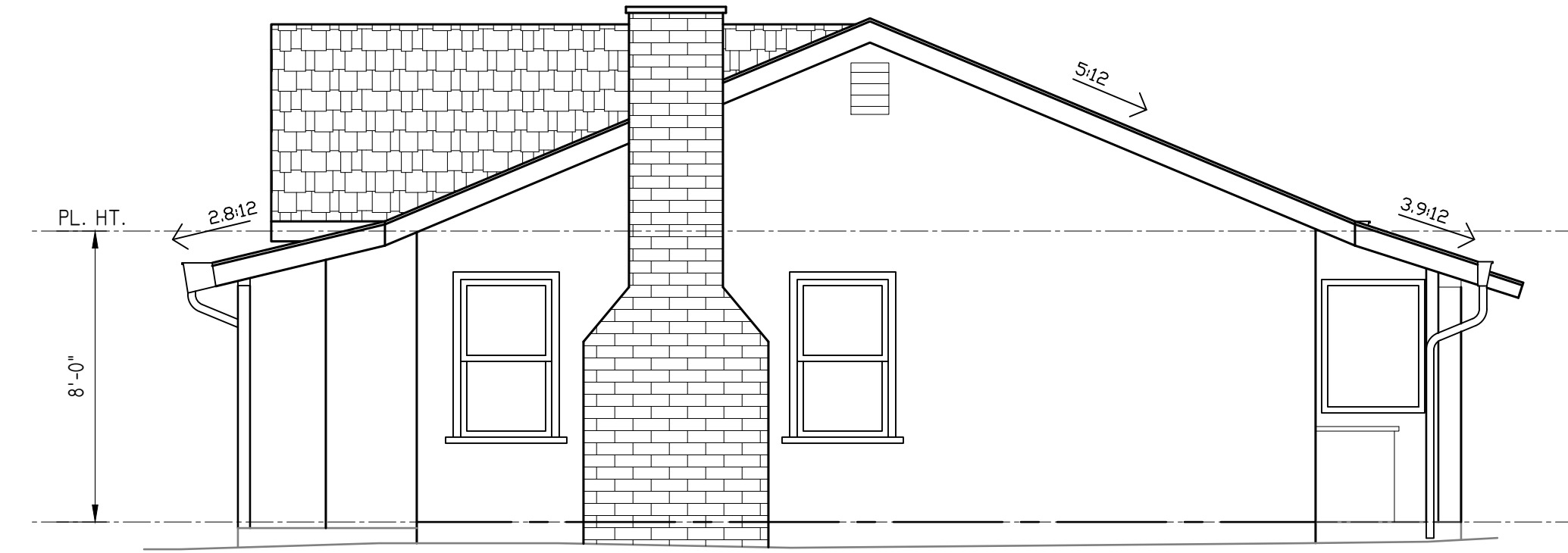
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DWG. NO.  
**A5.0**



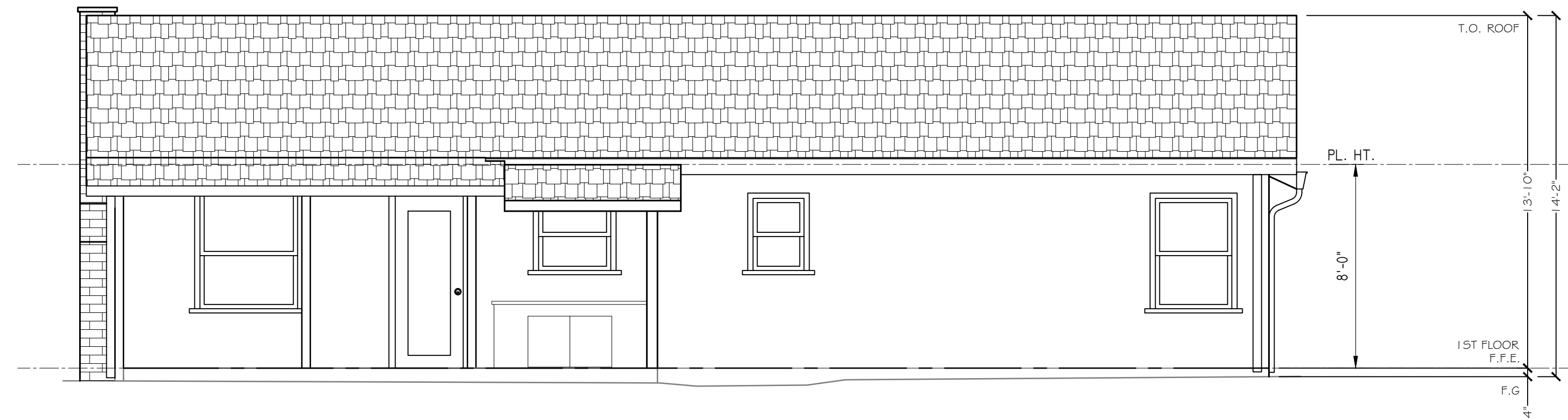
(E) FRONT ELEVATION  
SCALE: 1/4"=1'-0"

EAST



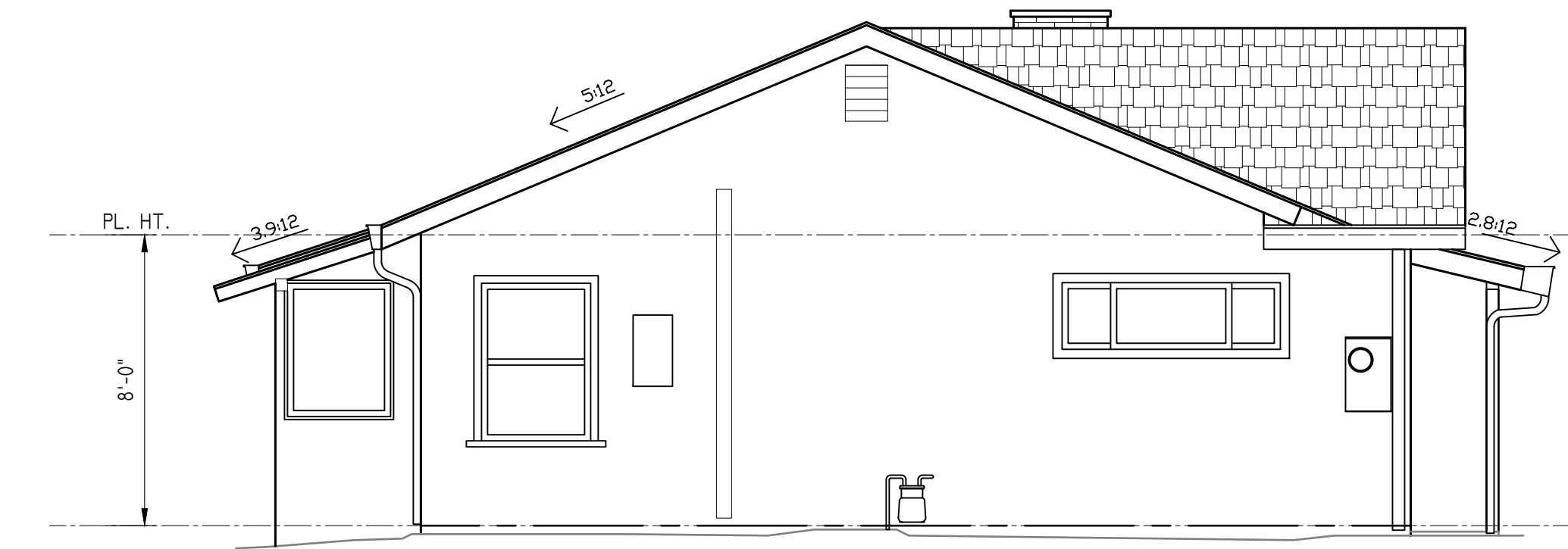
(E) RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

NORTH



(E) REAR ELEVATION  
SCALE: 1/4"=1'-0"

WEST



(E) LEFT ELEVATION  
SCALE: 1/4"=1'-0"

SOUTH

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EXISTING HOUSE EXTERIOR ELEVATIONS

REVISION NOTES

PO	02-23-24	PLANING REVIEW
0	03-22-24	BUILDING REVIEW

NO	DATE	REVISION
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SCALE: AS NOTED

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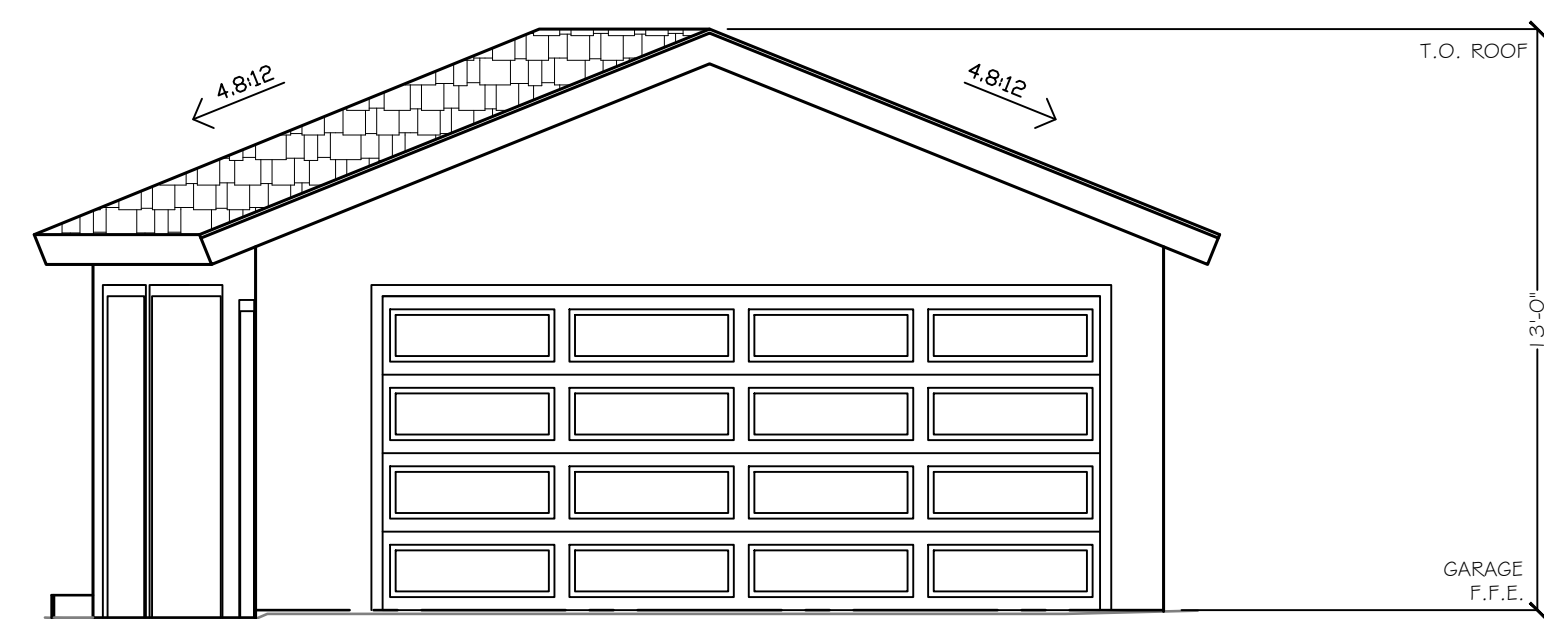
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**A6.0**

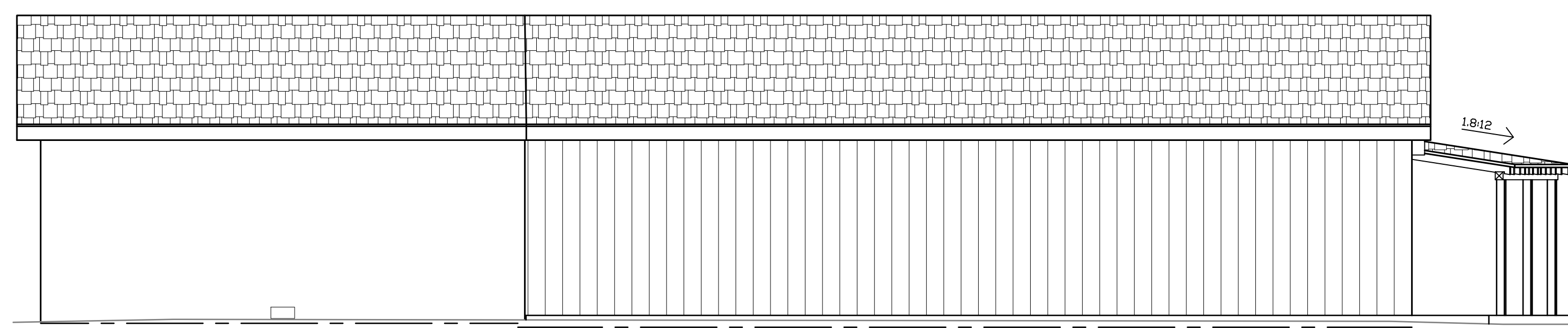
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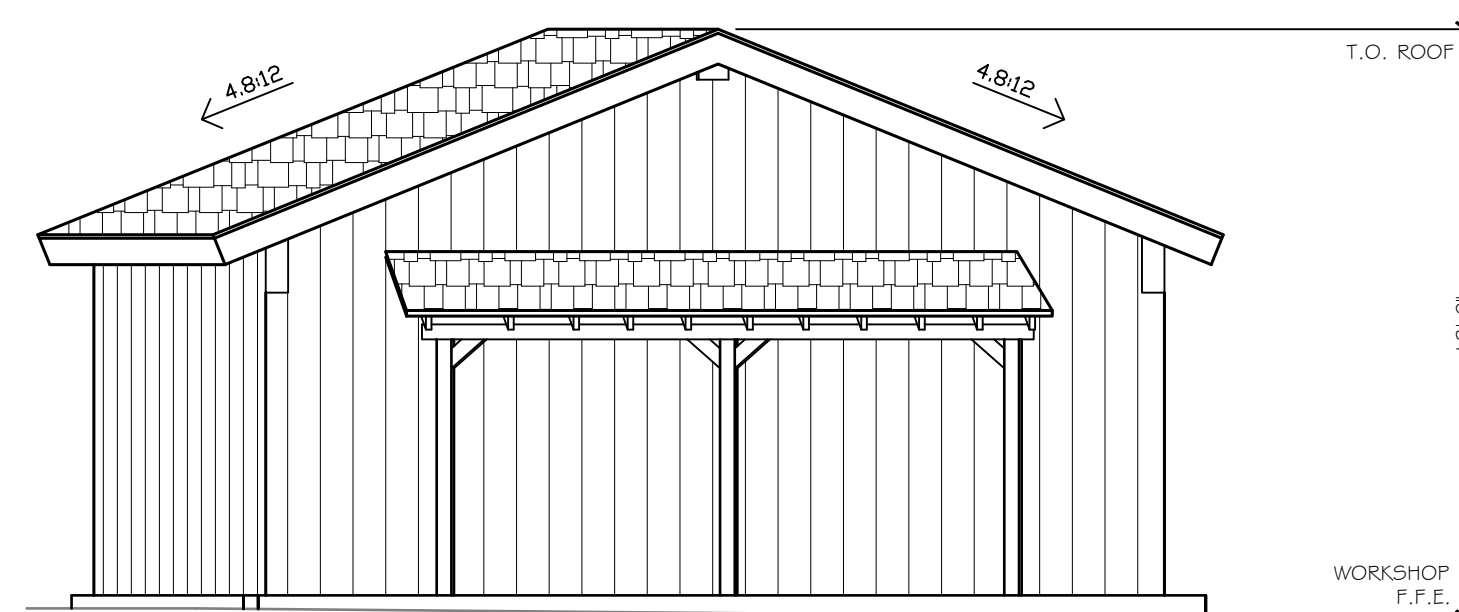




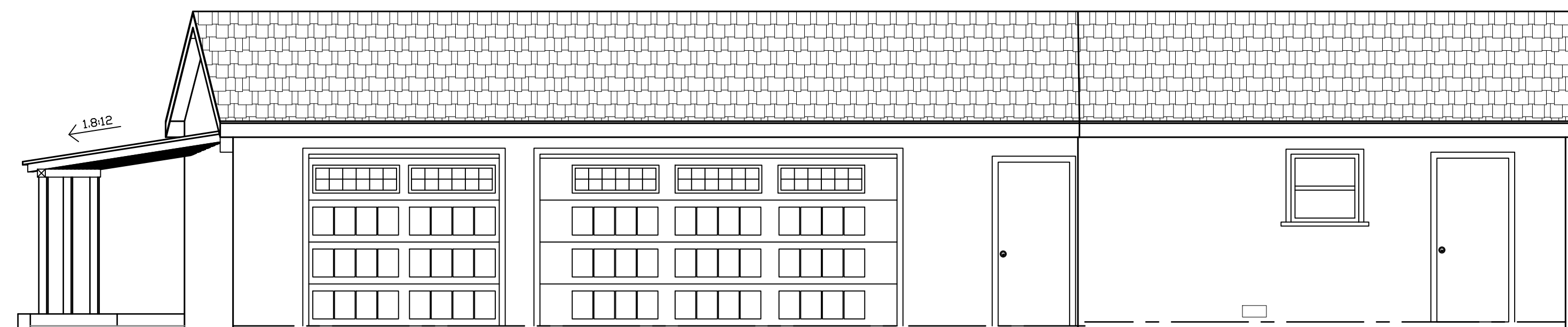
EAST



NORTH



WEST



SOUTH

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 EXISTING GARAGE EXTERIOR ELEVATIONS

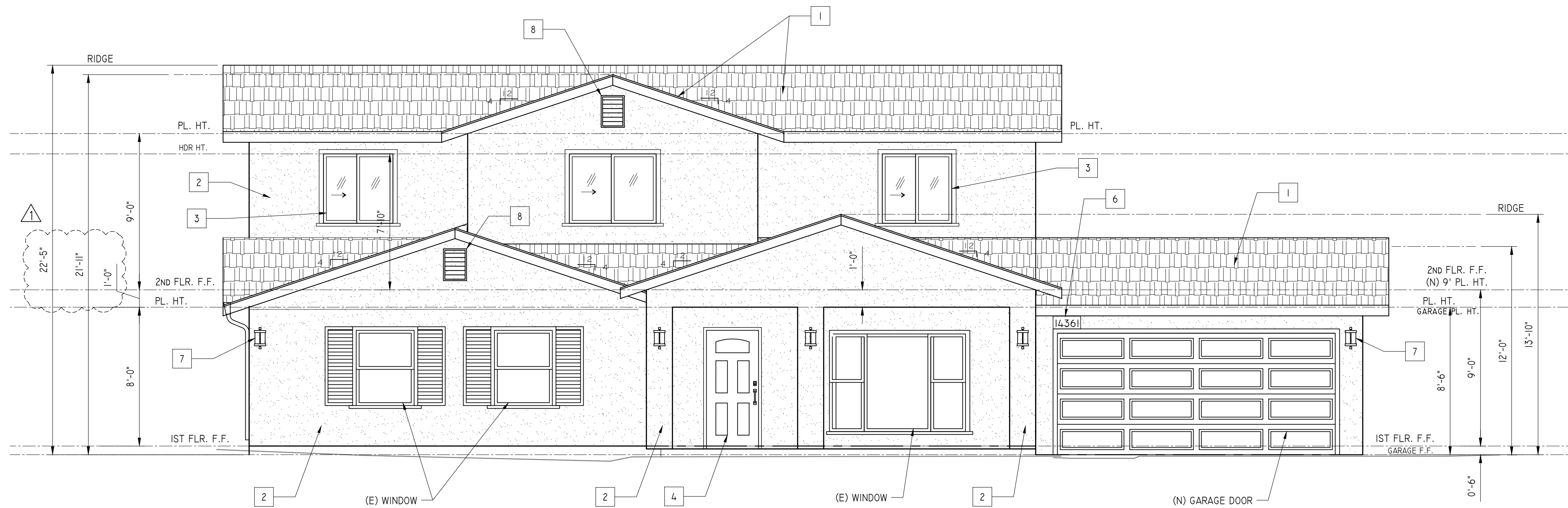
REVISION NOTES

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0	03-22-24	BUILDING REVIEW

NO	DATE	REVISION

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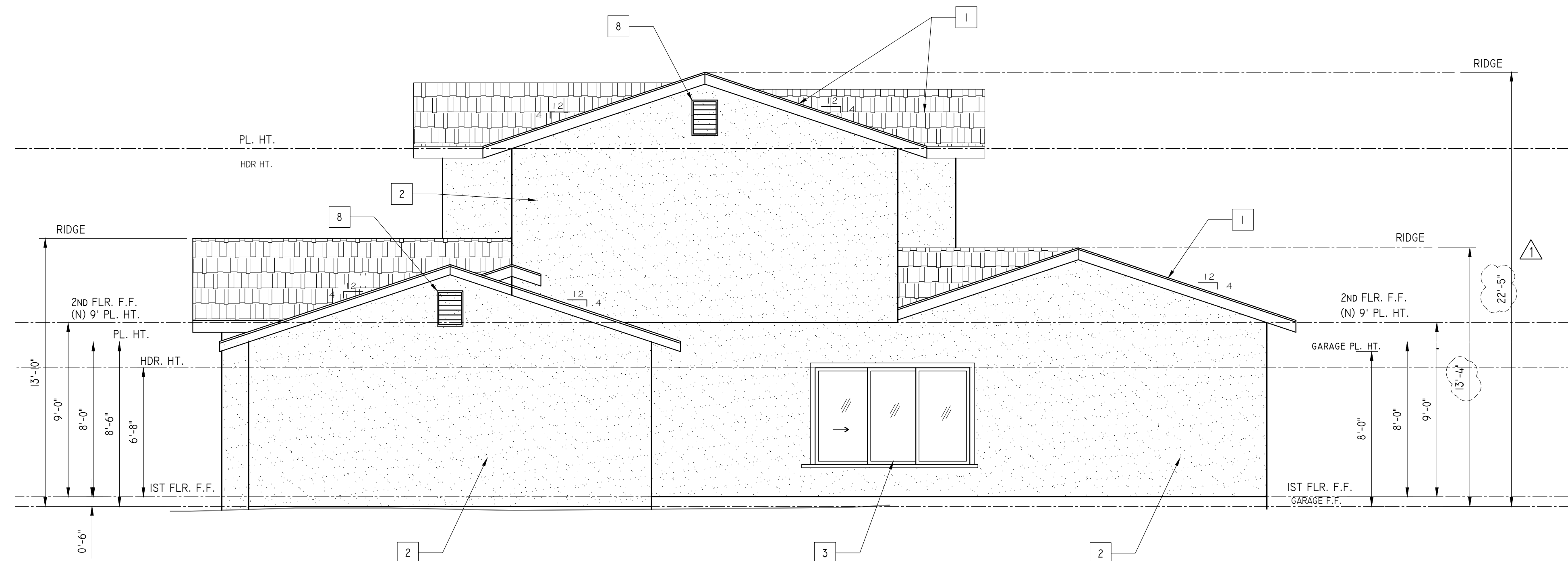
DWG. NO.  
**A6.1**



**PROPOSED FRONT ELEVATION**

SCALE: 1/4"=1'-0"

EAST



**PROPOSED RIGHT ELEVATION**

SCALE: 1/4"=1'-0"

NORTH

**ELEVATION KEY NOTES:**

- 1 COMPOSITE ROOF SHINGLE TO MATCH EXISTING  
(N) COMPOSITE SHINGLE ROOF WITH DOUBLE LAYER 30# FELT UNDER ROOFING MATERIAL.
- 2 ALL EXTERIOR MATERIAL FOR THE NEW ADDITION TO MATCH THE EXTERIOR OF THE EXISTING DWELLING.  
PROVIDE:
  - a. STUCCO, 3-COAT, 7/8-INCH MINIMUM THICK
  - b. PROVIDE 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2" ABOVE CONCRETE OR PAVING)
  - c. TWO LAYERS OF GRADE D PAPER UNDER STUCCO OVER PLYWOOD SHEATHING.
- 3 VINYL FRAME WINDOWS WITH DUAL PANE GLAZING.
- 4 SOLID CORE WOOD SWING ENTRY DOOR.
- 5 TEMPERED GLASS DOOR
- 6 HOME ADDRESS NUMBER SHALL BE MINIMUM 4 INCHES HIGH WITH MINIMUM STROKE WIDTH OF 3/8" INCH AND SHALL CONTRAST WITH THE BACKGROUND. CRC R319
- 7 WALL MOUNTED LIGHT W/ MOTION SENSOR CONTROL
- 8 14"x24" METAL LOUVER VENT
- 9 SKYLIGHT

**SHEET NOTES:**

1. "EMERGENCY ESCAPE AND RESCUE OPENING SHALL MEET THE CALIFORNIA FIRE CODE CHAPTER 10 SECTION 1030.
2. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.
3. MINIMUM OF 5.7 SQUARE FEET OF NET CLEAR OPENING WITH A MINIMUM DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH. THE NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL NOT BE GREATER THAN 44" MEASURED FORM THE FLOOR.

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PROPOSED EXTERIOR ELEVATIONS-1

**REVISION NOTES**

NO.	DATE	REVISION
PO	02-23-24	PLANING REVIEW
0	04-08-24	BUILDING REVIEW
1	08-15-24	PLAN CHECK COMMENTS
NO.	DATE	REVISION

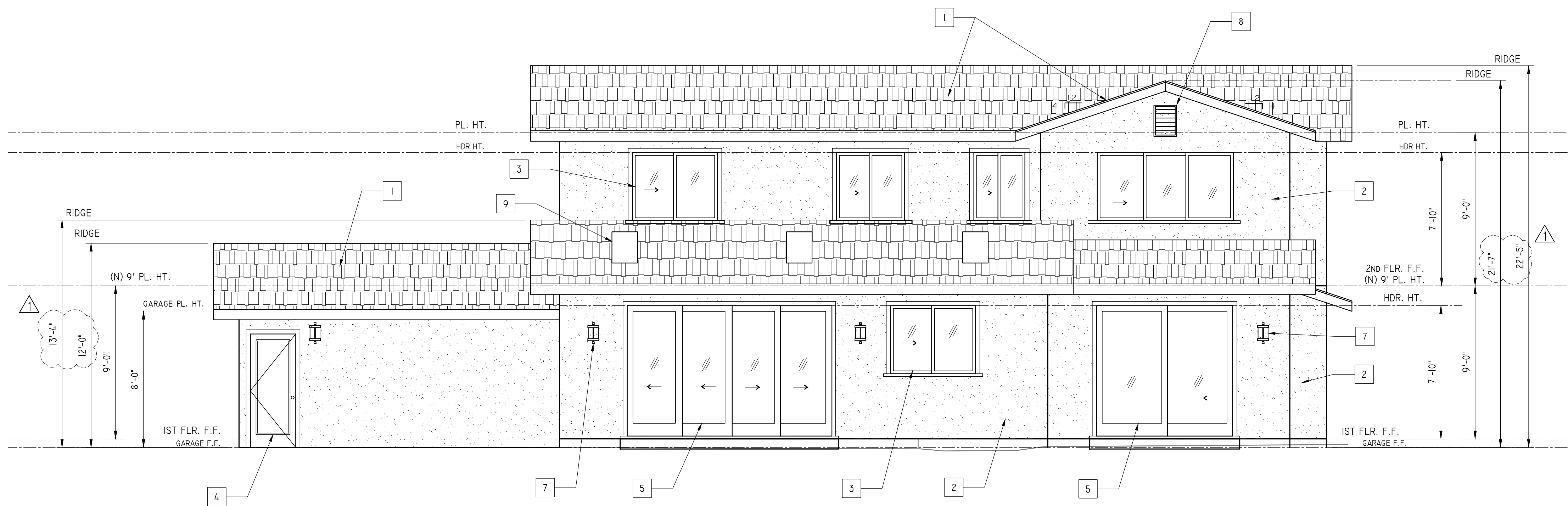
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**A6.2**

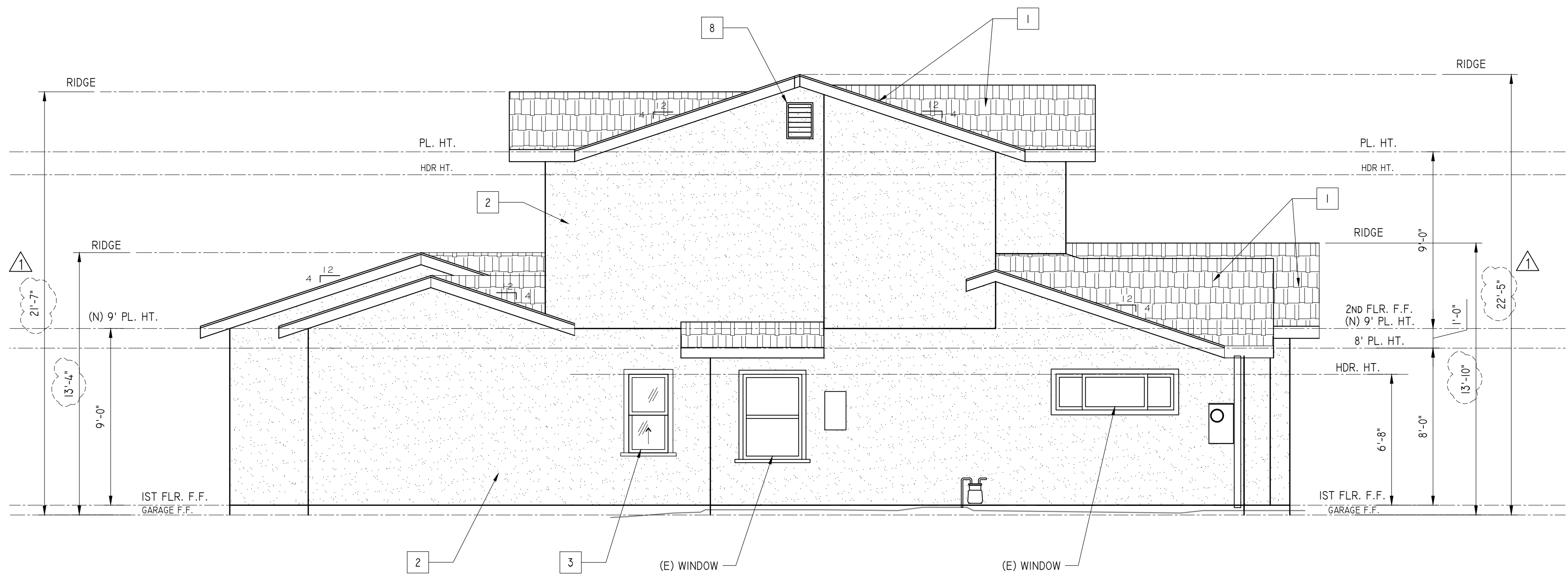
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**PROPOSED REAR ELEVATION**

SCALE: 1/4"=1'-0"

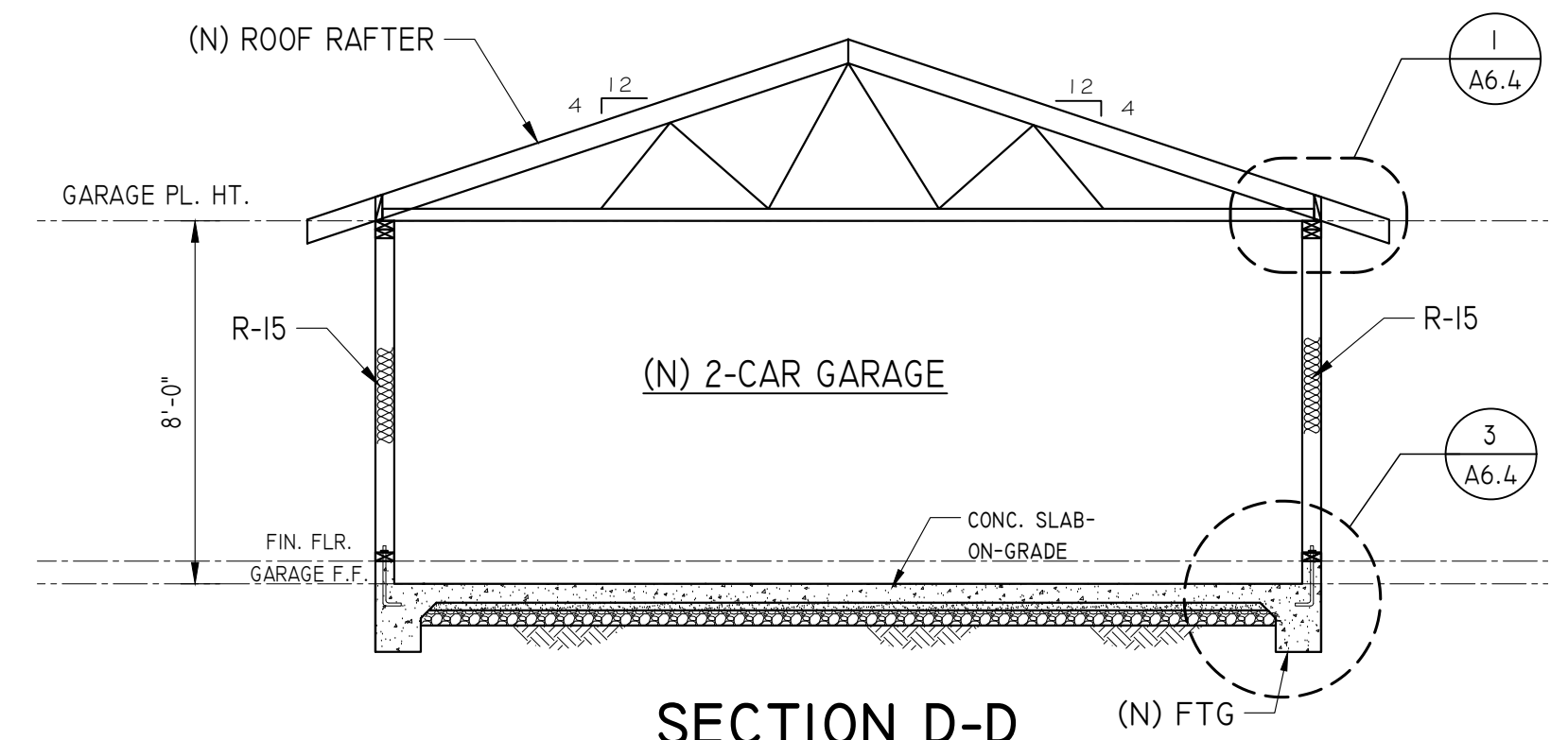
WEST



**PROPOSED LEFT ELEVATION**

SCALE: 1/4"=1'-0"

SOUTH



**SECTION D-D**

SCALE: 1/4"=1'-0"

**ELEVATION KEY NOTES:**

- 1 COMPOSITE ROOF SHINGLE TO MATCH EXISTING  
(N) COMPOSITE SHINGLE ROOF WITH DOUBLE LAYER 30# FELT UNDER ROOFING MATERIAL.
- 2 ALL EXTERIOR MATERIAL FOR THE NEW ADDITION TO MATCH THE EXTERIOR OF THE EXISTING DWELLING.  
PROVIDE:
  - a. STUCCO, 3-COAT, 7/8-INCH MINIMUM THICK
  - b. PROVIDE 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2" ABOVE CONCRETE OR PAVING)
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- 7 WALL MOUNTED LIGHT W/ MOTION SENSOR CONTROL
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- 9 SKYLIGHT

**SHEET NOTES:**

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**PROPOSED EXTERIOR ELEVATIONS-2**

**REVISION NOTES**

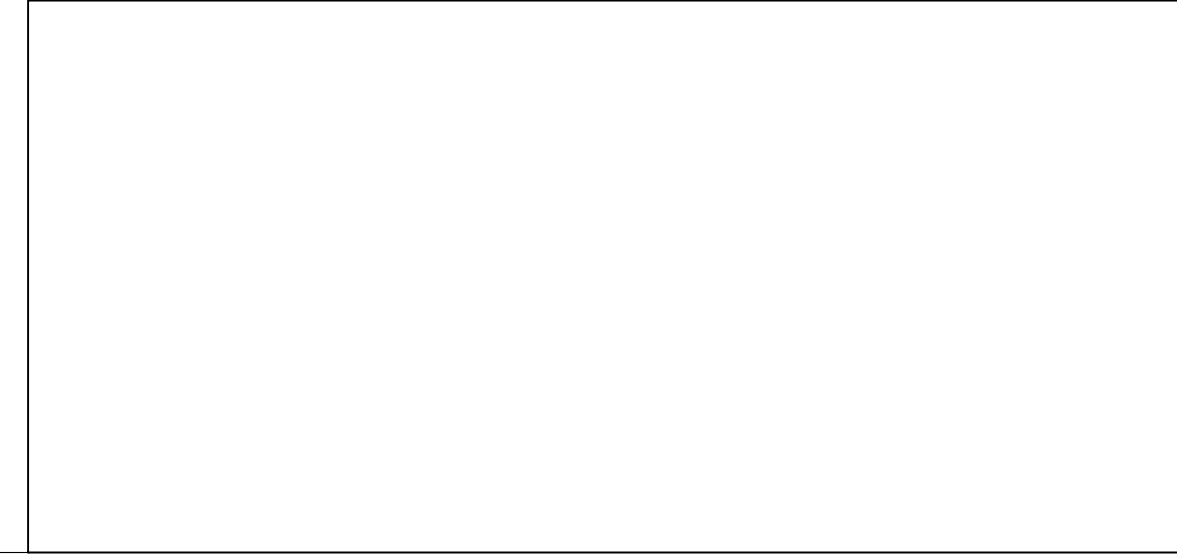
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0	04-08-24	BUILDING REVIEW
1	08-15-24	PLAN CHECK COMMENTS
NO	DATE	REVISION

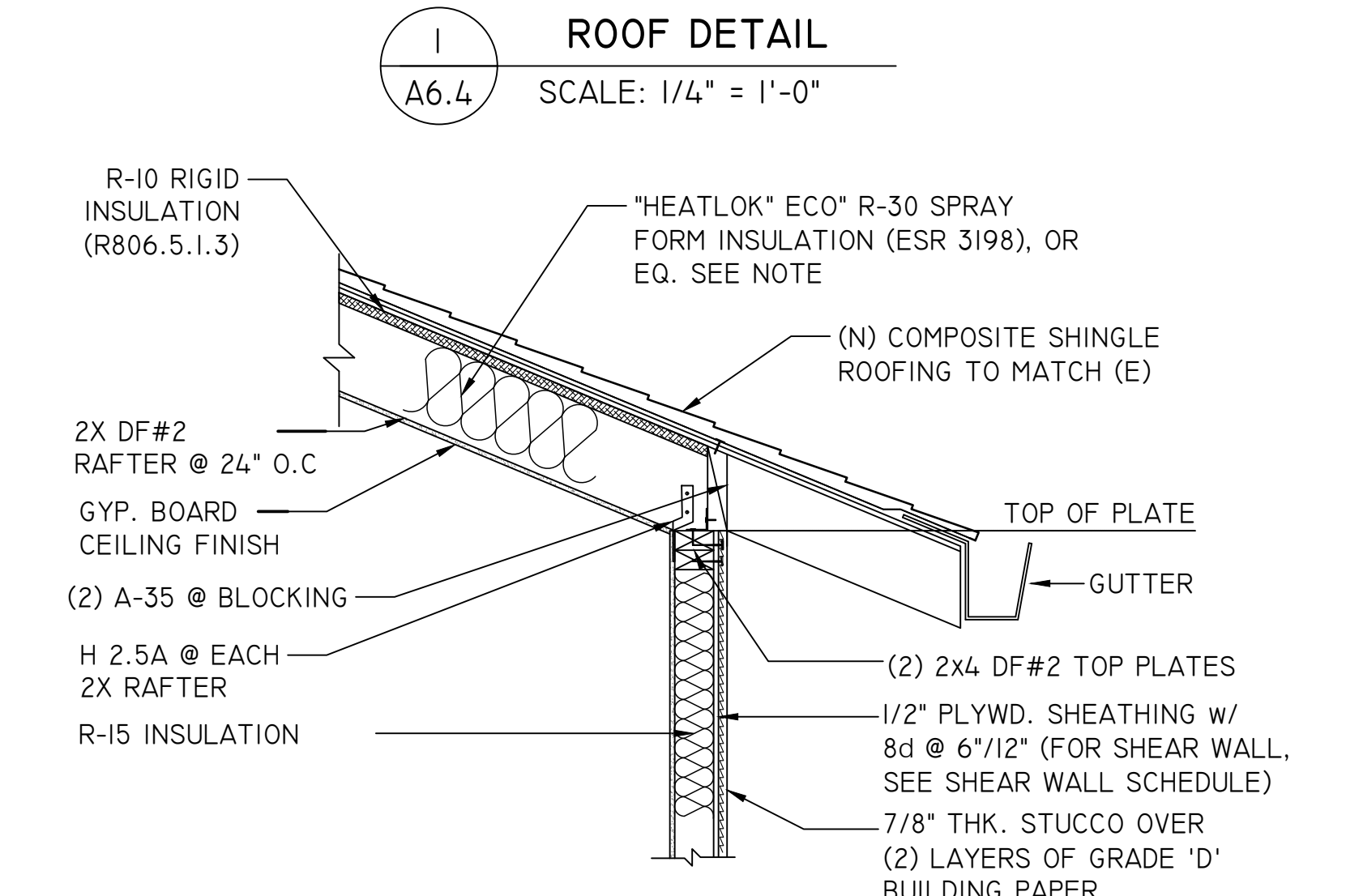
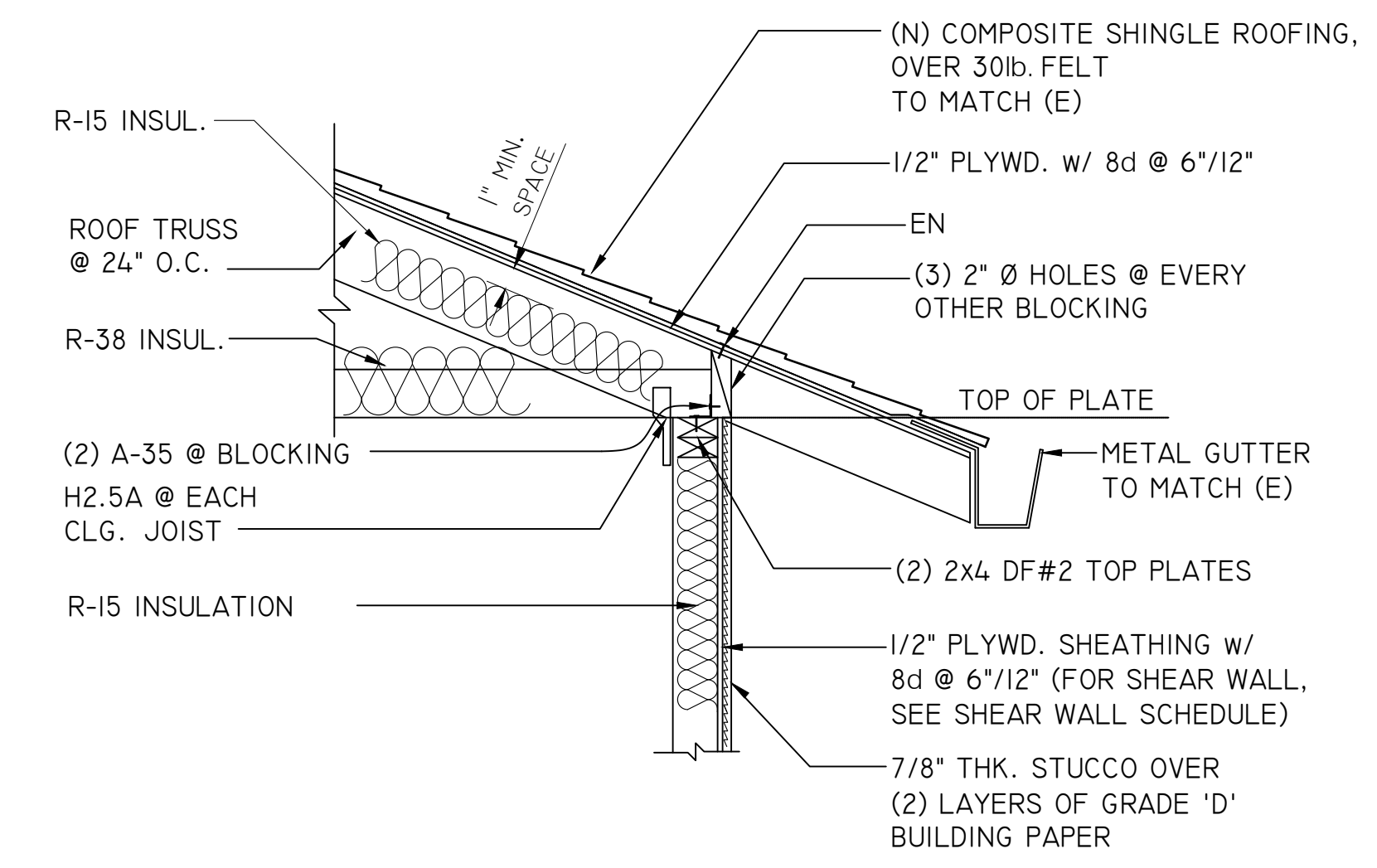
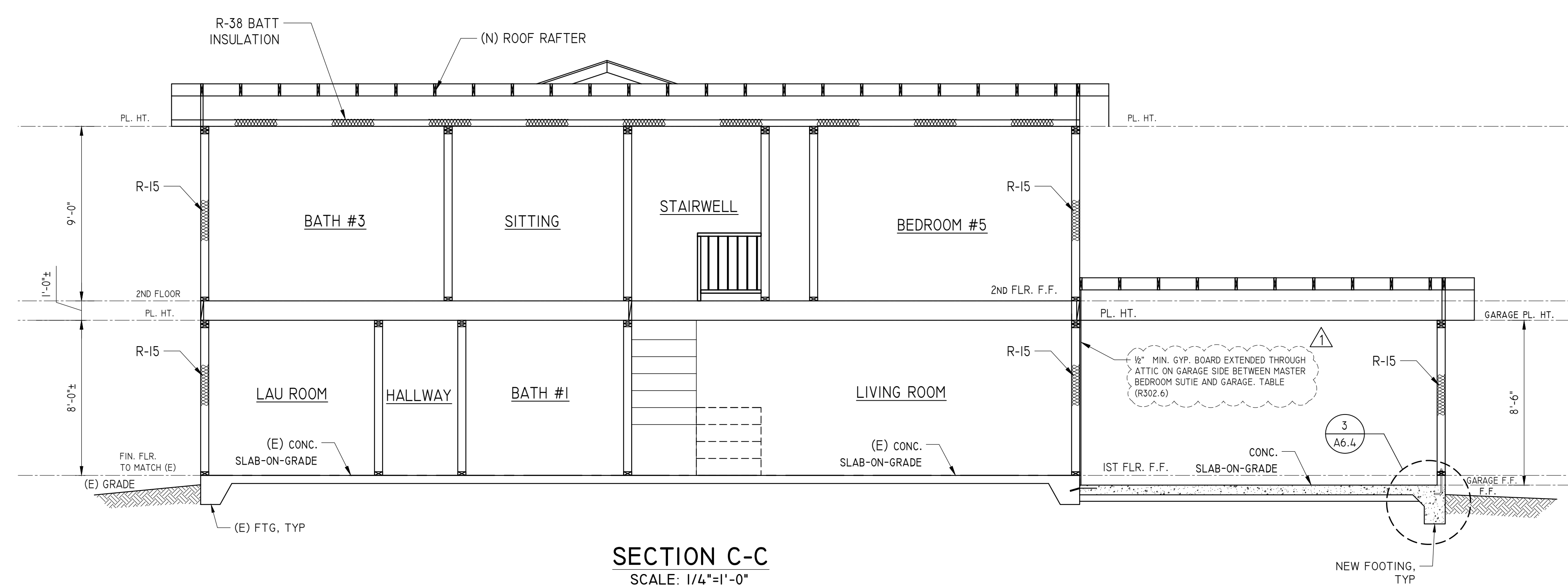
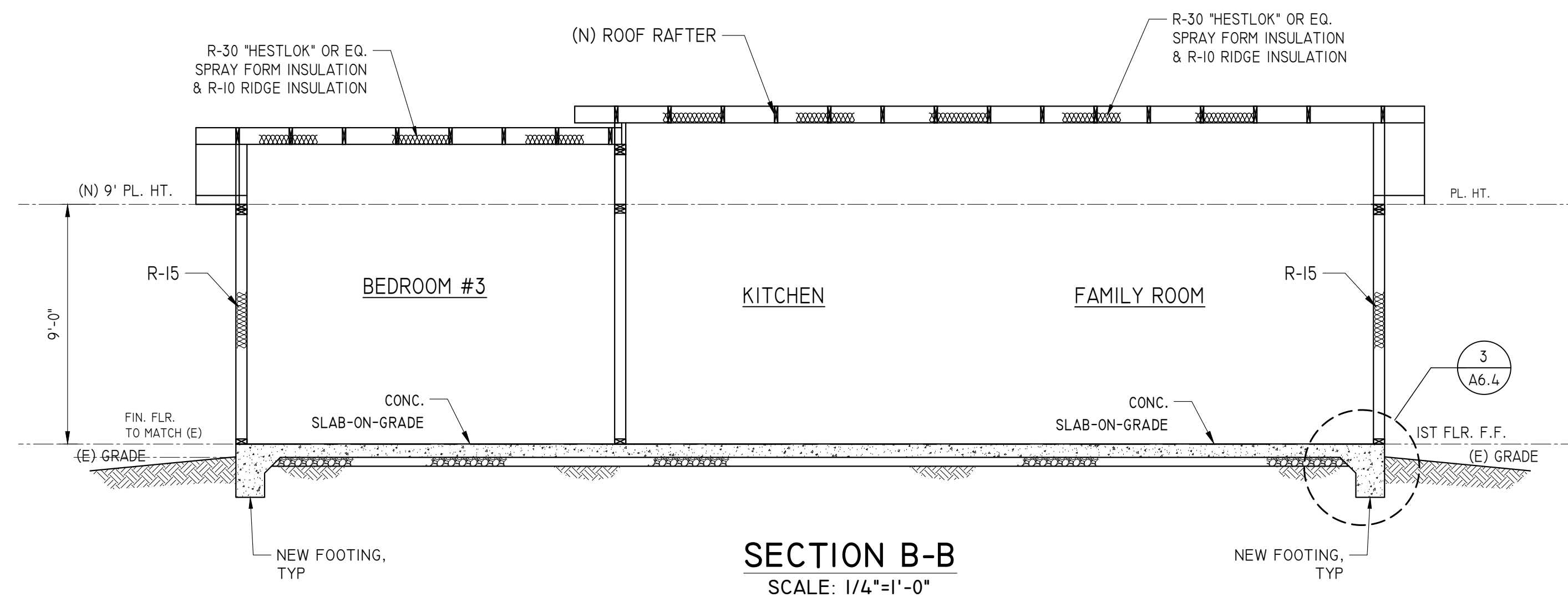
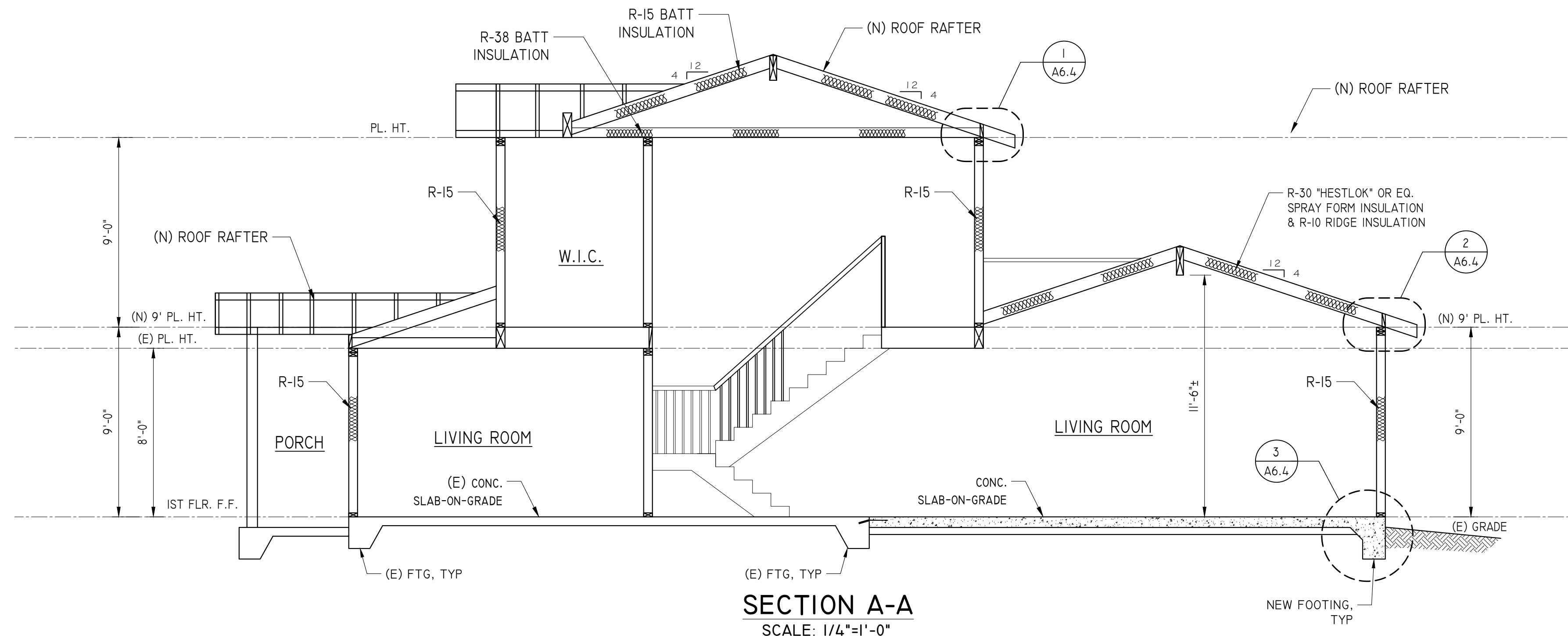
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DWG. NO.

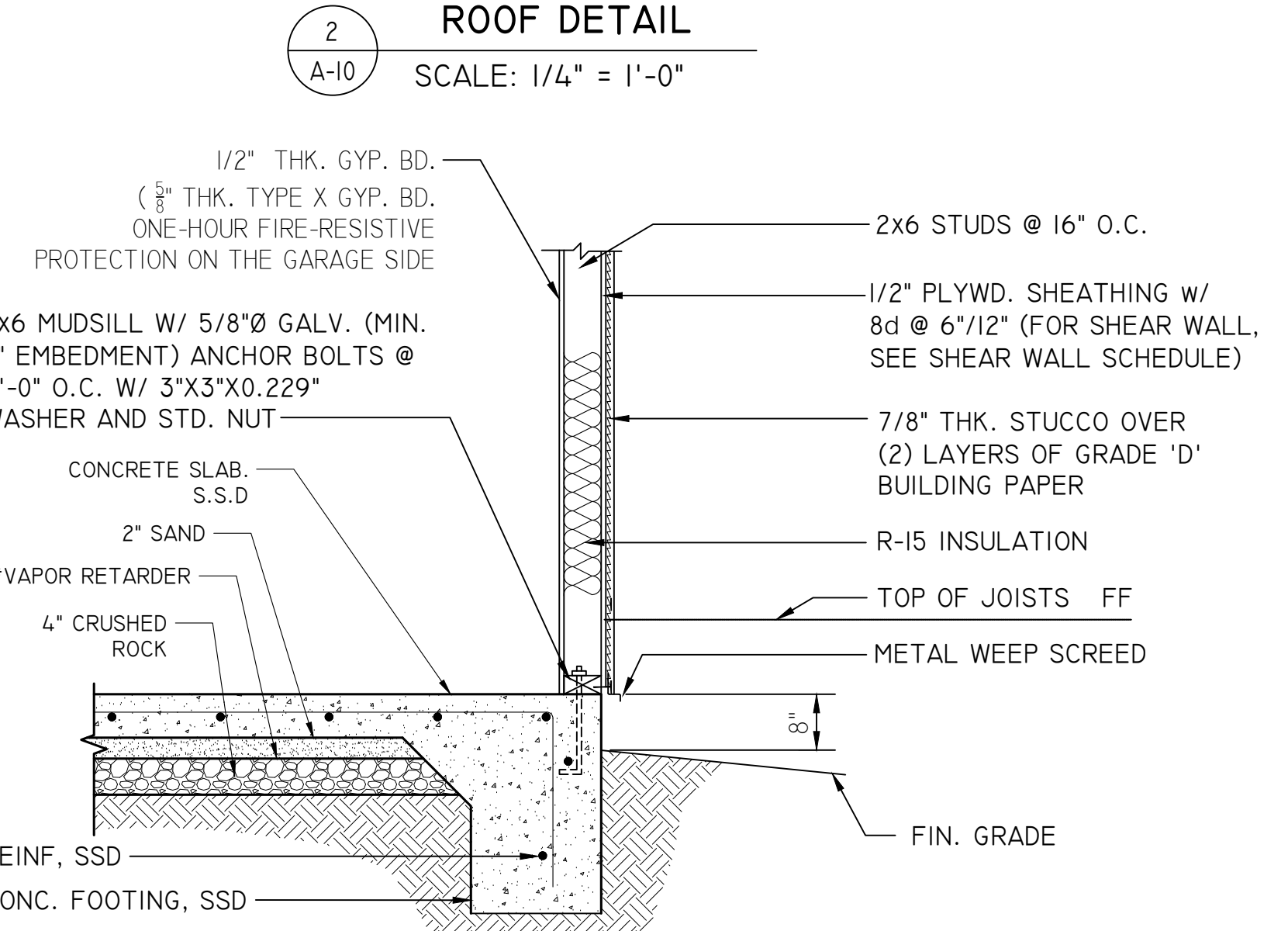
**A6.3**

JURISDICTION APPROVAL STAMP



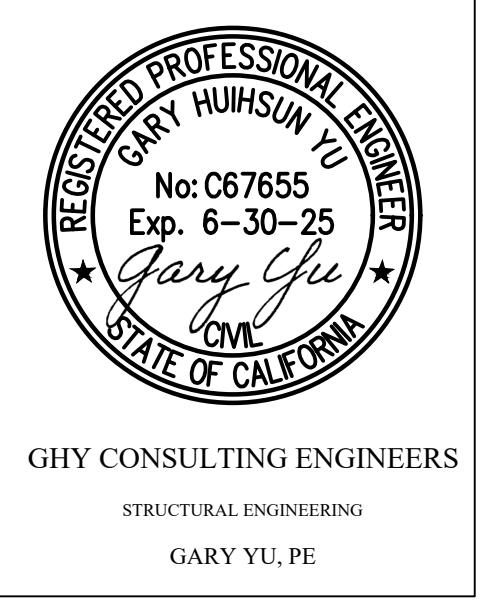


**\*UNVENTED ROOF (CRC R806.5):**  
 1. R-10 RIGID BOARD SHALL BE INSTALLED DIRECTLY CONTACT WITH THE UNDER-SIDE OF THE STRUCTURAL ROOF SHEATHING FOR CONDENSATION CONTROL. THE R-30 SPRAY FORM INSULATION (ESR-3198) SHALL BE INSTALLED DIRECTLY UNDER THE R-10 INSULATION. (R806.5.1.3)  
 2. THE RIGID INSULATION SHALL BE SEALED AT THE PERIMETER OF EACH INDIVIDUAL SHEET INTERIOR SURFACE TO FORM A CONTINUOUS LAYER. (CRC R806.5, 5.3)



**\*NOTE:**  
 A 10-MIL (0.01 INCH; 254 μm) POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES IN COMPLIANCE WITH CRC506.2.3

**GHY CONSULTING ENGINEERS, INC.**  
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GHY CONSULTING ENGINEERS  
 STRUCTURAL ENGINEERING  
 GARY YU, PE

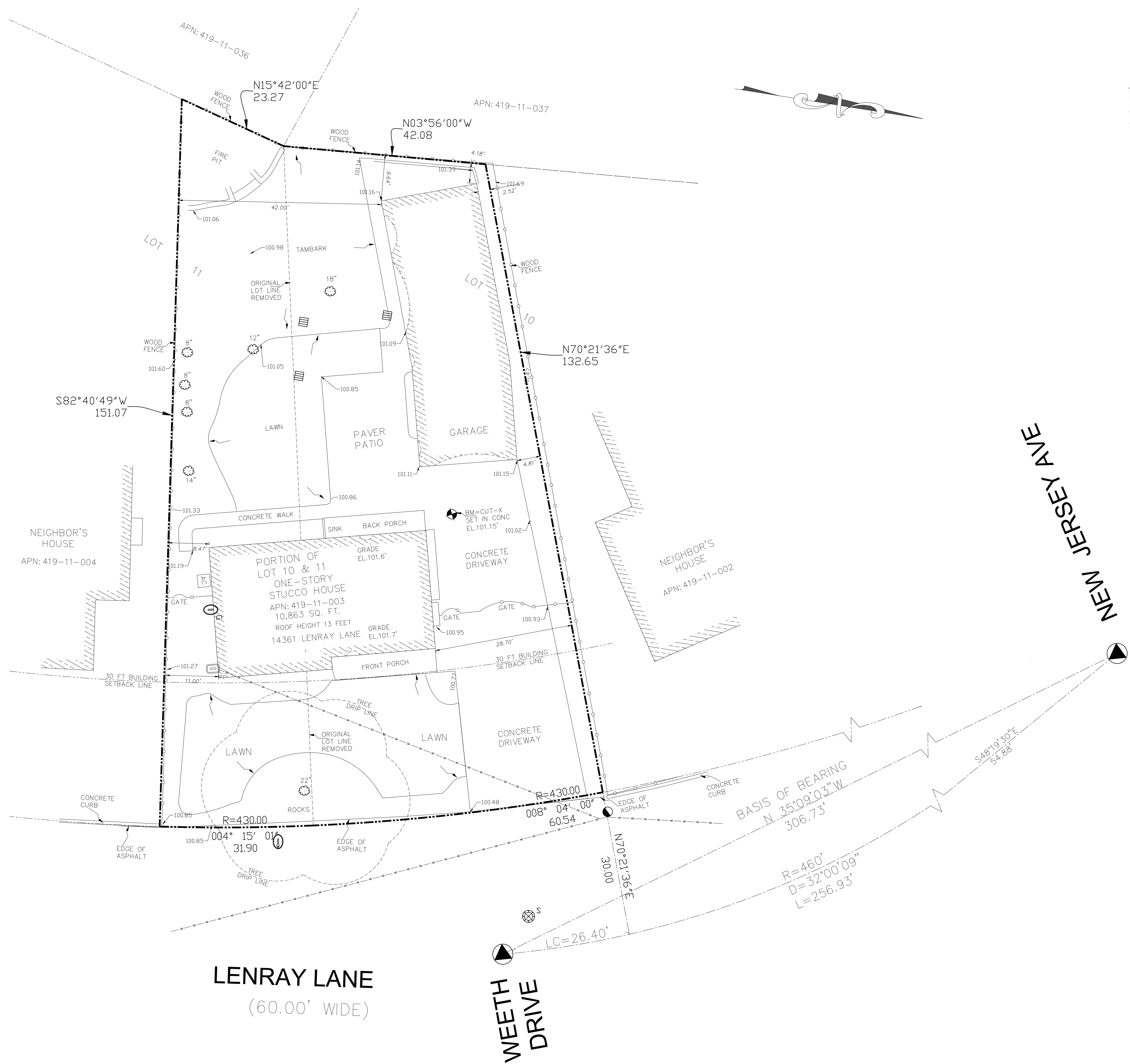
**ROOM ADDITIONS AND RENOVATIONS  
 HSU & LU'S FAMILY RESIDENCE  
 14361 LENRAY LN  
 SAN JOSE, CA 95124**

**SECTIONS & DETAILS**

REVISION NOTES		
PO	02-23-24	PLANING REVIEW
0	04-08-24	BUILDING REVIEW
1	08-26-24	PLAN CHECK COMMENTS
NO	DATE	REVISION

SCALE: AS NOTED  
 DRAWN BY: GHY

DWG. NO.  
**A6.4**



**LEGAL DESCRIPTION**

THE LAND IS SITUATED IN THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, A PORTION OF LOT 10 & LOT 11, TRACT NO. 542, CAMBRIAN PARK, UNIT NO.1 BOOK 20 OF MAPS, PAGE 48-51

**BASIS OF BEARING**

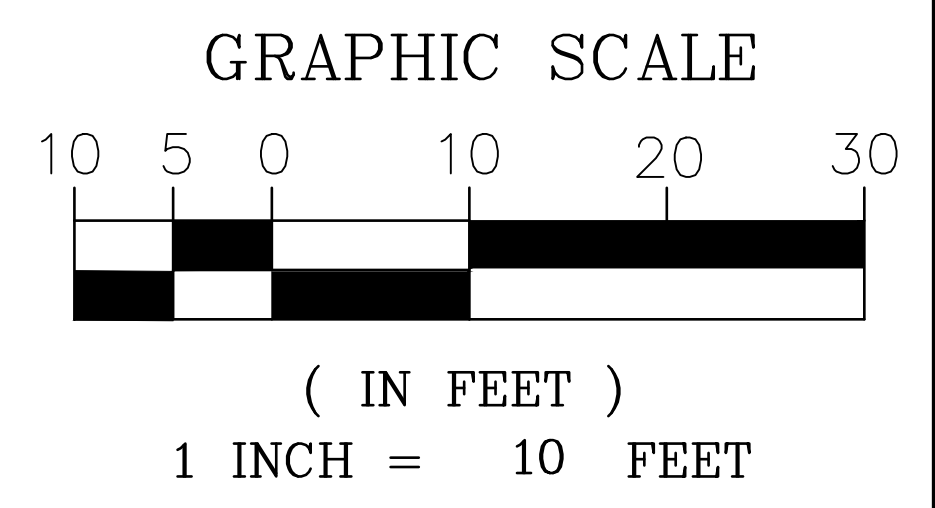
THE BEARING N 35°09'03" W ON LENRAY LANE, TRACT NO. 542 CAMBRIAN PARK UNIT NO.1 IN BOOK 20 OF MAPS, PAGE 48-51, FILED IN SANTA CLARA COUNTY RECORD IS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY

**NOTES**

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. BENCHMARK: ELEVATION 101.15' (ASSUMED) X-CUT SET IN CONCRETE DRIVEWAY
3. NO TITLE REPORT WAS FURNISHED IN THE COURSE OF THIS SURVEY, THEREFORE ONLY EASEMENTS SHOWN ON THE MAP REFERENCED IN THE LEGAL DESCRIPTION HAVE BEEN PLOTTED.

**LEGEND**

- PROPERTY LINE
- - - ADJOINER PROPERTY LINE
- - - OVERHEAD WIRE
- ▲ FOUND CITY MONUMENT
- ⊕ BENCHMARK
- SPOT ELEVATION
- ⊗ WATER VALVE
- ⊙ WATER METER
- ⊕ JOINT POLE
- ⊙<sup>E</sup> ELEC. METER
- ⊙<sup>G</sup> GAS METER
- ⊕ FIRE HYDRANT
- ▧ DRAIN
- ⊕<sup>CO</sup> SEWER CLEANOUT
- ⊗ TREE



REVISIONS	DATE	DESCRIPTION	REV.
Δ	11/11/23	SITE SURVEY	

**GEE ZHANG CONSTRUCTION INC.**  
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1555 YOSEMITE AVE., #41  
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EMAIL: williamzhang1288@gmail.com



APN: 419-11-003  
14361 LENRAY LANE  
SAN JOSE, SANTA CLARA

TOPOGRAPHIC AND  
BOUNDARY SURVEY

**B1.0**  
SHEET 1 of 1