

# Fire Department Notes

- THIS PROJECT IS LOCATED WITHIN THE DESIGNATED WILDLAND-URBAN INTERFACE FIRE ZONE. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF CRC R331 (CALIFORNIA RESIDENTIAL CODE) & CBC CHAPTER 1A CALIFORNIA BUILDING CODE.
- THE PROPERTY SHALL BE IN A COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN THE CALIFORNIA BUILDING CODE CBC SECTION 101A3.2.4, FIRE CODE SECTION 4306, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 5182 PER CRC R331.13.
- FIRE SPRINKLERS REQUIRED** : AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS AS FOLLOWS:  
IN ALL NEW ONE- AND TWO-FAMILY DWELLING AND IN EXISTING ONE- AND TWO-FAMILY DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN 3600 SQUARE FEET. EXCEPTION: A ONE-TIME ADDITION TO AN EXISTING BUILDING THAT DOES NOT TOTAL MORE THAN 1000 SQUARE FEET OF BUILDING AREA. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC 933.2 AS ADOPTED AND AMENDED BY LAHMC.
- APPROVED AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM** : SHALL BE INSTALLED IN ONE- AND TWO-STORY FAMILY DWELLINGS, AND SHALL BE DESIGNED AND INSTALLED PER NFPA 13D 2016 EDITION FOR ALL STRUCTURES.
- WATER SUPPLY REQUIREMENTS** : POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR OR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENT SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND / OR FIRE SUPPRESSION WATER SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S), 2016 CFC 903.3.5 AND HEALTH AND SAFETY CODE 13147.1.
- FIRE APPARATUS (ENGINE) ACCESS DRIVEWAY REQUIRED** : PROVIDE AN ACCESS DRIVEWAY WITH A PAVED ALL WEATHER SURFACE, A MINIMUM UNOBSTRUCTED WIDTH OF 14 FEET, VERTICAL CLEARANCE OF 13 FEET 6 INCHES, MINIMUM CIRCULATING TURNING RADIUS OF 36 FEET OUTSIDE AND 23 FEET INSIDE, AND A MAXIMUM SLOPE OF 15%. INSTALLATIONS SHALL CONFORM TO FIRE DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS SHEET D-1. CFC SEC 503.
- ADDRESS IDENTIFICATION** : NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7mm). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC 505.1.
- CONSTRUCTION SITE FIRE SAFETY** : ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-1. CFC CHP 33.

# Deferred Approvals

DEFERRED APPROVALS ARE SUBJECT TO CITY'S APPROVAL

- FIRE SPRINKLER SYSTEM TO BE SUBMITTED AND APPROVED UNDER A SEPARATE PERMIT.

# Basis of Design

- ALL WORK TO BE IN CONFORMANCE WITH:

CBC	CALIFORNIA BUILDING CODE	2022 EDITION
CRC	CALIFORNIA RESIDENTIAL CODE	2022 EDITION
CEC	CALIFORNIA ELECTRICAL CODE	2022 EDITION
CEMC	CALIFORNIA ENERGY CODE	2022 EDITION
CFC	CALIFORNIA FIRE CODE	2022 EDITION
CMC	CALIFORNIA MECHANICAL CODE	2022 EDITION
CPC	CALIFORNIA PLUMBING CODE	2022 EDITION
CGC	CALIFORNIA GREEN BUILDING STANDARD	2022 EDITION
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS	7-22
ACI	AMERICAN CONCRETE INSTITUTE	318-19
- AND ALL PERTINENT LOCAL CODES AND ORDINANCES.

# General Notes

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF STOTLER DESIGN GROUP PRIOR TO COMMENCING.
- VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.
- SEPARATE PERMITS ARE REQUIRED FOR OCCUPANCY AND ALL FUTURE TENANT IMPROVEMENTS. SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, ELECTRICAL & PLUMBING WORK.
- ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.G. TITLE 24 RESIDENTIAL ENERGY STANDARDS.
- THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHERSTRIPPING WINDOW SHADES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR.
- THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.
- ALL EARTHWORK AND SITE DRAINAGE, INCLUDING DRILLED PIER, SPREAD FOOTING, AND MAT SLAB EXCAVATIONS, SWIMMING POOL EXCAVATION, SUBGRADE PREPARATION BENEATH HARDSCAPE, PLACEMENT AND COMPACTION OF ENGINEERED FILL BENEATH HARDSCAPE, UTILITY TRENCH BACKFILL, AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. ALL INSPECTIONS SHOULD BE SCHEDULED AT LEAST 48 HOURS ADVANCE NOTIFICATION OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND/OR TEST AS NECESSARY THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE.
- WORK IN THE PUBLIC RIGHT-OF-WAY AREA REQUIRES ENCROACHMENT PERMIT.
- "U" NUMBER TO BE OBTAINED FROM BAY AREA AIR QUALITY MANAGEMENT DISTRICT FOR DEMOLITION OF EXISTING HOUSE.

# Drawing Index

- T1 Title Sheet
- T1.1 Floor Area Ratio Diagrams

## SURVEY

- 1 Boundary Map and Topographic Survey

## CIVIL

- C1 Overall Site Plan
- C2 Demolition Plan
- C3 Grading & Drainage Plan
- C4 Grading & Drainage Plan
- C5 Building Cross Sections
- C6 Building Cross Sections
- C7 Utility Plan
- C9 Erosion Control Details
- C10 Erosion Control Details

## ARCHITECTURAL

- A1.1 Overall Site Plan
- A1.2 Enlarged Partial Site Plan
- A2 Entry Level Floor Plan
- A3 2nd Level Floor Plan
- A4 Basement Level Floor Plan
- A5.1 Exterior Elevations
- A5.2 Exterior Elevations
- A6 Cross Sections
- A7 Roof Plan
- A8.1 ADU - Floor Plan, Roof Plan
- A8.2 ADU - Exterior Elevations & Cross Sections

# Project Data - Santa Clara County

## Owner Data

Prith Banerjee  
955 Woodgrove Ln  
San Jose, California 95136

## Lot Data

A.P.N.: 779-47-004  
Lot Size: 20.00 acres Gross, 19.540 acres Net  
Property Submittal Location: Santa Clara County  
Existing Uses: Single Family Residence  
Zoning District: HS-d1  
Supervisor District: 1  
Occupancy Groups: R-3/U  
Type Of Construction: V-B  
Stories: 2  
HCP Rural Development Area: In  
Water Supply: Local Shared  
Fire Sprinklers : Yes, NFPA 13D  
Fire Sprinkler Water Supply : Tanks & Pumps  
Fire Responsibility Area: SRA  
Cal Fire SRA Hazard Class: High  
Wildland Urban Interface: Yes  
Fire Protection District: SSCCFPD  
Geohazard: County Landslide Hazard Zone  
FEMA Flood Zone: D  
Slope at Building Site: - %  
Average Site Slope: - %  
Allowable Floor Area: - sq.ft. - %  
Allowable Building Coverage: - sq.ft. - %  
Site Setbacks:  
Front:30' Side (1st flr): 30' Rear: 30'  
Side (2nd flr): -'  
Maximum Building Height: 35'

## Proposed Conditions

Entry Level Living Area : 3797 sq.ft.  
2nd Level Living Area 1052 sq.ft.  
Basement Level Living Area 1495 sq.ft.  
Total Living Area : 6344 sq.ft.  
Garage Area : 774 sq.ft.  
Covered Porch Area : 186 sq.ft.  
Total Coverage Area : 960 sq.ft.

Total Building Coverage Area : 4757 sq.ft.

ADU Residence : 1200 sq.ft.



## Scope of Work:

CONSTRUCT A NEW 2-STORY SINGLE FAMILY RESIDENCE WITH BASEMENT, ATTACHED GARAGE. DETACHED ADU

# Consultants

SURVEY / CIVIL ENGINEER  
LC Engineering  
598 E Santa Clara Street, Suite #270  
San Jose, California 95112  
(408) 806-7187  
nlc@lcengineering.net

# Private Residence

## New Single Family Residence and ADU

West San Martin Avenue

San Martin, California 95046



LOS ALTOS, CALIFORNIA 94022  
PHONE: (408) 309-2163  
Email: Scott@StotlerDesignGroup.com

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

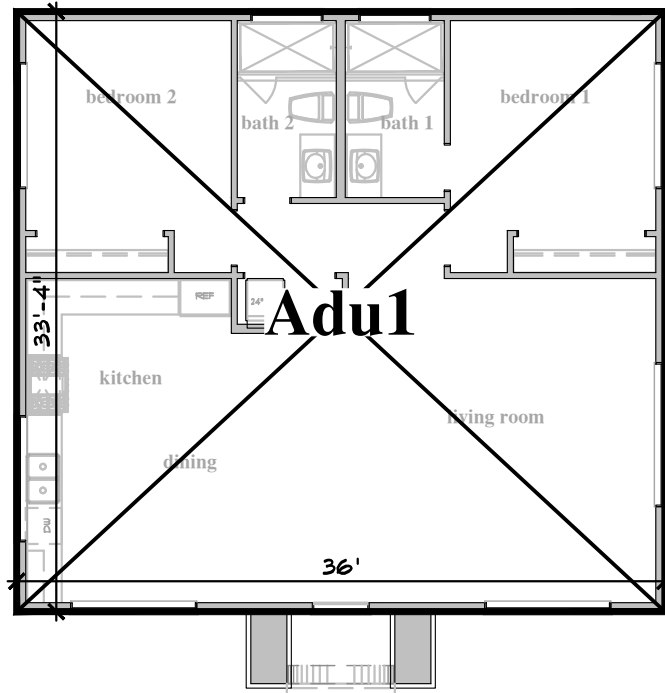
REVISIONS	1-03-14
Arch Review	

DRAWING TITLE	Title Sheet
JOB TITLE	Private Residence
JOB ADDRESS	Parcel #20 San Martin Ave., San Martin, California 95046

DATE	Dec 03, 2024
SCALE	None
PROJECT MANAGER	e Stotler
DRAWN	604
JOB NO.	2305
SHEET	

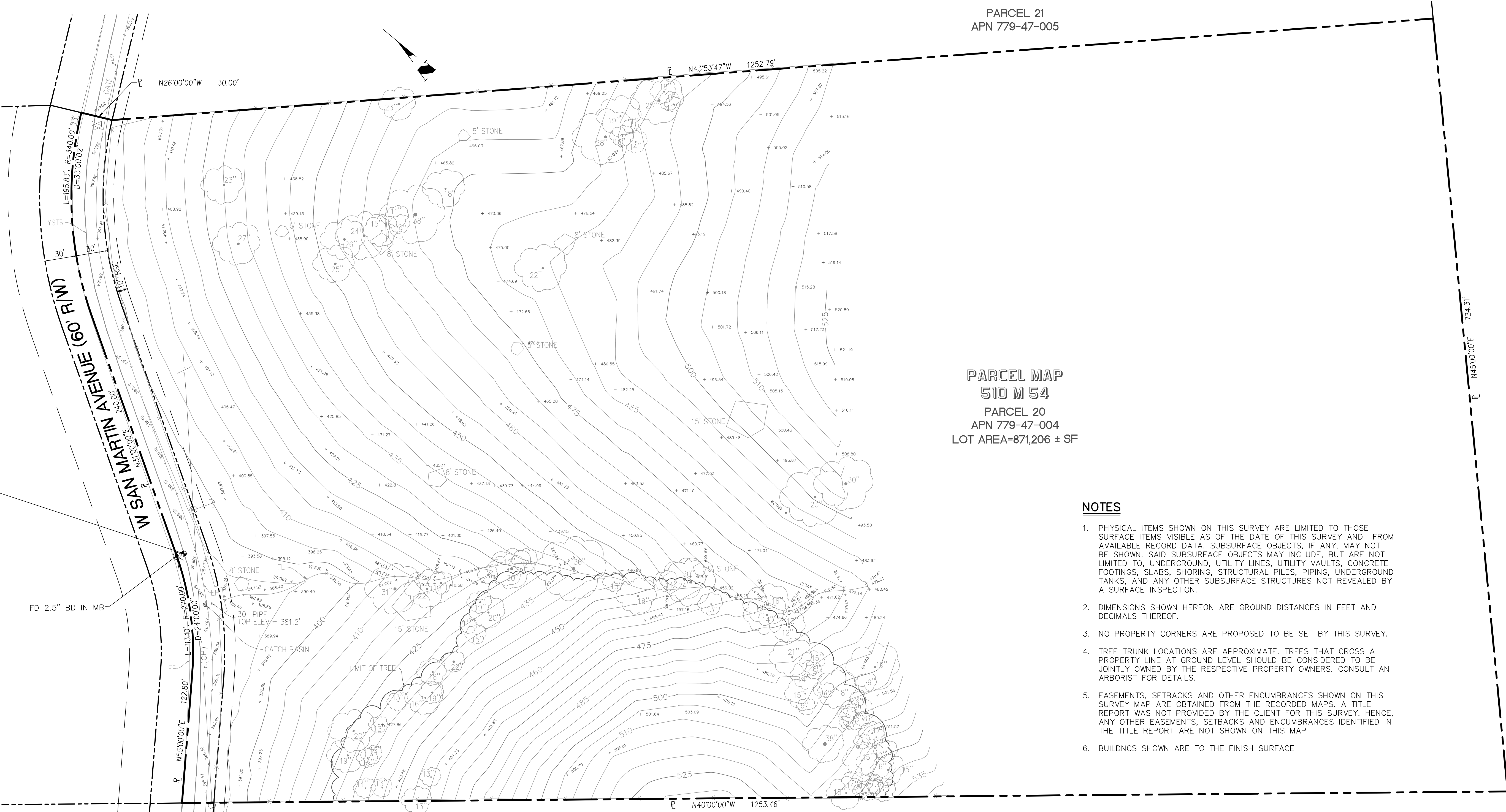
T1





LEGEND & ABBREVIATIONS

	BENCHMARK		EXISTING CHAIN LINK FENCE		STREET MONUMENT		TREE STUMP AND DIAMETER		ASPHALT CONCRETE/AIR CONDITIONER		EDGE OF CONCRETE		IRRIGATION
	BORDER LINE		EXISTING WOOD FENCE		PROPERTY CORNER MONUMENT		UTILITY: EXISTING		AREA DRAIN		ELEVATION		LANDING
	BOUNDARY				MONUMENT LINE		WATER METER		ASSESSOR'S PARCEL NUMBER		ELECTRIC OVERHEAD		LANDSCAPED AREA
	BUILDING OUTLINE				PARCEL LINE / RIGHT OF WAY		WATER VALVE		BUILDING		ELECTRIC UNDERGROUND		MANHOLE
	CATCH BASIN		EXISTING TREE AND DIAMETER		PGE BOX		BOLLARD		BOLLARD		EDGE OF PAVEMENT		MONUMENT WELL
	CENTERLINE				TELECOMMUNICATION BOX		BACK OF ROLLED CURB		BACK OF WALK		EXISTING		PROPERTY LINE
	PAVED		GAS METER		PVC PIPE AND DIAMETER		BUILDING SETBACK LINE		BACKFLOW WATER VALVE		FINISH ELEVATION OF SUBFLOOR		POWER POLE
	BRICK		GUY POLE		SANITARY SEWER CLEAN OUT		BOLLARD		CATCH BASIN		GROUND FINISH GRADE		PROPOSED / PROPERTY
	CONCRETE		GUY WIRE ANCHOR		SANITARY SEWER MANHOLE		AREA DRAIN		CURB & GUTTER		FIRE HYDRANT		PRIVATE SERVICES AND UTILITY EASEMENT
	EXISTING CONTOUR		EXISTING HYDRANT		STORM DRAIN MANHOLE		MAIL BOX		CENTERLINE		FLOW LINE		PRIVATE STORM DRAINAGE EASEMENT
	EASEMENT LINE		JOINT POLE		SETBACK LINE		STUMP		CHAIN LINK FENCE		GAS LINE		PUBLIC SERVICE EASEMENT
	ELECTRICAL METER		LIGHT POST		STREET SIGN				COLUMN		HANDICAPPED		PRIVATE SANITARY SEWER EASEMENT
			MANHOLE						CONCRETE		INVERT		PUBLIC UTILITY EASEMENT
									CORNER		PRIVATE VEHICLE ACCESS EASEMENT		TYPICAL
									DRIVEWAY EASEMENT		PAVE		WOOD FENCE
									EASEMENT		PRIVATE WATER EASEMENT		WATER LINE EASEMENT
									IRON PIPE		ROLLED CURB		WATER VALVE

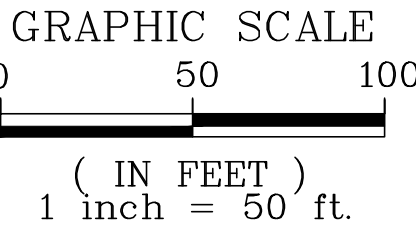


NOTES

1. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
2. DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
3. NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
4. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
5. EASEMENTS, SETBACKS AND OTHER ENCUMBRANCES SHOWN ON THIS SURVEY MAP ARE OBTAINED FROM THE RECORDED MAPS. A TITLE REPORT WAS NOT PROVIDED BY THE CLIENT FOR THIS SURVEY. HENCE, ANY OTHER EASEMENTS, SETBACKS AND ENCUMBRANCES IDENTIFIED IN THE TITLE REPORT ARE NOT SHOWN ON THIS MAP
6. BUILDINGS SHOWN ARE TO THE FINISH SURFACE

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF W SAN MARTIN AVE AS FOUND MONUMENTED AS N31°00'00"E SHOWN ON PARCEL MAP, RECORDED IN BOOK 510 OF MAPS, AT PAGE 54, SANTA CLARA COUNTY RECORDS.



SURVEYOR'S STATEMENT

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.

*Woon Chun*  
H. W. CHUI  
RCE NO. 32912 EXP.06-30-2024  
DATE 06/23/2023



BOUNDARY MAP AND TOPOGRAPHIC SURVEY

W SAN MARTIN AVENUE

APN 779-47-004

San Martin

California

DRAWING NO.

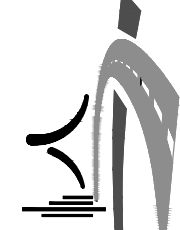
FILE NO.

1 OF 1

CONTRACT NO.

PROJECT NO.

**ENGINEERING**



598 E Santa Clara St #270  
San Jose, CA 95112  
Phone: (408) 806-7187

HN	DESIGNED	DATE	06/23/2023
HN	DRAWN	DATE	06/23/2023
VL	CHECKED	DATE	06/23/2023
VL	SCALE	1" = 50'	

BY	DATE	APP'D	REVISIONS	NO.

ROAD NAME : W SAN MARTIN AVENUE



BENCHMARK  
MAG NAIL  
ELEV = 383.34' (NAVD88)  
GPS OBSERVATION

- ABBREVIATIONS
- AREA DRAIN
  - BENCHMARK
  - BOUNDARY
  - CATCH BASIN
  - CLF FENCE
  - COBBLE ROCK ENERGY DISSIPATOR
  - CONCRETE
  - EXISTING CONTOUR AFTER GRADING
  - EXISTING CONTOUR PRIOR TO GRADING
  - DESIGN GRADE
  - DOWNSPOUT WITH SPLASHBLOCK
  - DRAINAGE EMITTER
  - DRAINAGE VALVE
  - DIVERSION VALVE
  - BACKWATER VALVE
  - BENCHMARK
  - DRAINAGE SWALE
  - EASEMENT LINE
  - EXISTING ELEVATION

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- FOUND IRON PIPE AT PROPERTY CORNER
- FIBER ROLLS
- GAS METER
- GAS VALVE
- GRADE TO DRAIN
- GUY POLE
- GUY WIRE ANCHOR
- HIGH POINT
- HYDRANT: EXISTING
- HYDRANT: PROPOSED
- INLET
- JOINT POLE
- LIGHTING
- LIGHTING POLE
- LOW POINT
- OVERLAND FLOW DIRECTION
- PGE BOX
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE

- PROJECT SITE
- RETAINING WALL
- RIGHT OF WAY
- SANITARY SEWER CLEAN OUT MANHOLE
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- SUMP PUMP
- TELEPHONE BOX
- TELEVISION BOX
- TEST PIT
- TOP OF FILL
- TOE OF FILL
- TOE OF CUT
- TOE OF CUT
- TREE NUMBER
- T-Vault
- UTILITY: EXISTING
- UTILITY: PROPOSED OR NEW
- WATER METER
- WATER VALVE
- WELL
- WOOD FENCE

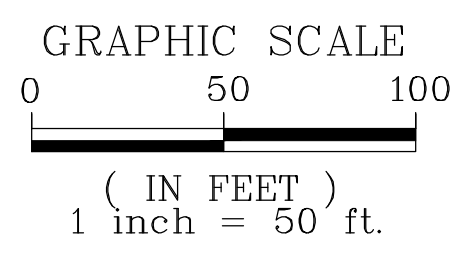
- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- AD AREA DRAIN
- AE ANCHOR EASEMENT
- BB BUBBLER BOX
- BLDG BUILDING
- BSL BUILDING SETBACK LINE
- BW BOTTOM OF WALL/BACK OF WALK
- CG CURB & GUTTER
- CL CENTERLINE
- CLF CHAIN LINK FENCE
- CO SANITARY SEWER CLEANOUT
- COP CURB OPENING
- CONC CONCRETE
- CSD COUNTY STANDARD DETAIL
- DE DRAINAGE EMITTER
- DI DRAINAGE INLET
- DS DOWNSPOUT
- DWY DRIVEWAY
- EA EASEMENT
- ELEV ELEVATION
- EM ELECTRIC METER

- E(OH) ELECTRIC OVERHEAD
- E(UG) ELECTRIC UNDERGROUND
- EP EDGE OF PAVEMENT
- EX EXISTING
- FC FACE OF CURB
- FD FOUND
- FF FINISH ELEVATION OF SUBFLOOR
- FG GROUND FINISH GRADE
- FH FIRE HYDRANT
- FWL FUTURE WIDTH LINE
- FL FLOW LINE
- G GARAGE SLAB ELEVATION/GAS LINE
- GPE GENERAL PUBLIC EASEMENT
- GSB GRADING SETBACK
- GM GAS METER
- HP HI POINT
- INV INVERT
- LIP UP OF GUTTER
- LS LANDSCAPED AREA
- LSB LEACH FIELD SETBACK LINE
- MAX MAXIMUM
- MH MANHOLE
- MIN MINIMUM

- N&S NAIL AND SILVER
- NTS NOT TO SCALE
- OH OVERHEAD
- OG ORIGINAL GROUND
- P PAVEMENT FINISH GRADE
- PAD PAD ELEVATION
- PL PROPERTY LINE
- PEE PEDESTRIAN EQUESTRIAN EASEMENT
- PERF PERFORATED
- PP POWER POLE PROP PROPOSED
- PSE PUBLIC SERVICE EASEMENT
- PUMT PUBLIC UTILITY EASEMENT
- PVC POLYVINYL CHLORIDE
- R RADIUS
- RW RETAINING WALL
- REM REMOVE
- R/W RIGHT OF WAY
- S.C.V.W.D SANTA CLARA VALLEY WATER DISTRICT
- SD STORM DRAIN
- SDE STORM DRAIN EASEMENT
- SE SLOPE EASEMENT

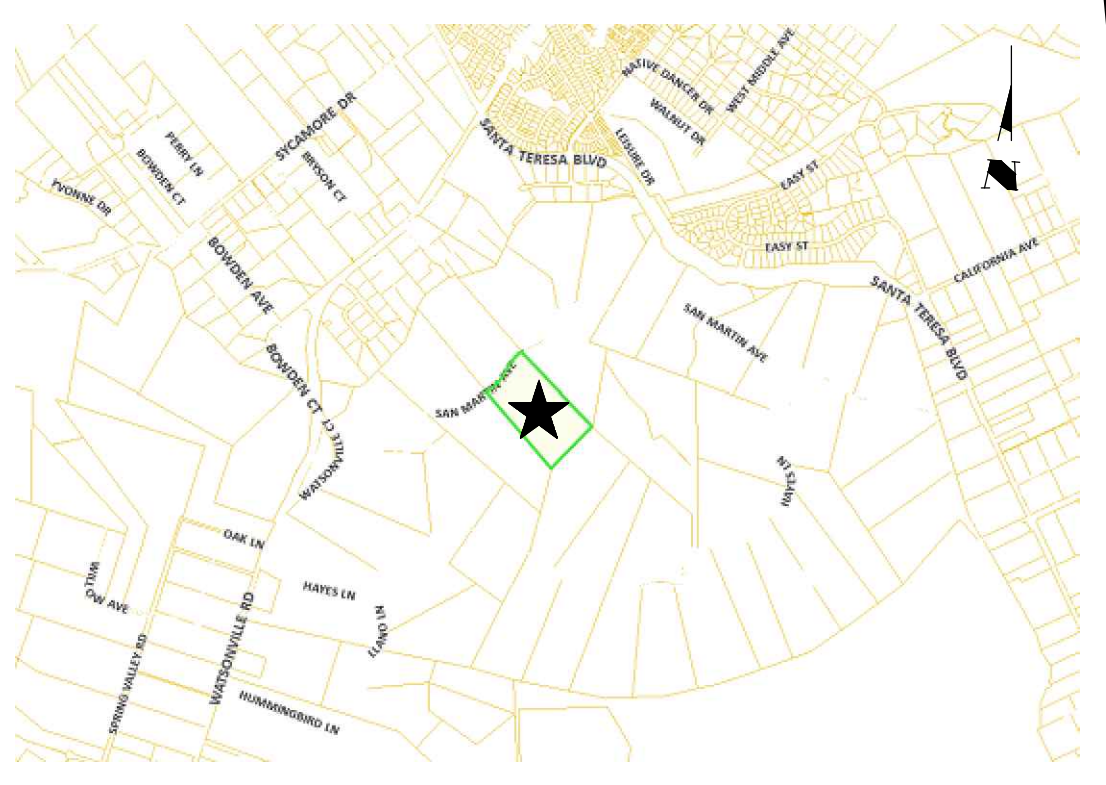
- SS SANITARY SEWER/LATERAL
- SSE SANITARY SEWER EASEMENT
- STA STATION
- STD STANDARD CITY DETAIL
- SW SIDEWALK
- TB TOP OF BANK
- TC TOP OF CURB
- TEMP TEMPORARY
- TOC TOP OF COVER
- TOE TOP OF BANK
- TG TOP OF GRATE
- TPF TREE PROTECTION FENCE
- TW TOP OF WALL
- TYP TYPICAL
- VG VALLEY GUTTER
- W WATER
- WCE WIRE CLEARANCE EASEMENT
- WLK WALKWAY
- WF WOOD FENCE
- WM WATER METER
- WOE WIRE OVERHANG EASEMENT
- WV WATER VALVE

- SHEET INDEX:
- SHEET 1: OVERALL SITE PLAN
  - SHEET 2: DEMOLITION PLAN
  - SHEET 3: GRADING & DRAINAGE PLAN
  - SHEET 4: GRADING & DRAINAGE PLAN
  - SHEET 5: BUILDING CROSS SECTIONS
  - SHEET 6: BUILDING CROSS SECTIONS
  - SHEET 7: UTILITY PLAN



**BASIS OF BEARINGS**

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF W SAN MARTIN AVE AS FOUND MONUMENTED AS N31°00'00"E SHOWN ON PARCEL MAP, RECORDED IN BOOK 510 OF MAPS, AT PAGE 54, SANTA CLARA COUNTY RECORDS.



**EARTHWORK QUANTITY**

USE	CUT (CY)	FILL (CY)	IMPORT (CY)	EXPORT (CY)	MAX VERTICAL DEPTH
BUILDING PAD	2,037	0	0	2,037	23.5'
SITE GRADING	1,727	334	0	1,393	14.0'
DRIVEWAY	957	642	0	455	6.0'
TOTAL	4,721	976	0	3,885	
TOTAL EARTHWORK		5,697			
EXPORT QUANTITY		3,745			
IMPORT QUANTITY		0			

**PRE DEVELOPMENT AREA**

1. VACANT AREA:	871,206 SF
-----------------	------------

**POST DEVELOPMENT AREA**

1. NEW RESIDENCE:		
FLOOR AREA	3,794	SF
GARAGE	775	SF
PORCH & LD & TERRACE	703	SF
STAIRS	60	SF
COURTYARD	572	SF
LIGHTWELL	316	SF
2. NEW ADU:		
FLOOR AREA	1,200	SF
LANDING	60	SF
3. WALKWAY:	622	SF
4. DRIVEWAY:	12,453	SF
	20,555	SF
5. LANDSCAPE:	850,651	SF

**DISTURBED AREAS**

NO.	DESCRIPTION	AREA (SQUARE FEET)
1.	TEMPORARY	54,422
2.	PERMANENT	20,555
	TOTAL AREA	74,977

- PROPERTY LOCATION INFORMATION**
- APN: 779-47-004
  - SITE ADDRESS: W SAN MARTIN AV, SAN MARTIN CA 95046-9444
  - LOT SIZE AREA: 871,206 SQ. FT. / 20 ACRES TRA: 87004
  - FIRE RESPONSIBILITY AREA: SRA (100%)
  - FIRE PROTECTION DISTRICT: SOUTH SANTA CLARA COUNTY FIRE PROTECTION DISTRICT
  - GEOHAZARD: COUNTY LANDSLIDE HAZARD ZONE
  - HISTORIC PARCEL: NO
  - FEMA FLOOD ZONE: D (100%)
  - WATERSHED: CENTRAL COAST
  - RAIN ISOHYET: 23 INCHES, 21 INCHES

REVISIONS

BY

DATE

REGISTERED PROFESSIONAL ENGINEER

No. 47518

CIVIL

STATE OF CALIFORNIA

PRITH BANERJEE

1068 UNIVERSITY AVE, PALO ALTO, CA 94301

Tel: (847) 757 - 8708

EMAIL: PRITHBANERJEE@GMAIL.COM

ENGINEERING

598 E Santa Clara St #270

San Jose, CA 95128

Phone: (408) 866-7187

SITE PLAN

W SAN MARTIN AVENUE

APN 779-47-004

SHEET

1

FILE #

SAN MARTIN

Project No.

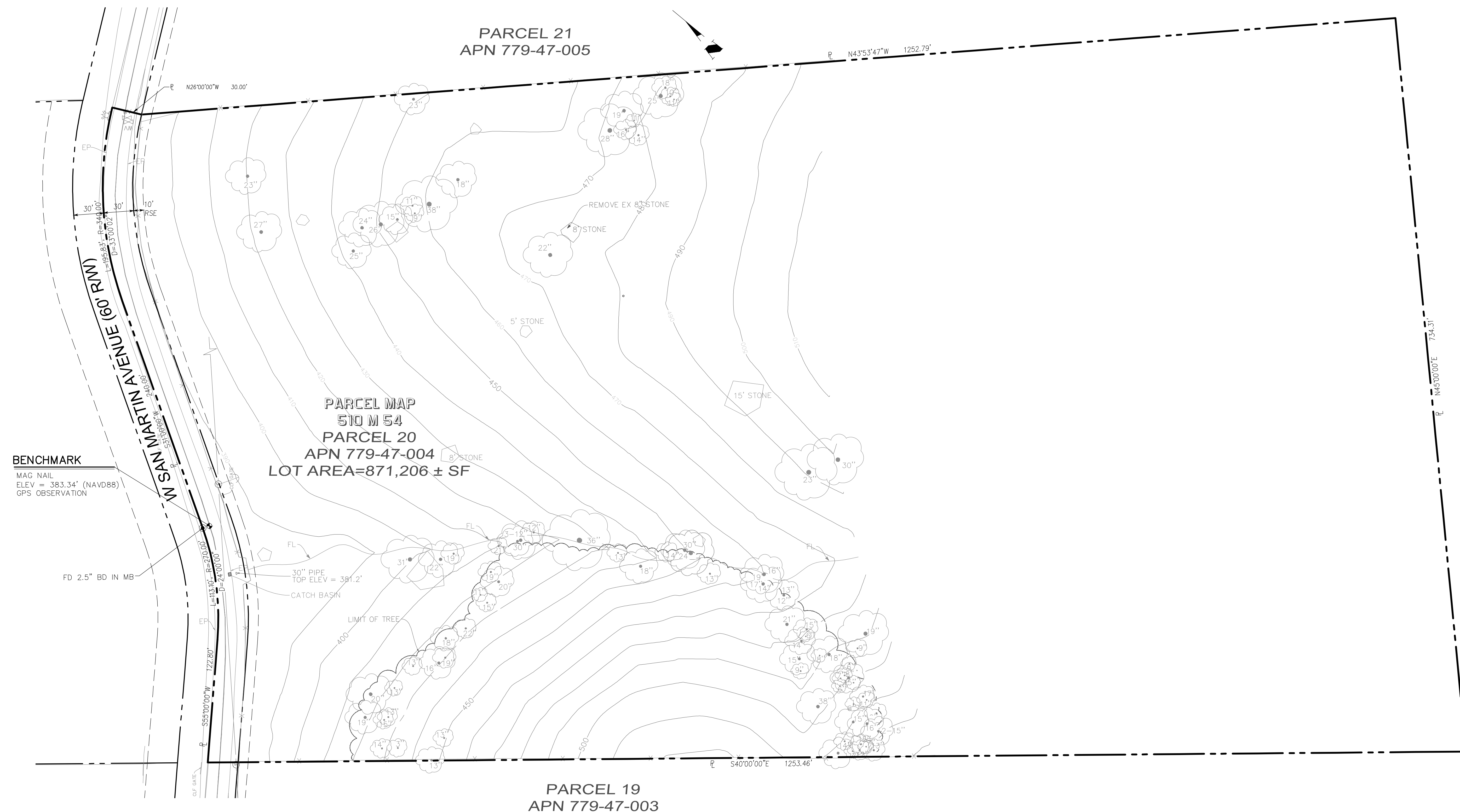
Designed: HP

Checked: HV


Date: 07/11/24

CALIFORNIA





GRAPHIC SCALE



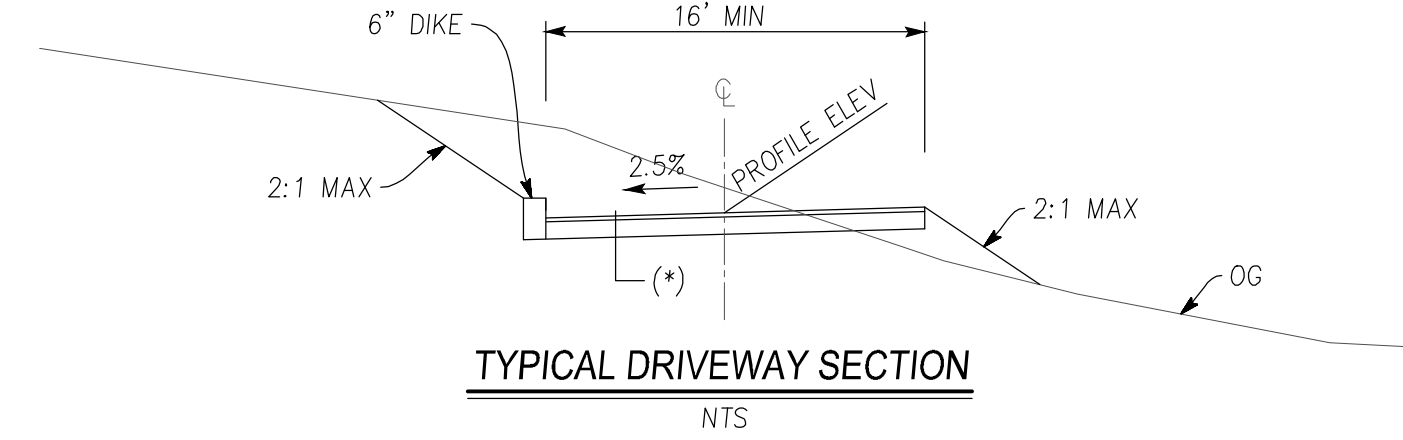
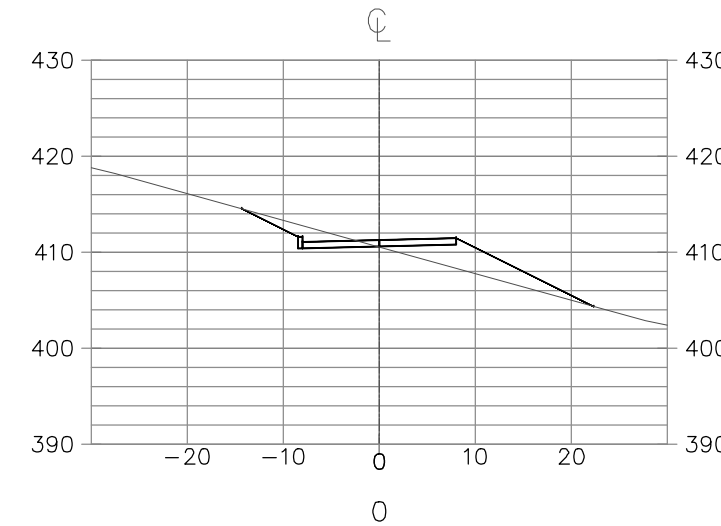
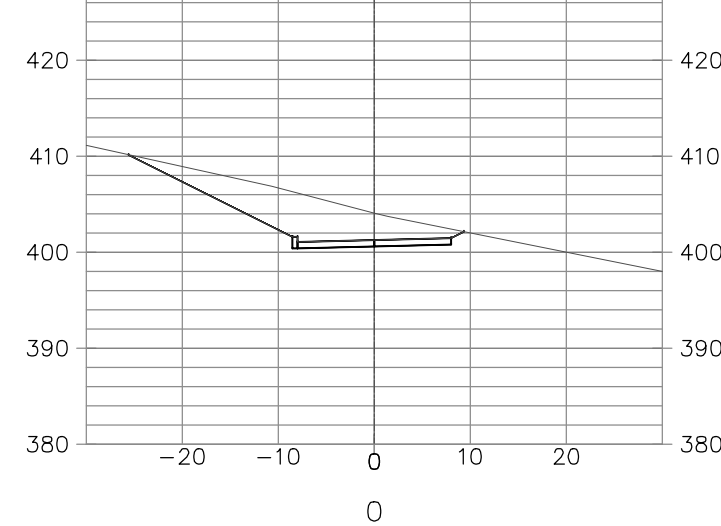
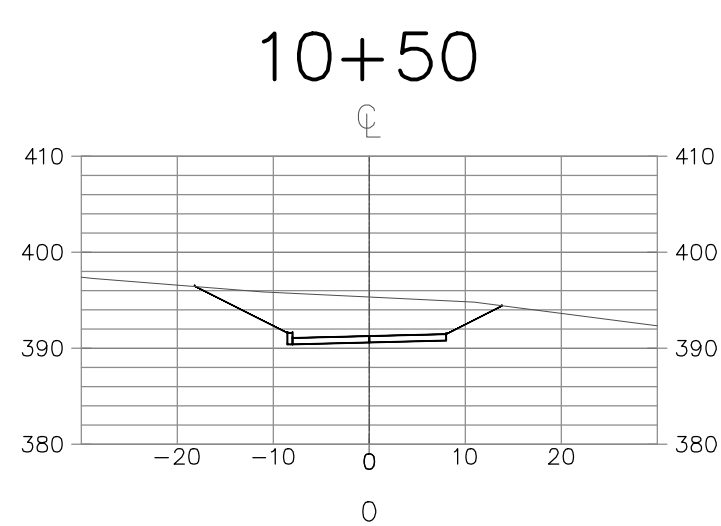
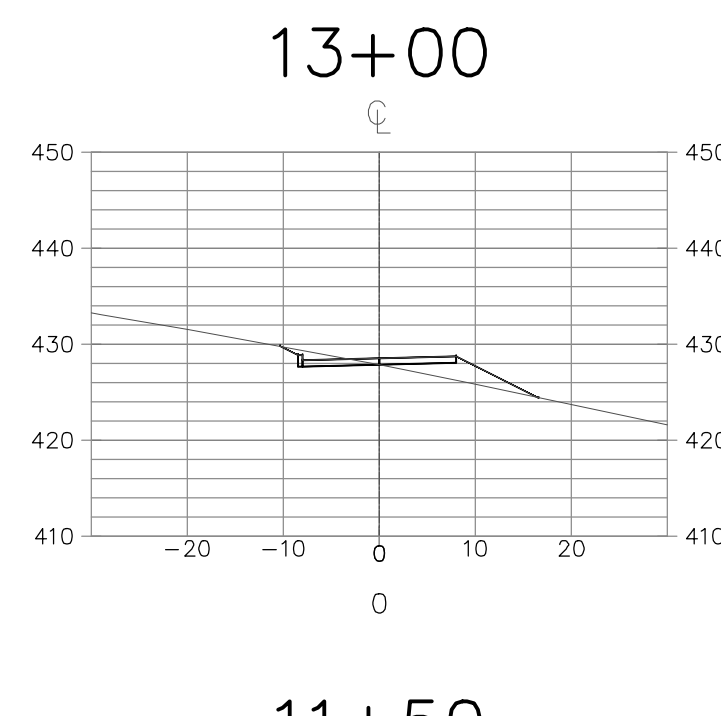
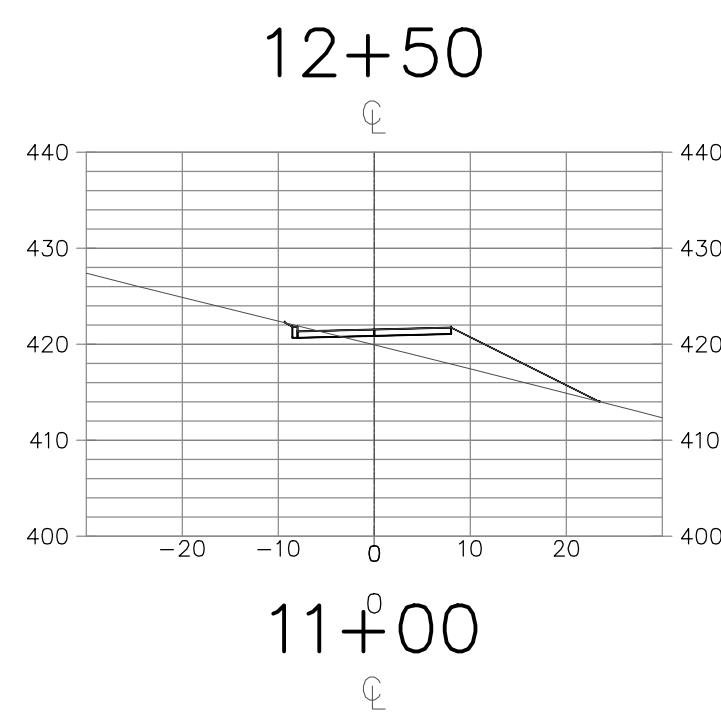
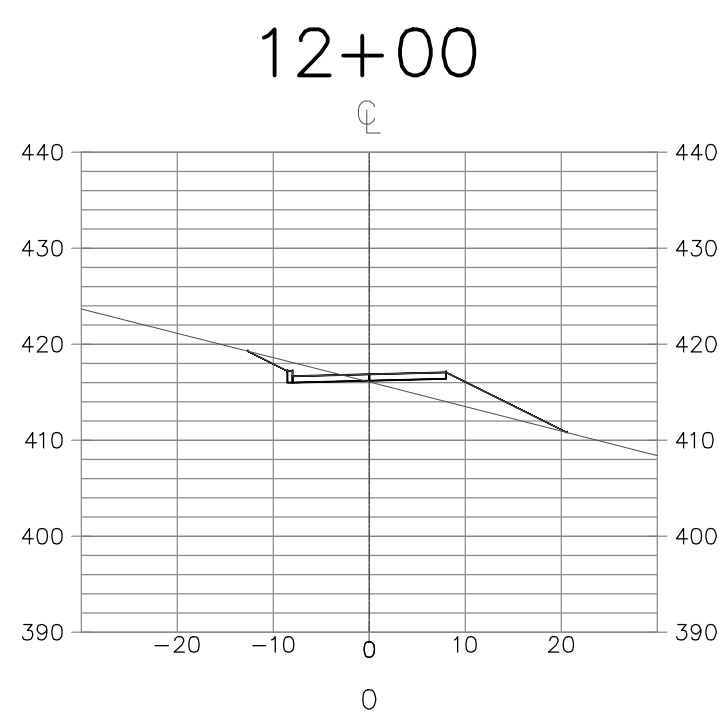
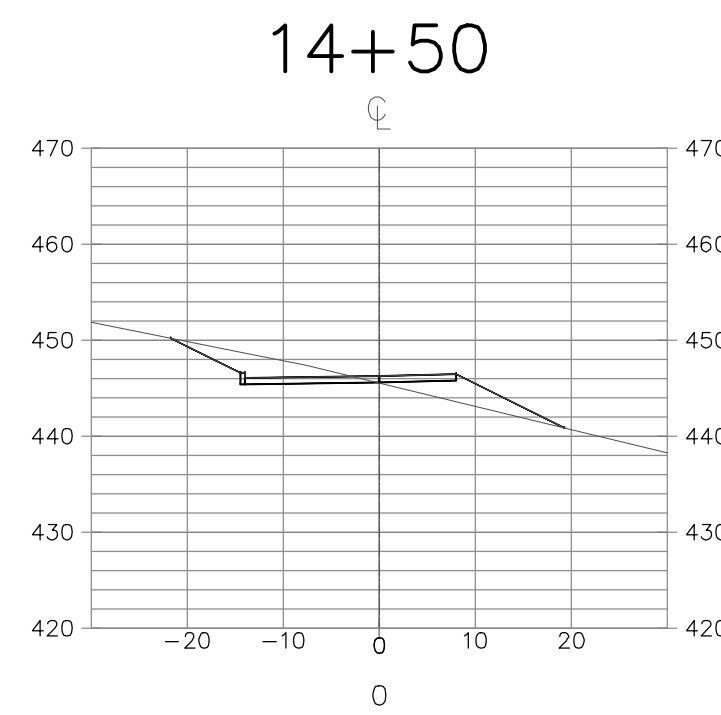
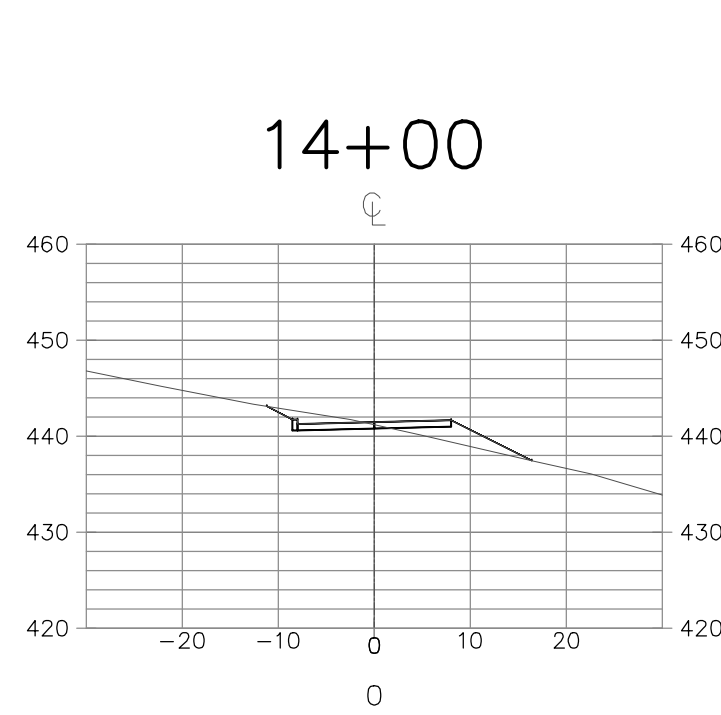
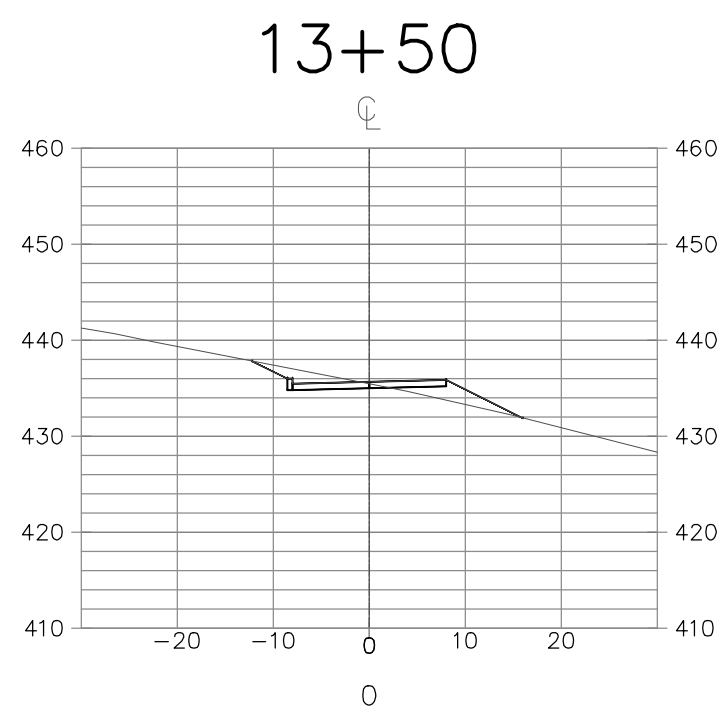
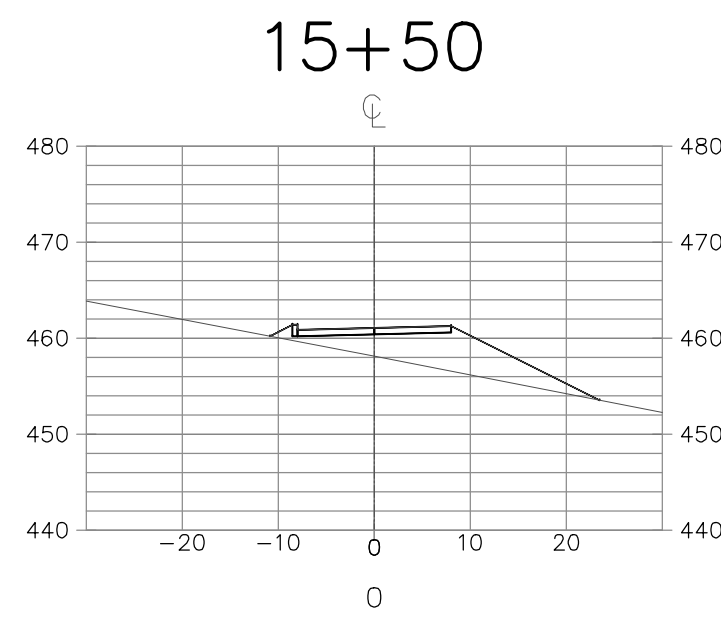
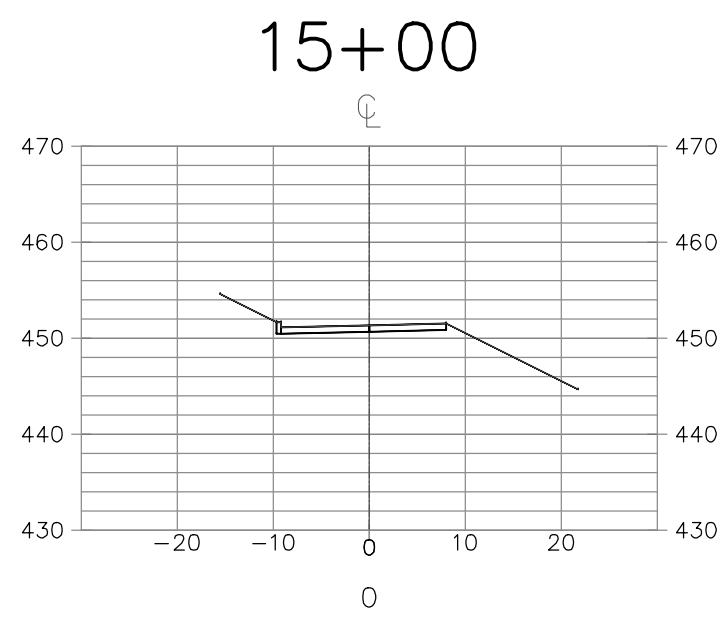
( IN FEET )  
1 inch = 50 ft.

[illegible]

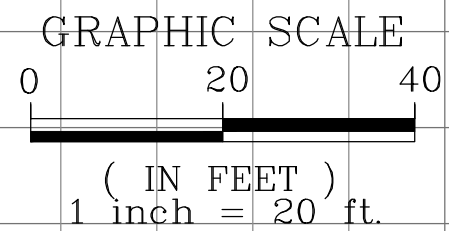
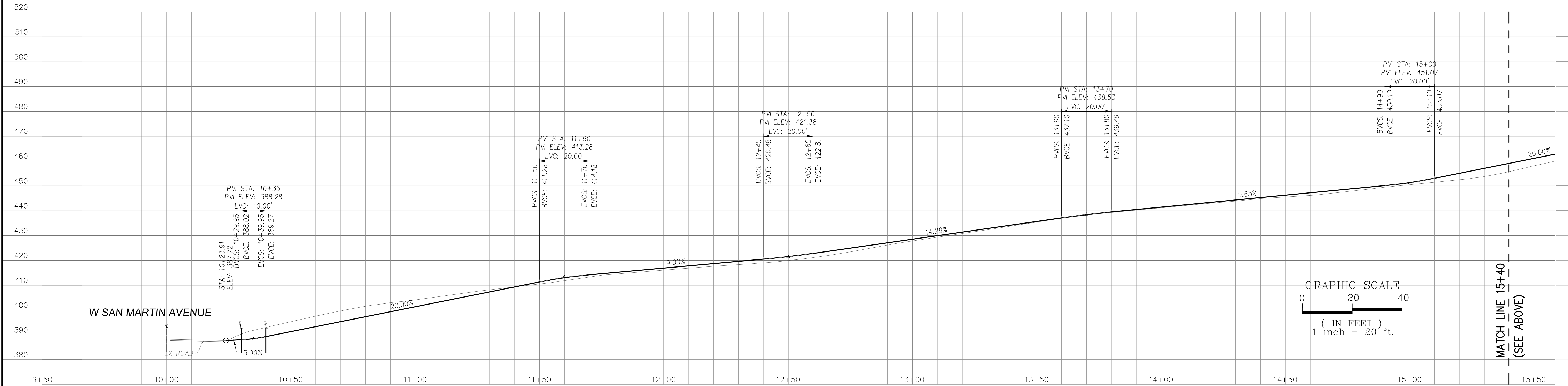
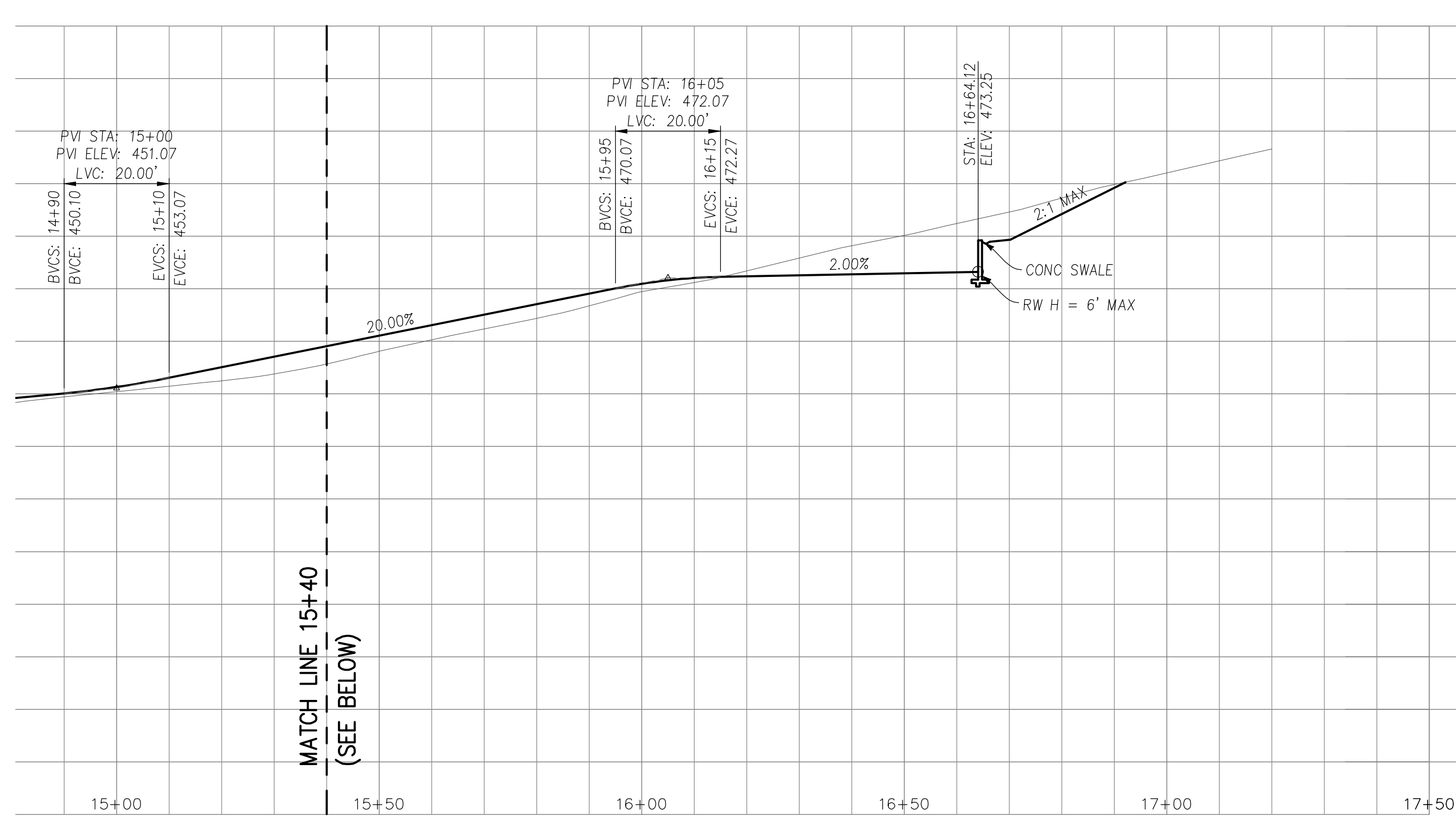








(\*) THICKNESS OF DRIVEWAY PAVEMENT SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.



REVISIONS		BY		DATE	

REGISTERED PROFESSIONAL ENGINEER  
No. 47518  
STATE OF CALIFORNIA  
CIVIL

**PRITH BANERJEE**  
1068 UNIVERSITY AVE, PALO ALTO, CA 94301  
Tel: (847) 757 - 8708  
EMAIL: PRITHBANERJEE@GMAIL.COM

**ENGINEERING**  
598 E Santa Clara St#270  
San Jose, CA 95131  
Phone: (408) 866-7187

**DRIEWAY PROFILE & SECTIONS**  
**W SAN MARTIN AVENUE**  
**APN 779-47-004**

Project No.: **SAN MARTIN** California  
Designed: **HP** Checked: **HP** Date: **07/11/24**

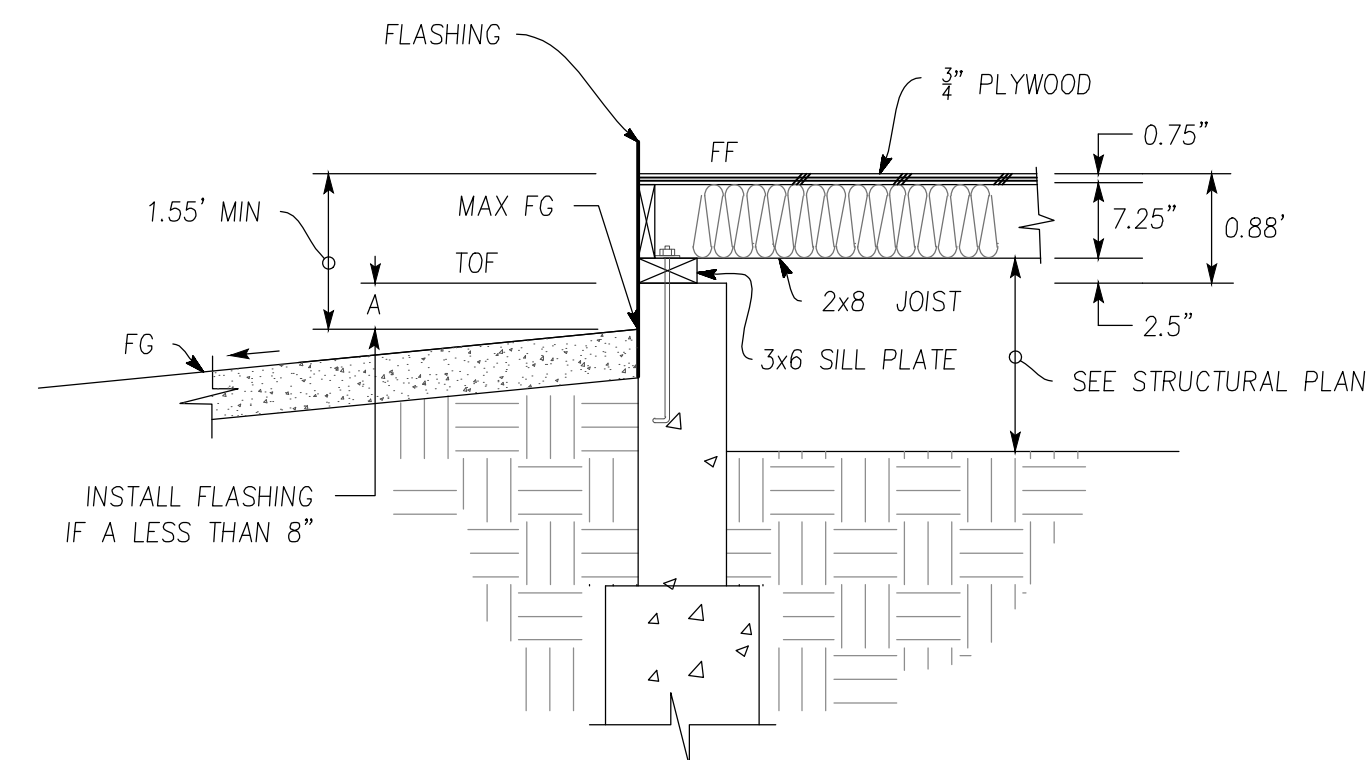
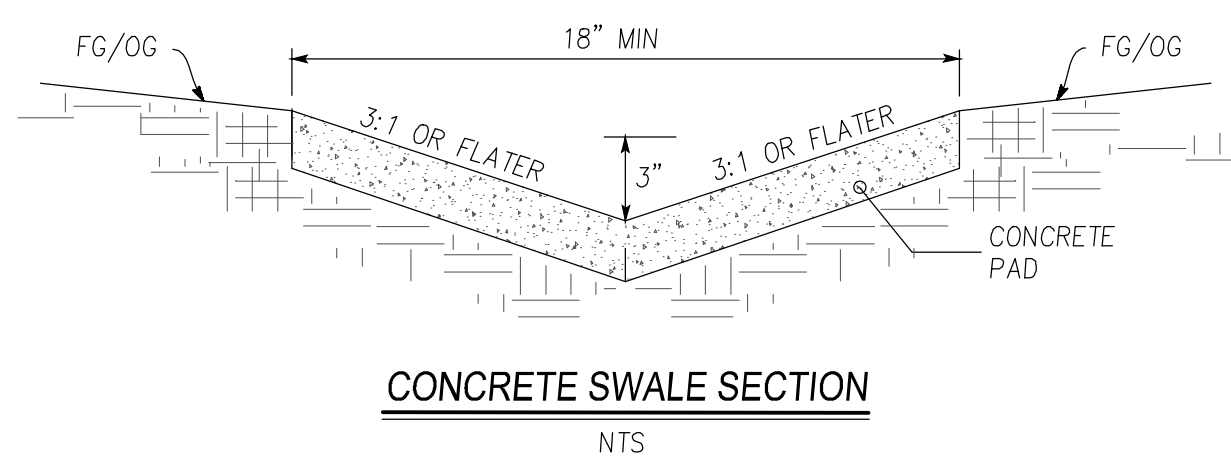
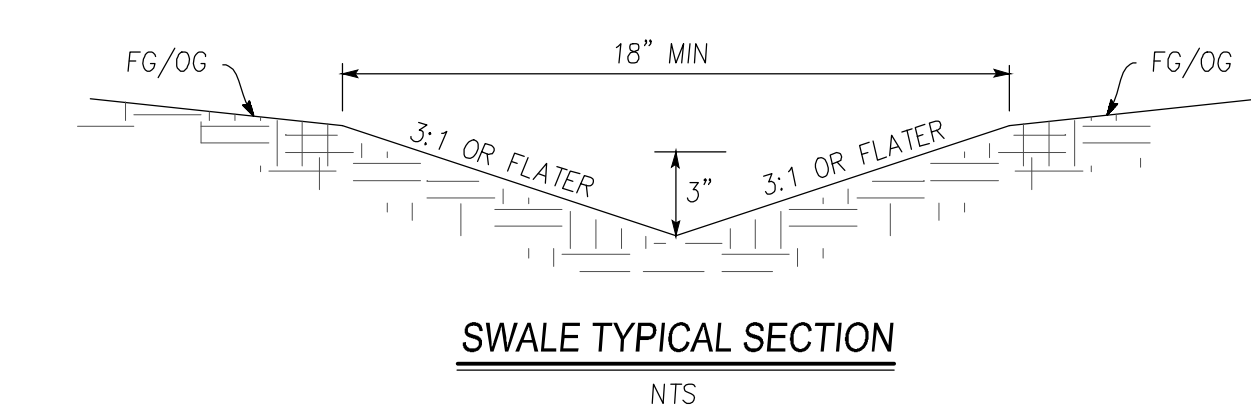
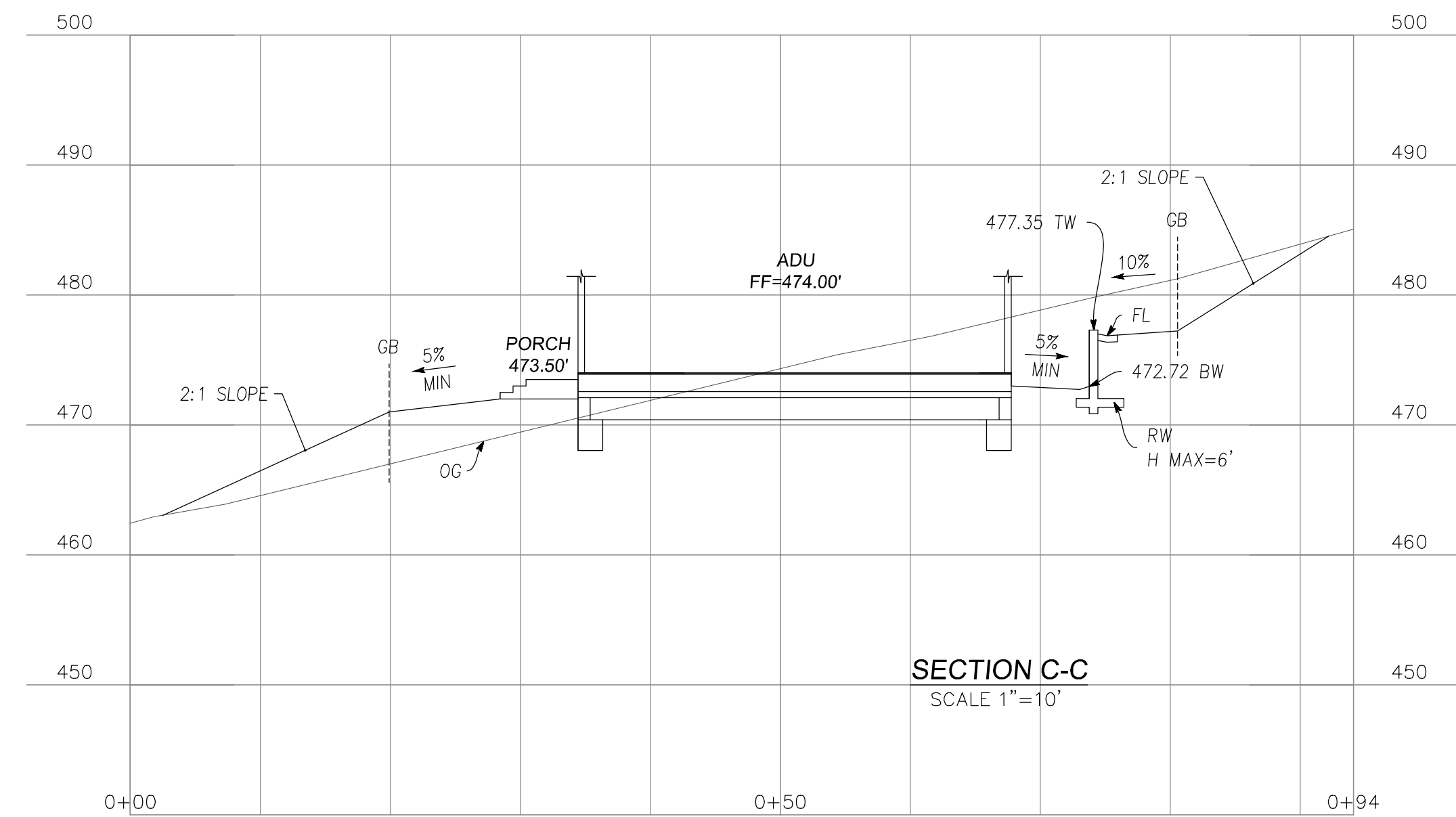
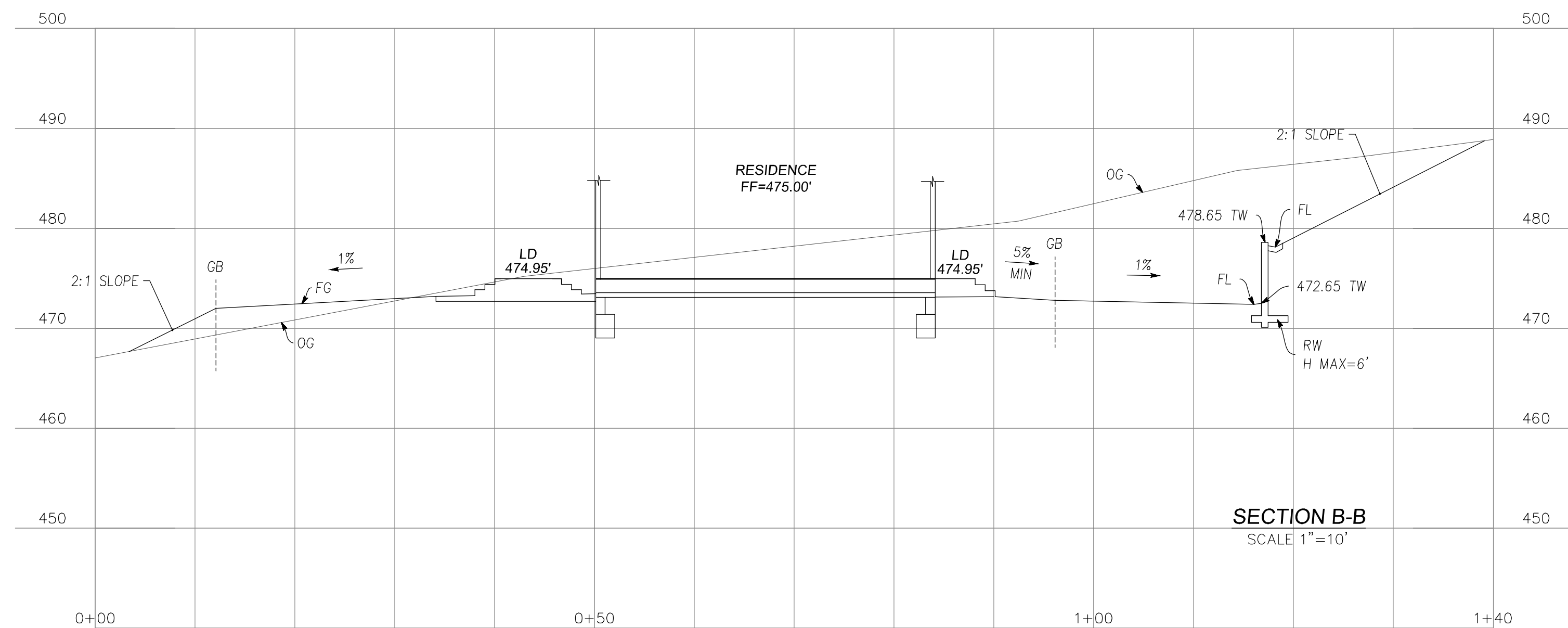
SHEET  
**4**

FILE #

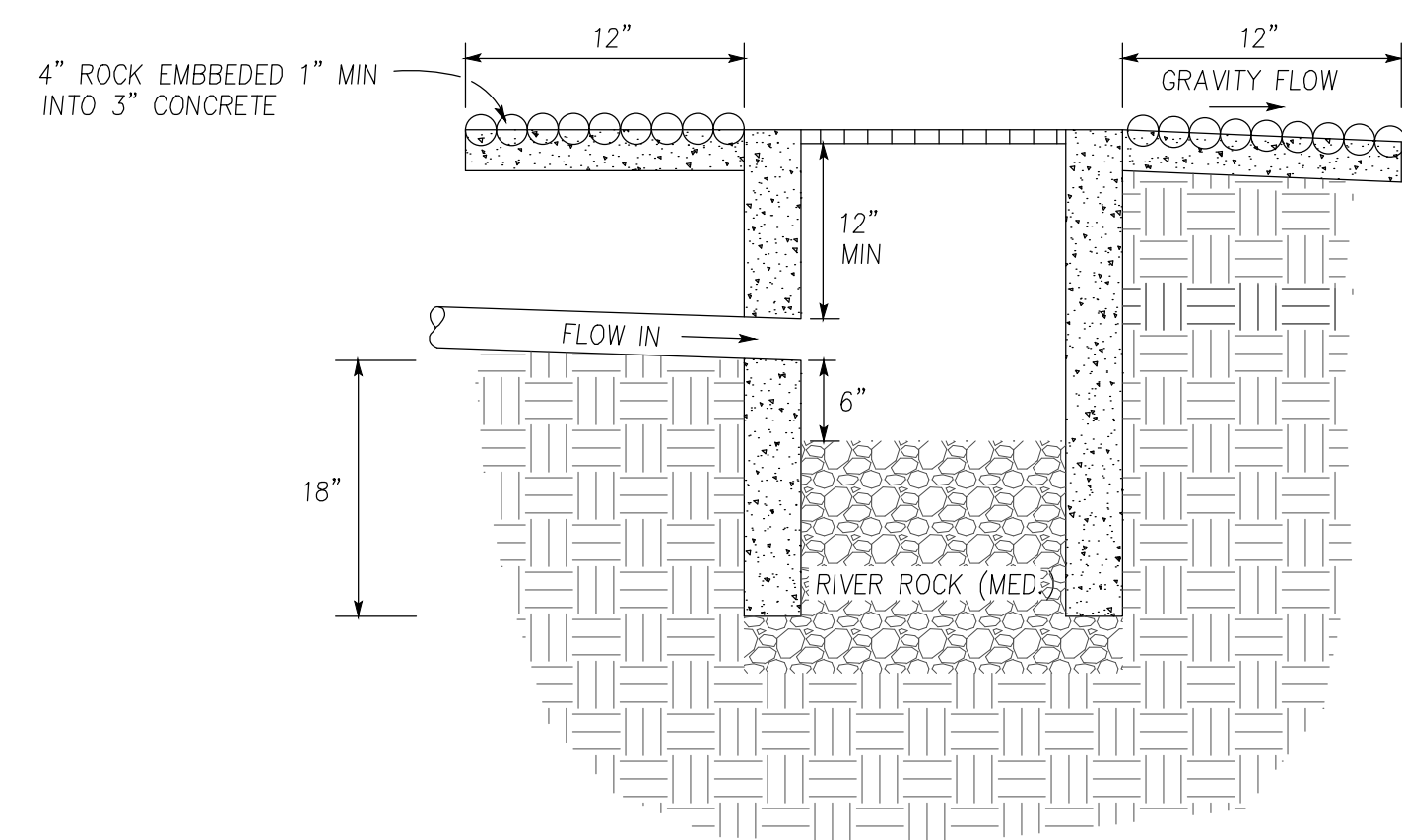






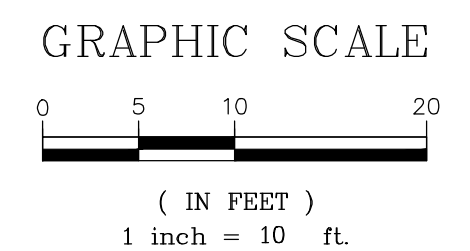


**DETAIL A - FINISH GRADE DETAIL**  
AT BUILDING FOUNDATION  
NTS

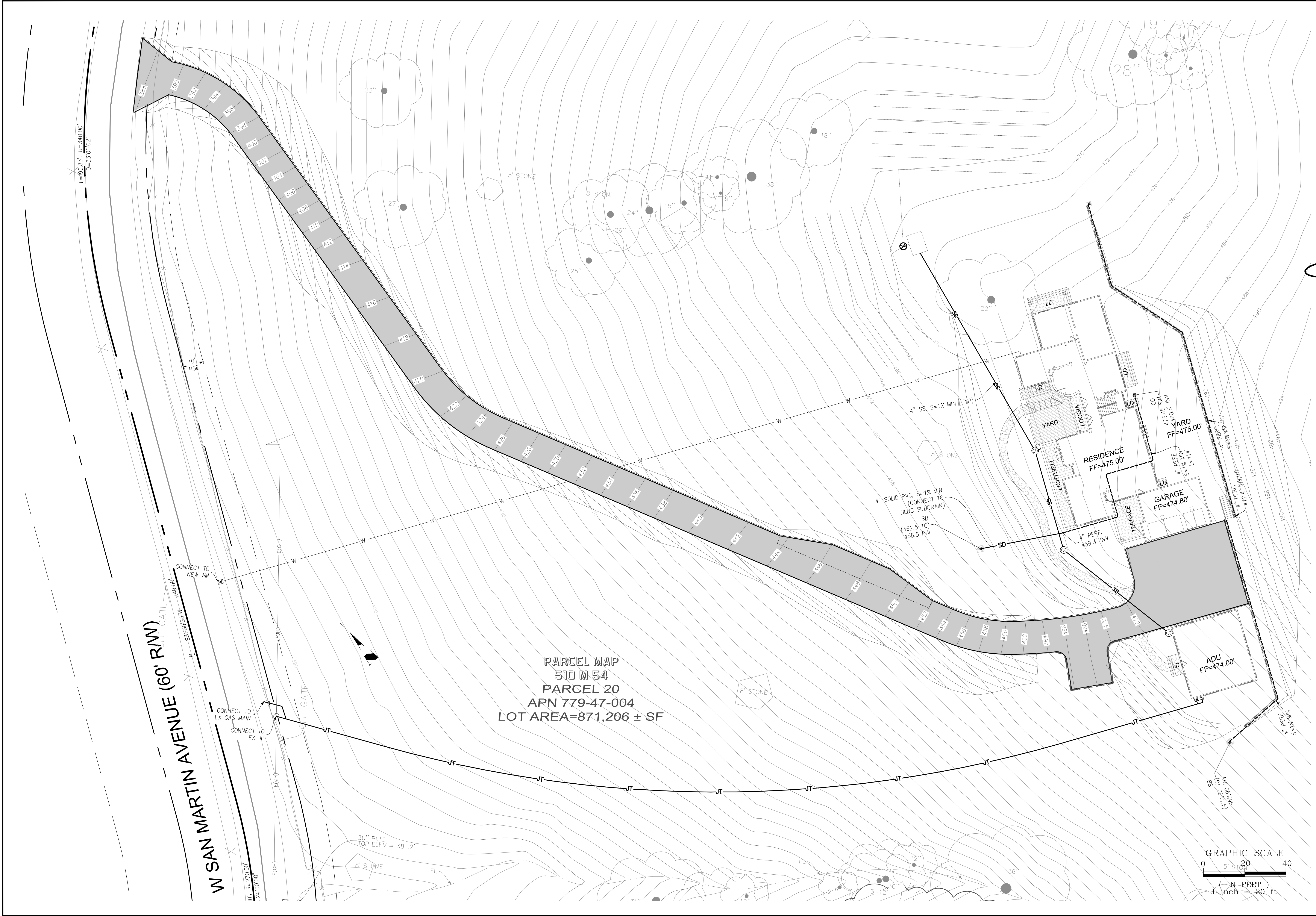


DETAIL B - BUBBLER BOX

1. RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM INLET.
2. BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
3. BOX SHALL BE SET IN LANDSCAPED AREA TO FACILITATE PERCOLATION.
4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.

[illegible]



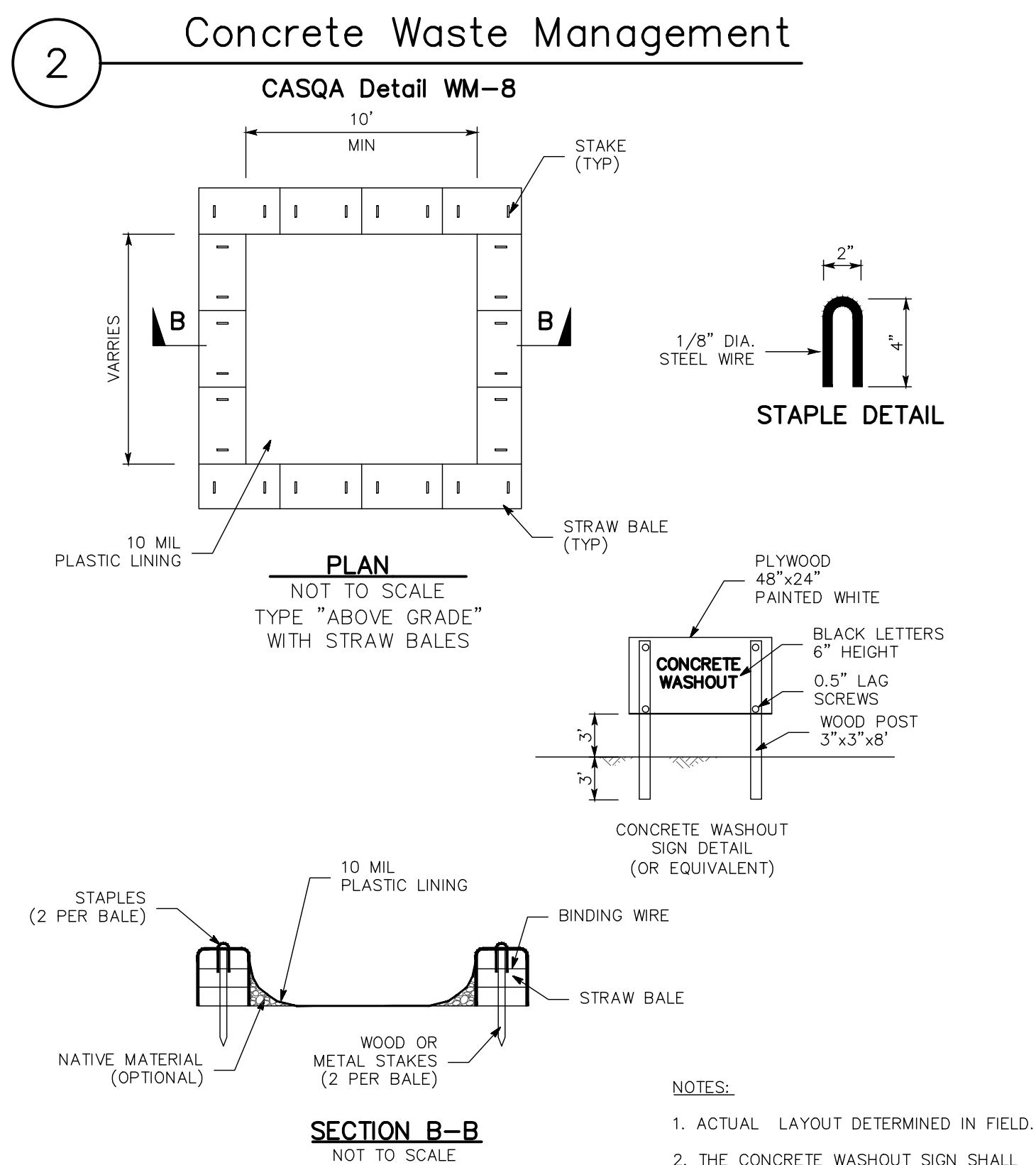
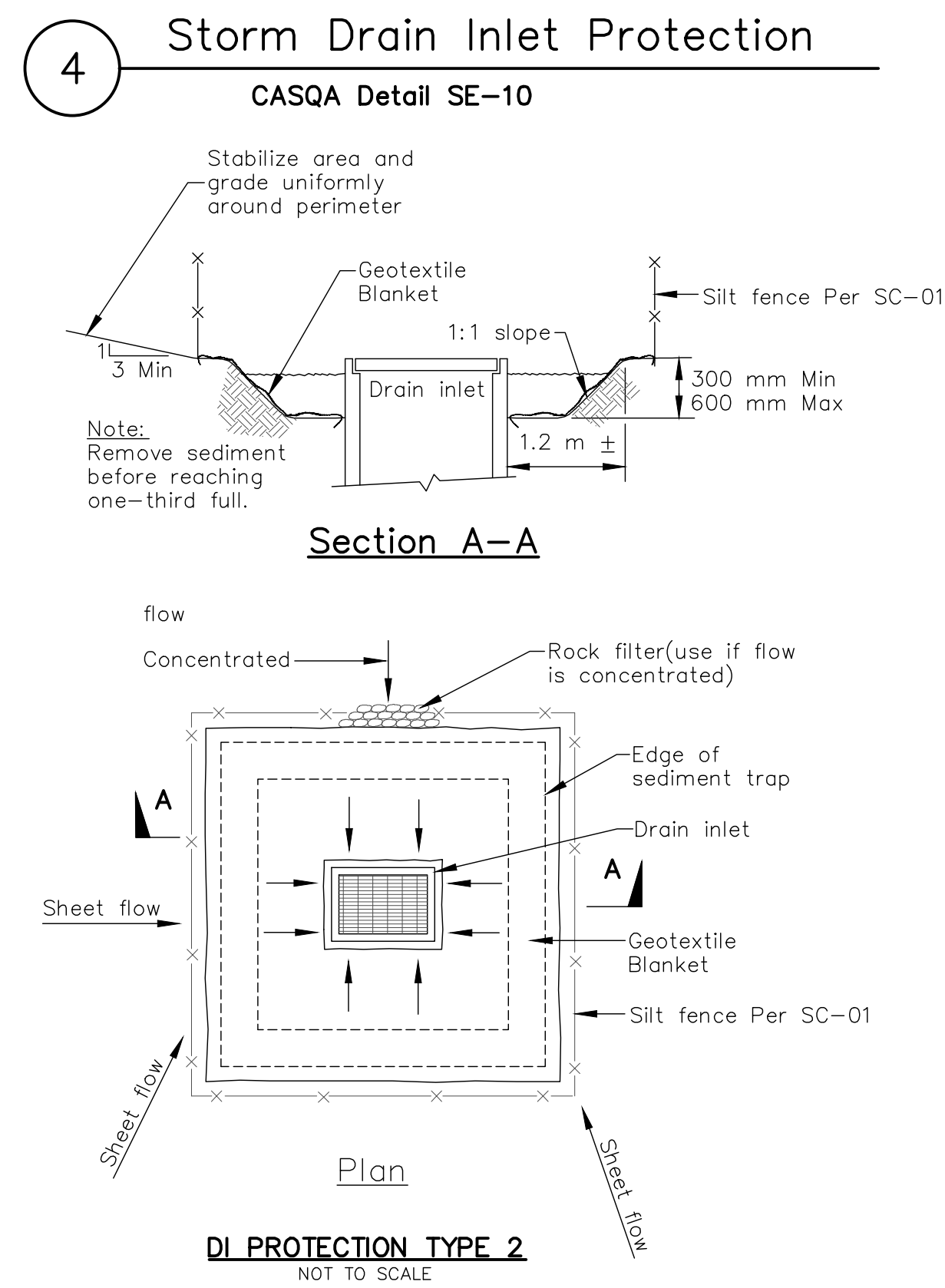
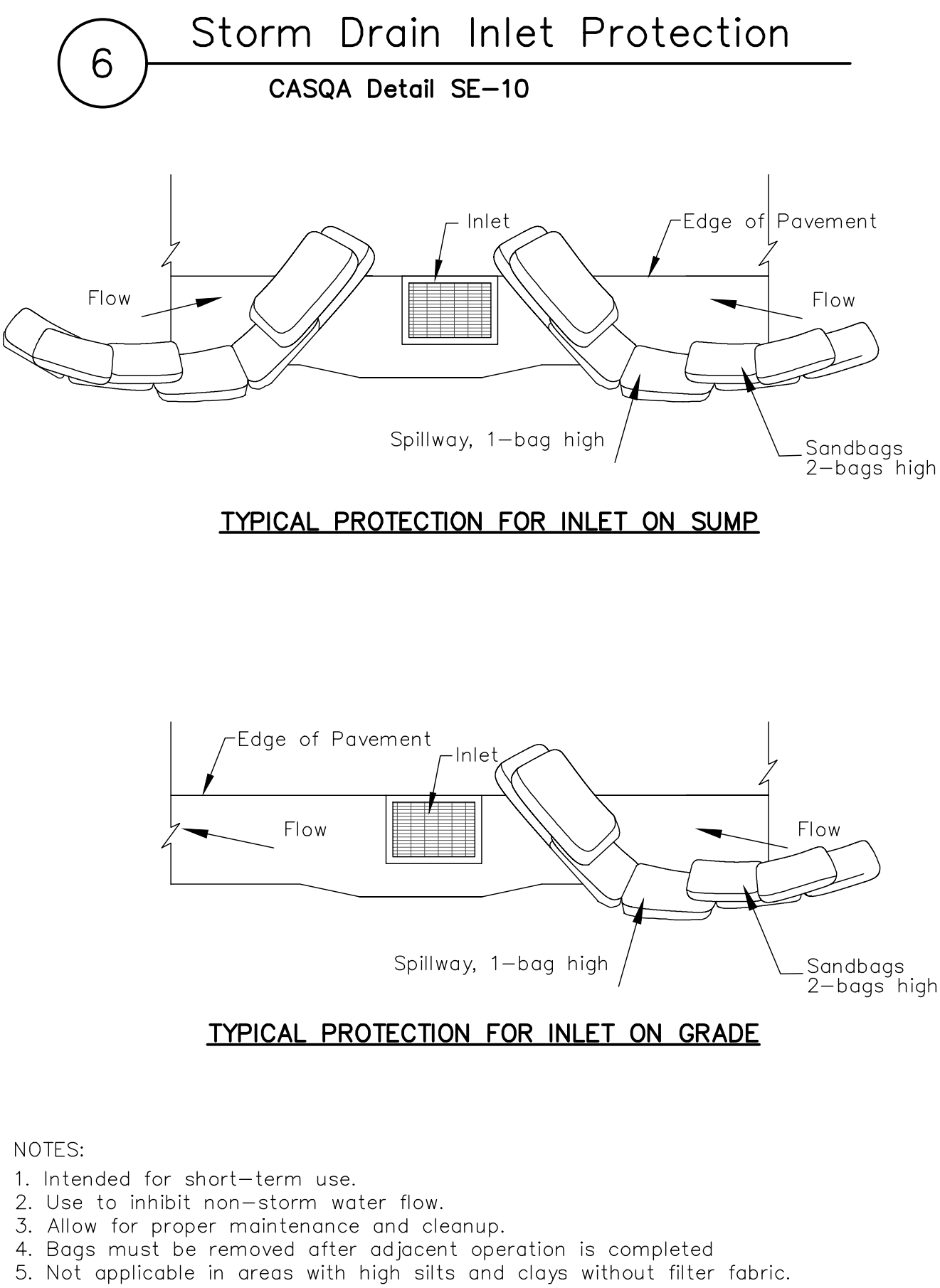
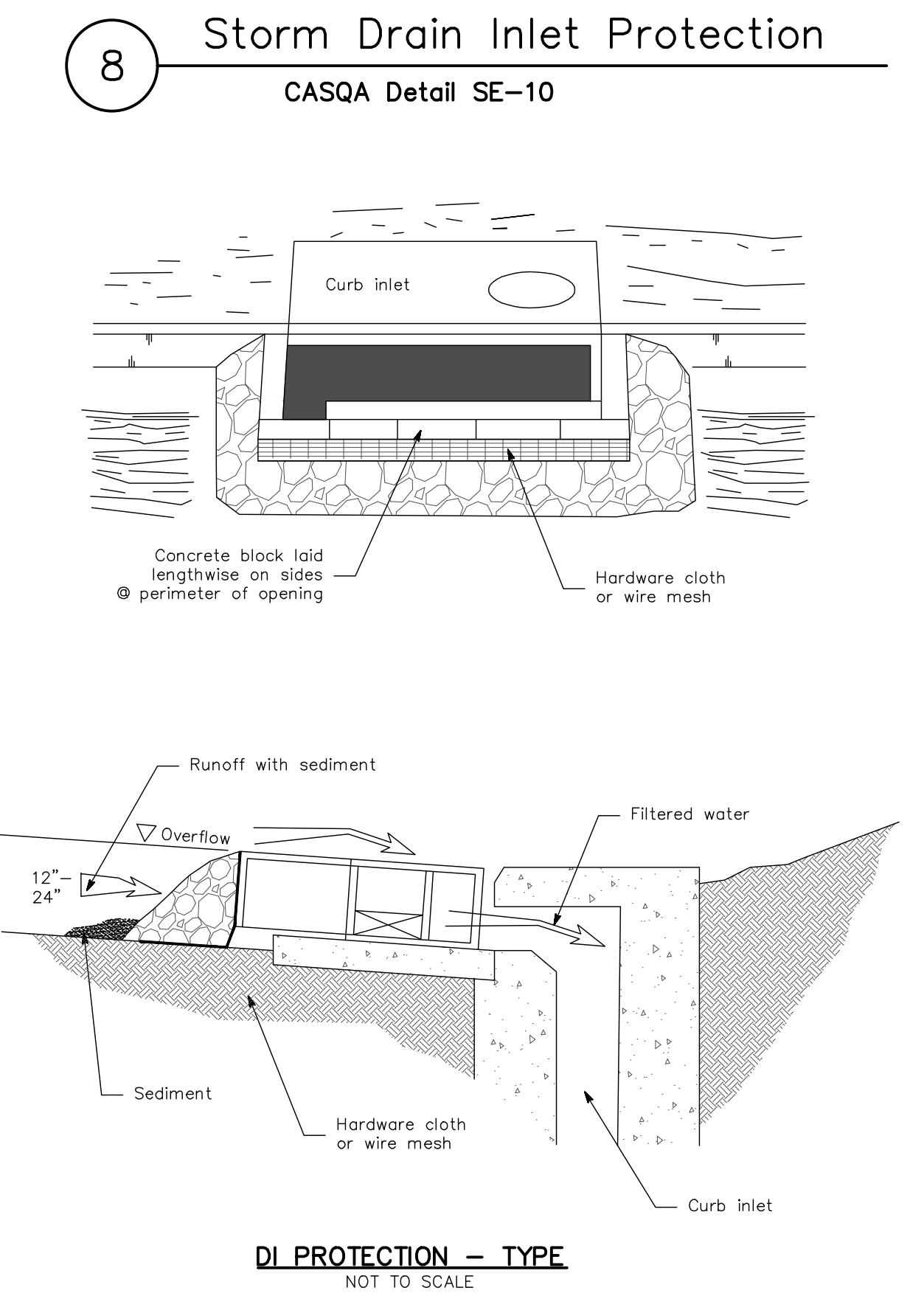
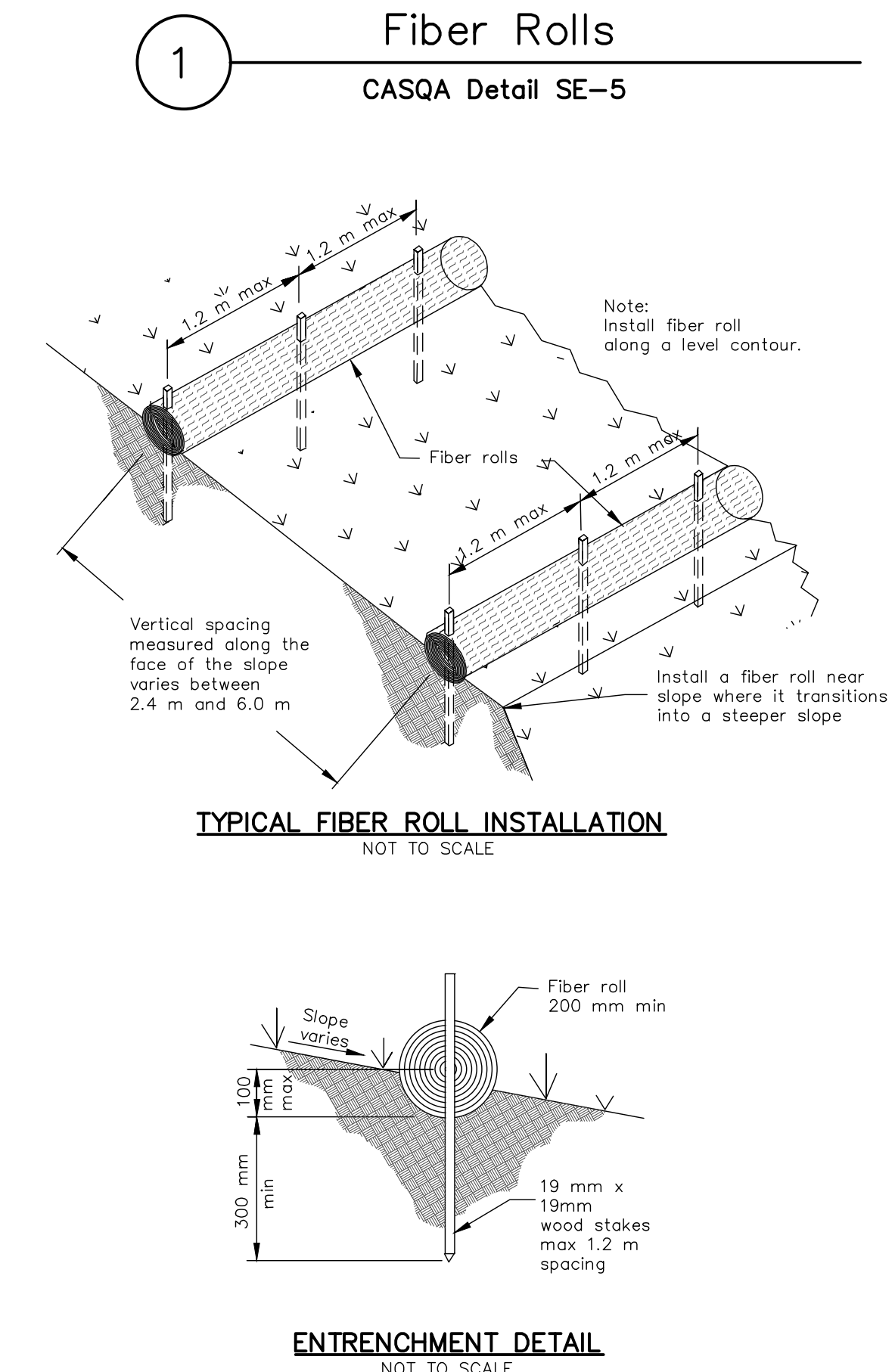
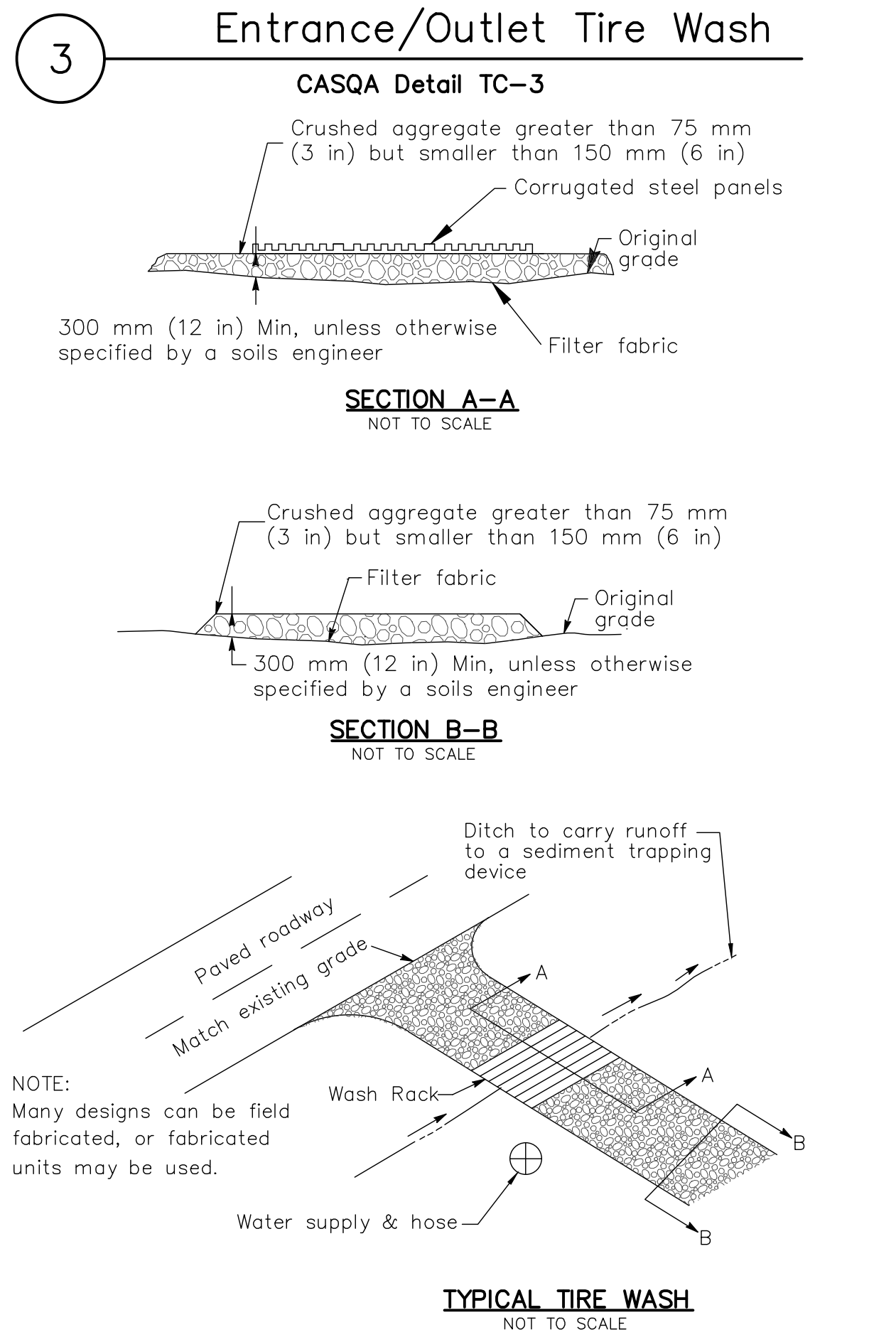
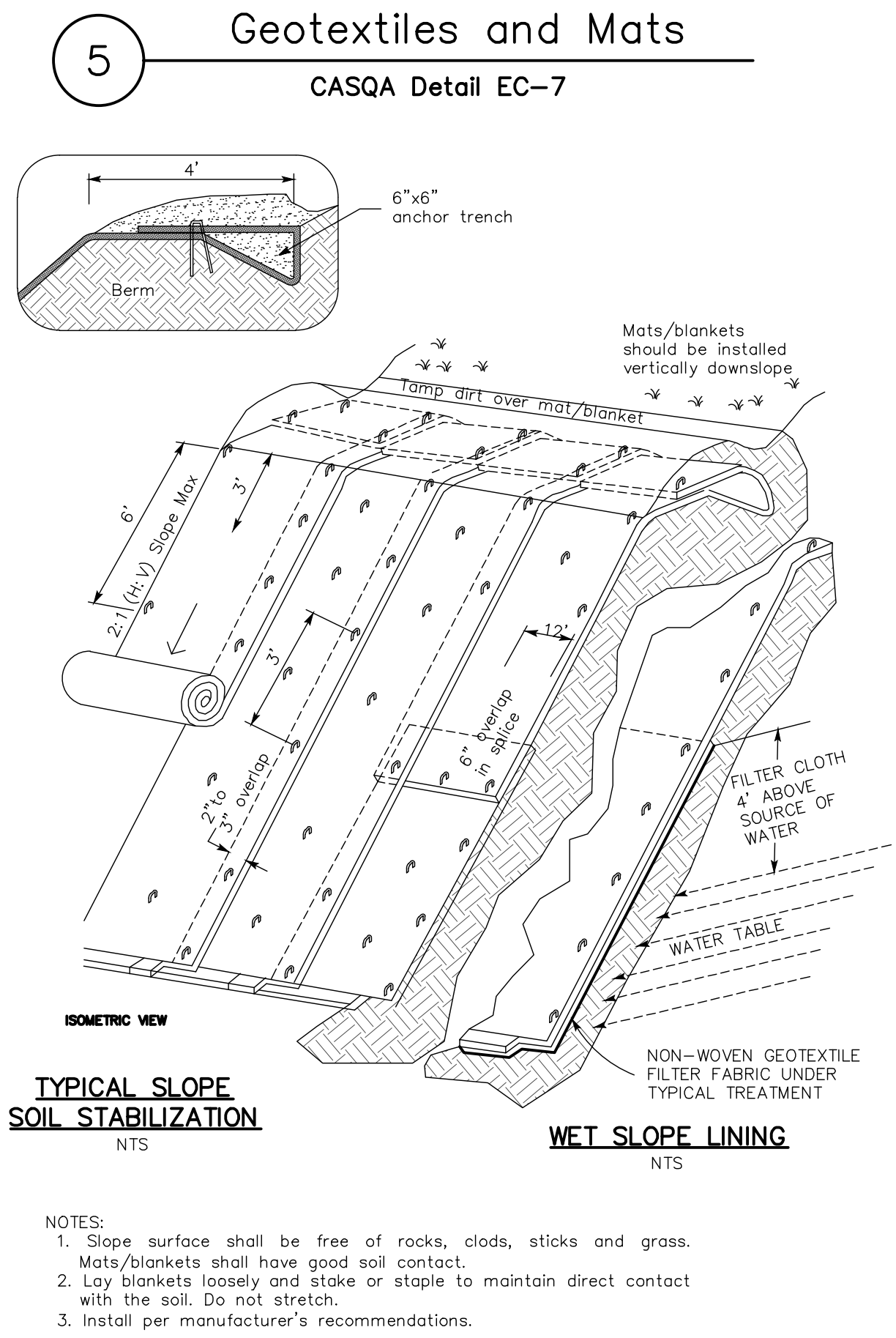
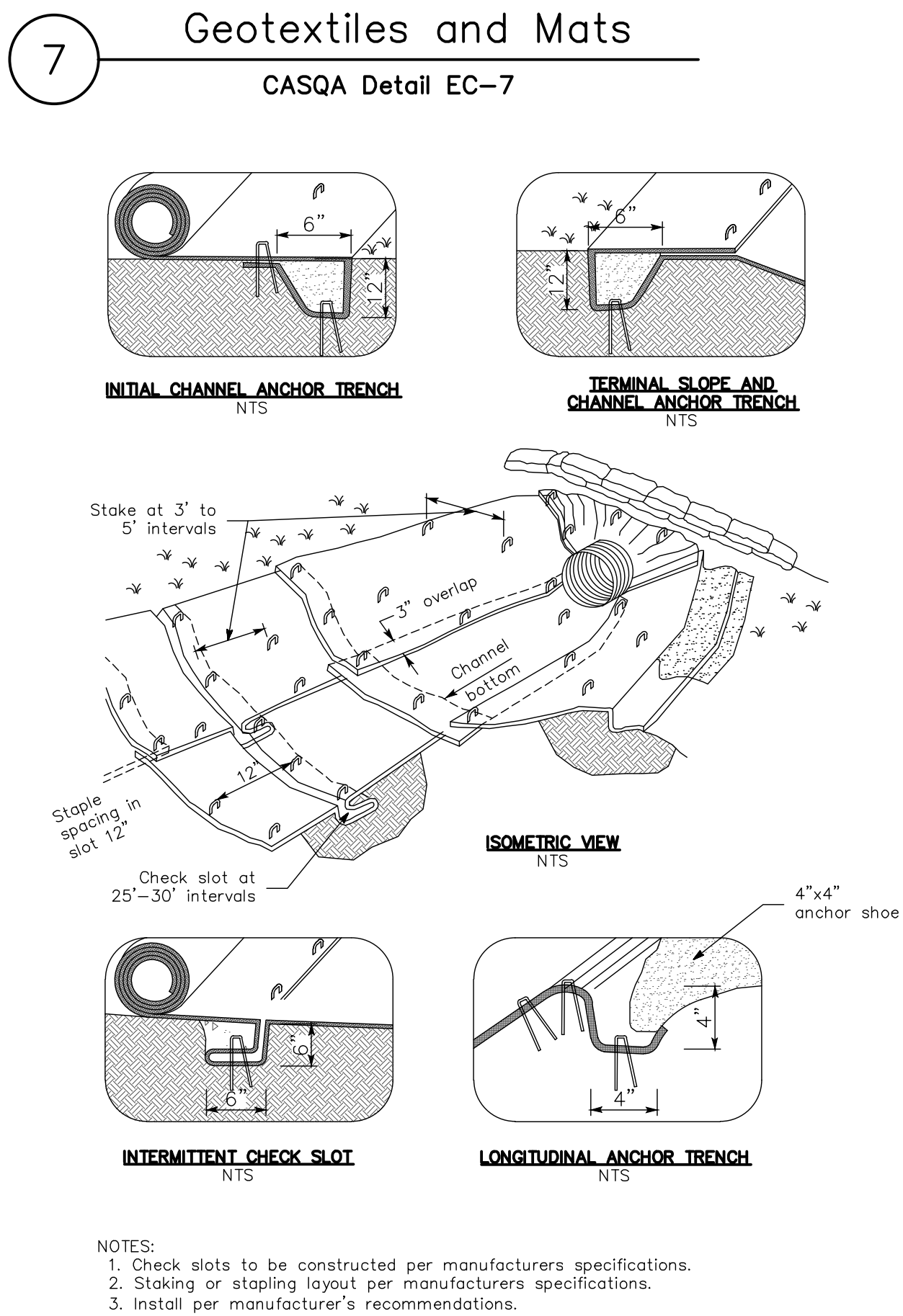


UTILITY PLAN W SAN MARTIN AVENUE APN 779-47-004		PROJECT NO.: SAN MARTIN		DESIGNED: HP   CHECKED: HV		DATE: 07/11/24	
SHEET 7		CALIFORNIA		PROJECT NO.: SAN MARTIN		DATE: 07/11/24	
FILE #		PRITH BANERJEE 1068 UNIVERSITY AVE, PALO ALTO, CA 94301 Tel: (847) 757 - 8708 EMAIL: PRITHBANERJEE@GMAIL.COM		REGISTERED PROFESSIONAL ENGINEER CIVIL No. 47518 STATE OF CALIFORNIA		REVISIONS	





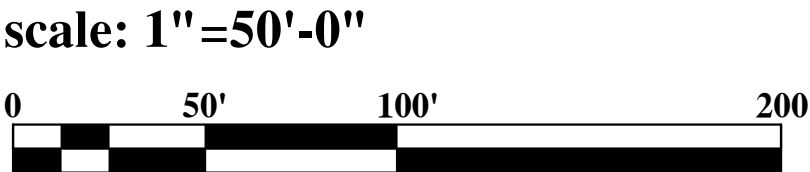








**scale: 1"=50'-0"**



WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SCALED DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. SPECIFICATIONS SHALL CONSTITUTE PRELIMINARY. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ACCEPTANCE OF THESE RESTRICTIONS. THE USE OF THESE PLANS OR SPECIFICATIONS SHALL BE LIMITED TO SUCH REUSE THEREOF IS EXPRESSLY LIMITED BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK,

REVISIONS	
Arch Review	12-03-24

DRAWING TITLE	Overall Site Plan
JOB TITLE	Private Residence
JOB ADDRESS	Parcel #20 San Martin Ave. San Martin, California 95046

DATE	Dec 03, 2024
SCALE	As Noted
PROJECT MANAGER	S. Stotler
DRAWN	MAW
JOB NO.	2305
SHEET	

(A1.1)



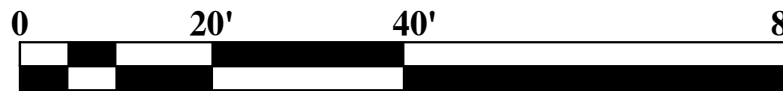
W SAN MARTIN AVENUE (60' R/W)



Enlarged Partial Site Plan

scale: 1"=20'

scale: 1"=20'-0"



LOS ALTOS, CALIFORNIA 94022  
PHONE: (408) 309-2163  
Email: Scott@StotlerDesignGroup.com

WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER ANY ORAL STATEMENTS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PARED AND PUBLICATION IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS	Arch Review	2-03-24

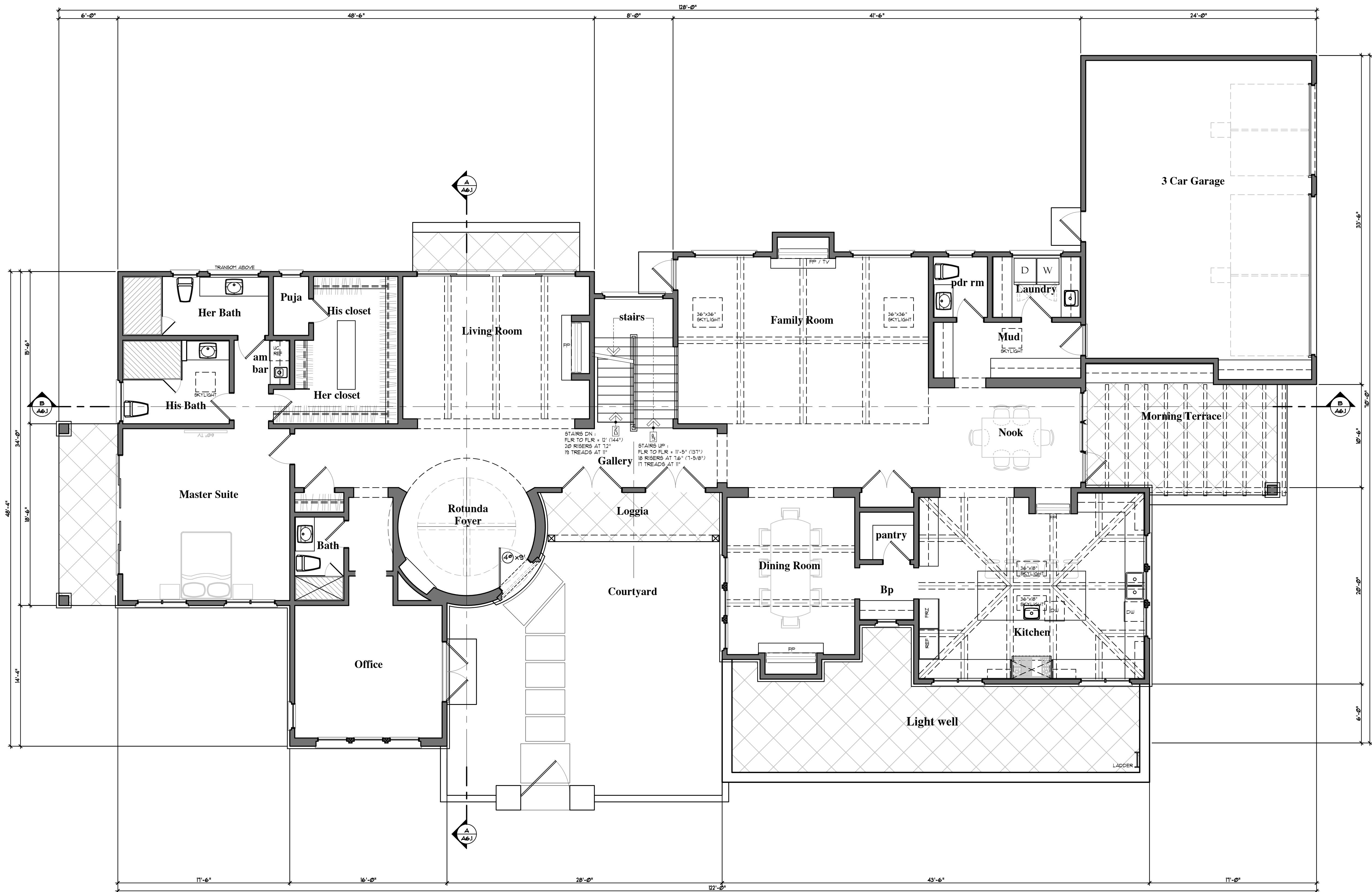
DRAWING TITLE	Enlarged Partial Site Plan
JOB TITLE	Private Residence
JOB ADDRESS	Parcel #20 San Martin Ave. San Martin, California 95046

DATE	Dec 03, 2024
SCALE	As Noted
PROJECT MANAGER	B. Stotler
DRAWN	MAW
JOB NO.	2305
SHEET	

A1.2



C:\Dropbox\Projects\2023\2305-Banefje\2305-a2.dwg, 12/20/2024 4:19:41 PM

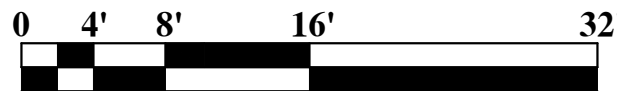


Entry Level Floor Plan

3800 sqft Living Space

scale: 3/16"=1'-0"

scale: 3/16"=1'-0"



LOS ALTOS, CALIFORNIA 94022  
PHONE: (408) 309-2163  
Email: Scott@StotlerDesignGroup.com

WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PARED AND PUBLICATION IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS		12-03-24
Arch Review		

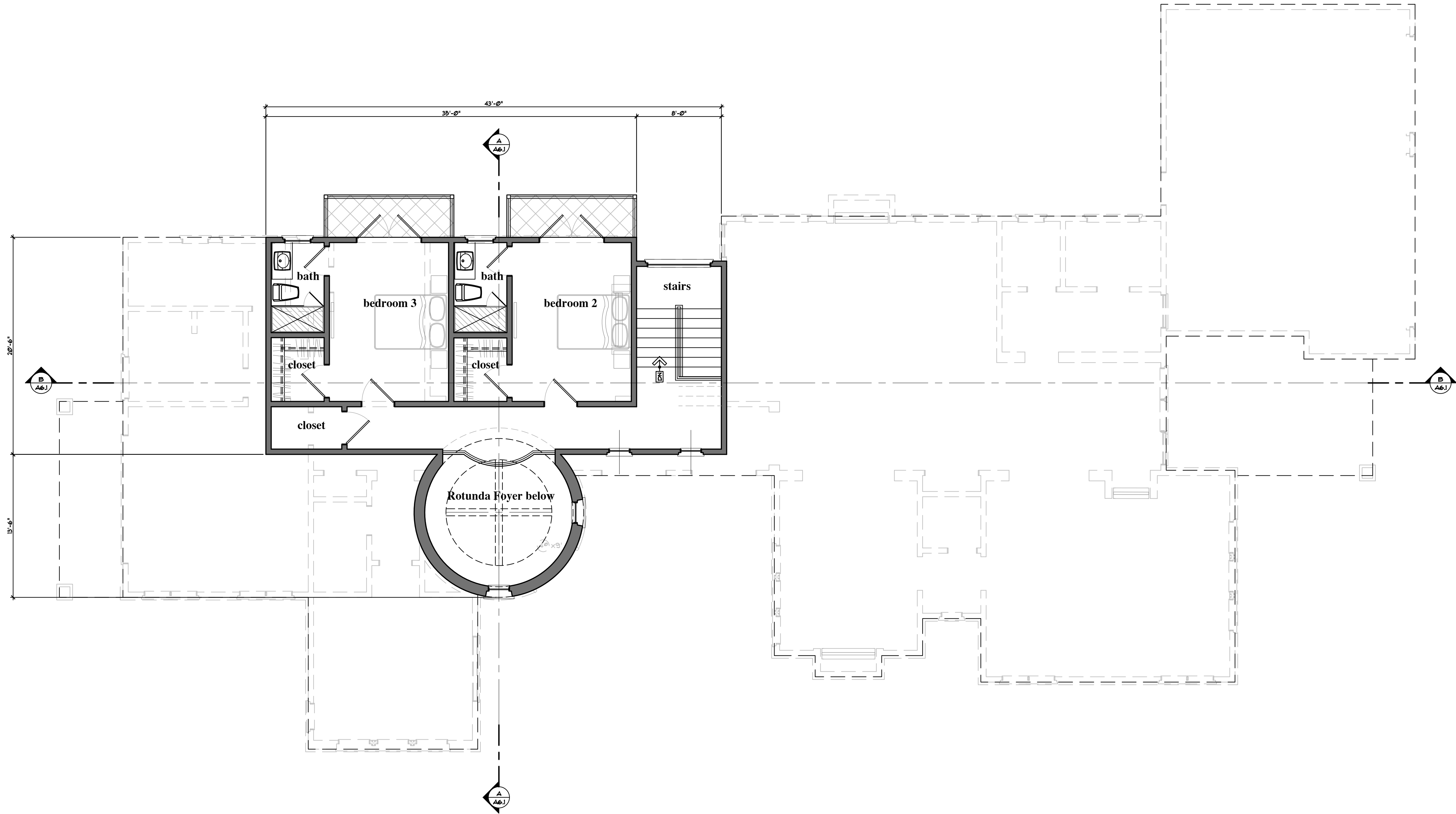
DRAWING TITLE	Entry Level Floor Plan
JOB TITLE	Private Residence
JOB ADDRESS	Parcel #20 San Martin Ave. San Martin, California 95046

DATE	Dec 03, 2024
SCALE	As Noted
PROJECT MANAGER	E. Stotler
DRAWN	Maw
JOB NO.	2305
SHEET	

A2



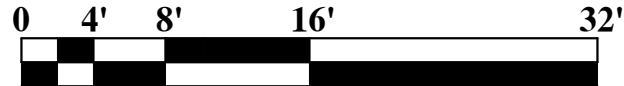
C:\Dropbox\Projects\2023\2305-Banerjee\2305-a3.dwg, 12/20/2024 4:19:43 PM



2nd Level Floor Plan  
1054 sqft Living Space

scale: 3/16"=1'-0"

scale: 3/16"=1'-0"



LOS ALTOS, CALIFORNIA 94022  
PHONE: (408) 309-2163  
Email: Scott@StotlerDesignGroup.com

WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL TAKE PREFERENCE OVER ANY WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER ANY SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PARIED AND PUBLICATION IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

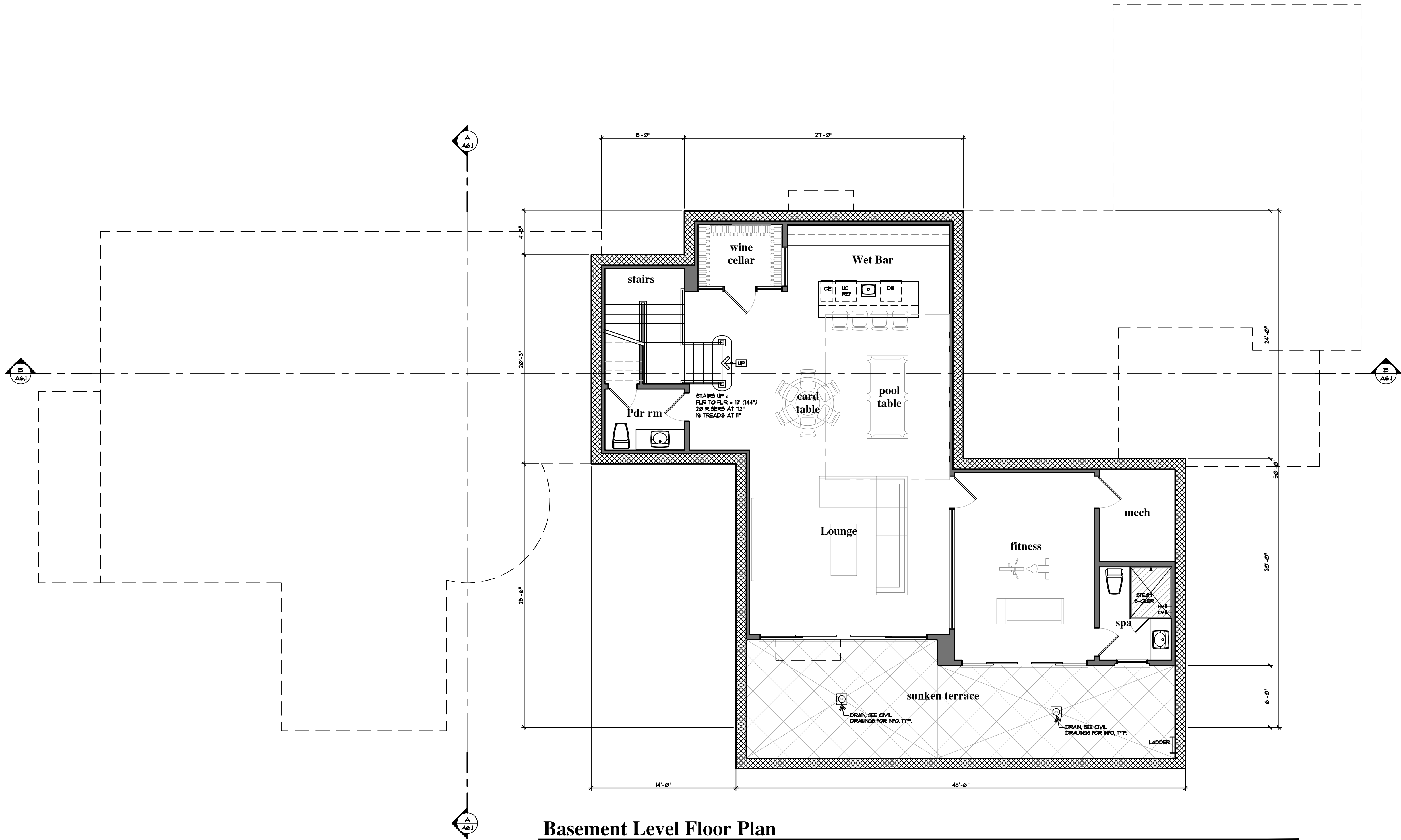
REVISIONS	12-03-24
Arch Review	

DRAWING TITLE	2nd Level Floor Plan
JOB TITLE	Private Residence
JOB ADDRESS	Parcel #20 San Martin Ave. San Martin, California 95046

DATE	Dec 03, 2024
SCALE	As Noted
PROJECT MANAGER	B. Stotler
DRAWN	Maw
JOB NO.	2305
SHEET	

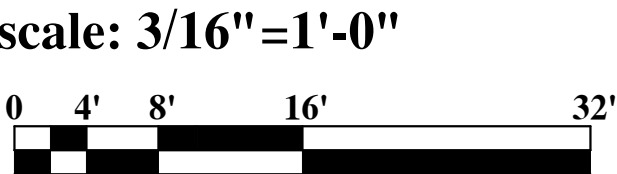
A3





**Basement Level Floor Plan**  
1499 sqft Living Space

scale: 3/16"=1'-0"



scale: 3/16"=1'-0"



LOS ALTOS, CALIFORNIA 94022  
PHONE: (408) 309-2163  
Email: Scott@StotlerDesignGroup.com

WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PARED AND PUBLICATION IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS	
12-03-24	Arch Review

DRAWING TITLE	
Basement Level Floor Plan	
JOB TITLE	Private Residence
JOB ADDRESS	Parcel #20 San Martin Ave. San Martin, California 95046

DATE	Dec 03, 2024
SCALE	As Noted
PROJECT MANAGER	E. Stotler
DRAWN	Maw
JOB NO.	2305
SHEET	

A4



C:\Dropbox\Projects\2023\2305-Banefje\2305-a5.dwg, 12/20/2024 4:19:47 PM



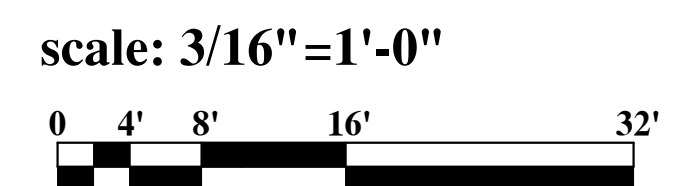
**Exterior Elevation - Front**

scale: 3/16"=1'-0"



**Exterior Elevation - RightSide**

scale: 3/16"=1'-0"



LOS ALTOS, CALIFORNIA 94022  
PHONE: (408) 309-2163  
Email: Scott@StotlerDesignGroup.com

WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SPECIFICATIONS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PARIED AND PUBLICATION IN PART, IS PROHIBITED. TITLE TO THESE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF STOTLER DESIGN GROUP, INC. THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS	
12-03-24	Arch Review

Exterior Elevations	
Private Residence	
Parcel #20 San Martin Ave. San Martin, California 95046	
DRAWING TITLE	JOB TITLE
JOB ADDRESS	JOB NO.

DATE	Dec 03, 2024
SCALE	As Noted
PROJECT MANAGER	E. Stotler
DRAWN	Maw
JOB NO.	2305
SHEET	

**A5.1**

C:\Dropbox\Projects\2023\2305-Banerjee\2305-as.dwg, 12/20/2024 4:19:45 PM



Exterior Elevation - Rear

scale: 3/16"=1'-0"



Exterior Elevation - Leftside

scale: 3/16"=1'-0"



LOS ALTOS, CALIFORNIA 94022  
PHONE: (408) 309-2163  
Email: Scott@StotlerDesignGroup.com

WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE PLANS AND SPECIFICATIONS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PROHIBITED IN ANY REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART. IT IS PROHIBITED TO REPRODUCE OR PUBLISH ANY PART OF THESE PLANS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

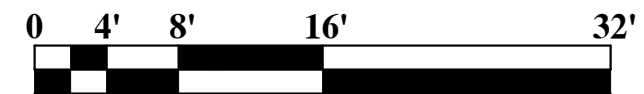
REVISIONS		12-03-24
Arch Review		

Exterior Elevations		
Private Residence		
Parcel #20 San Martin Ave. San Martin, California 95046		
DRAWING TITLE	JOB TITLE	JOB ADDRESS

DATE	Dec 03, 2024
SCALE	As Noted
PROJECT MANAGER	E. Stotler
DRAWN	Maw
JOB NO.	2305
SHEET	

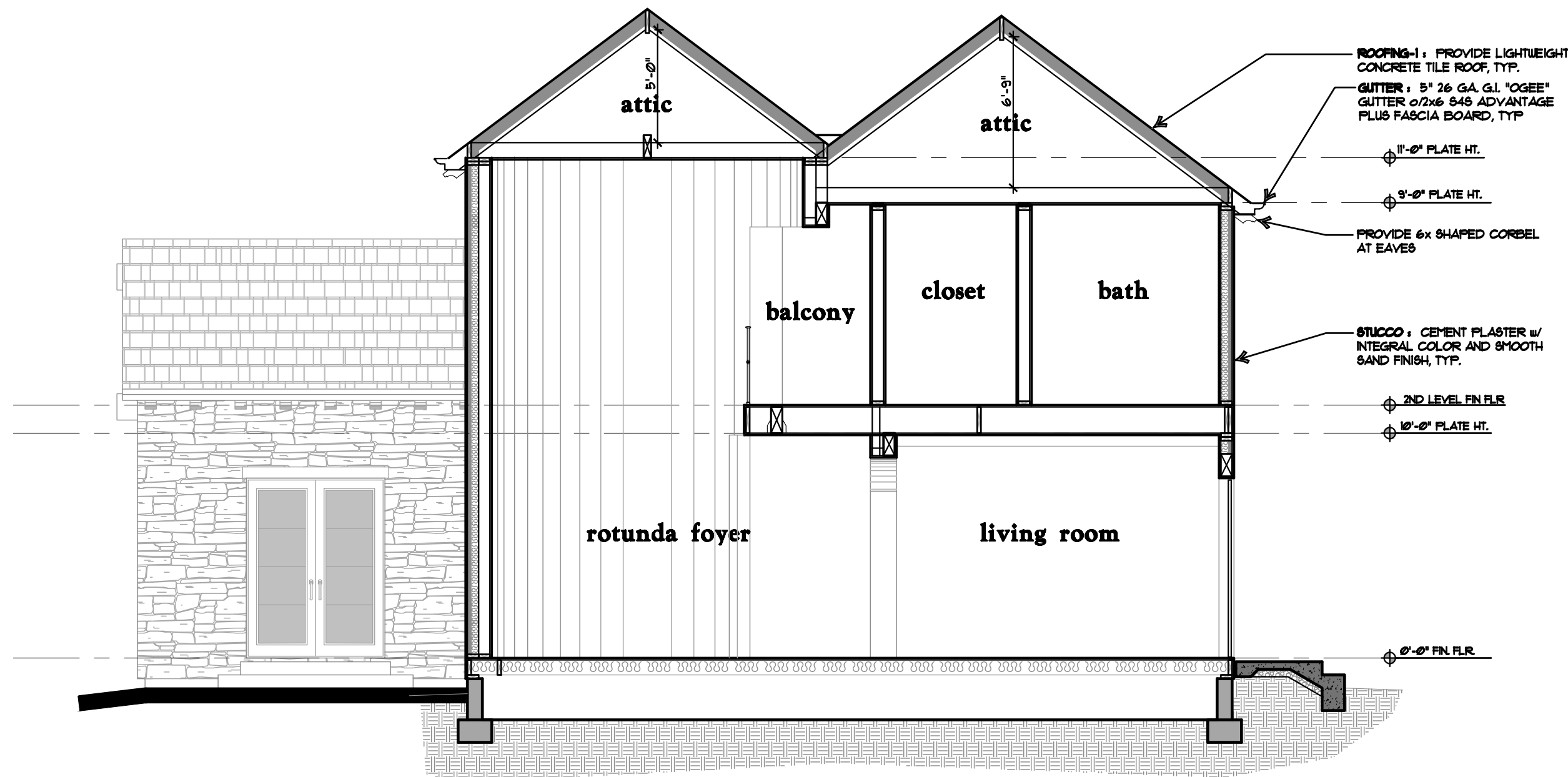
A5.2

scale: 3/16"=1'-0"



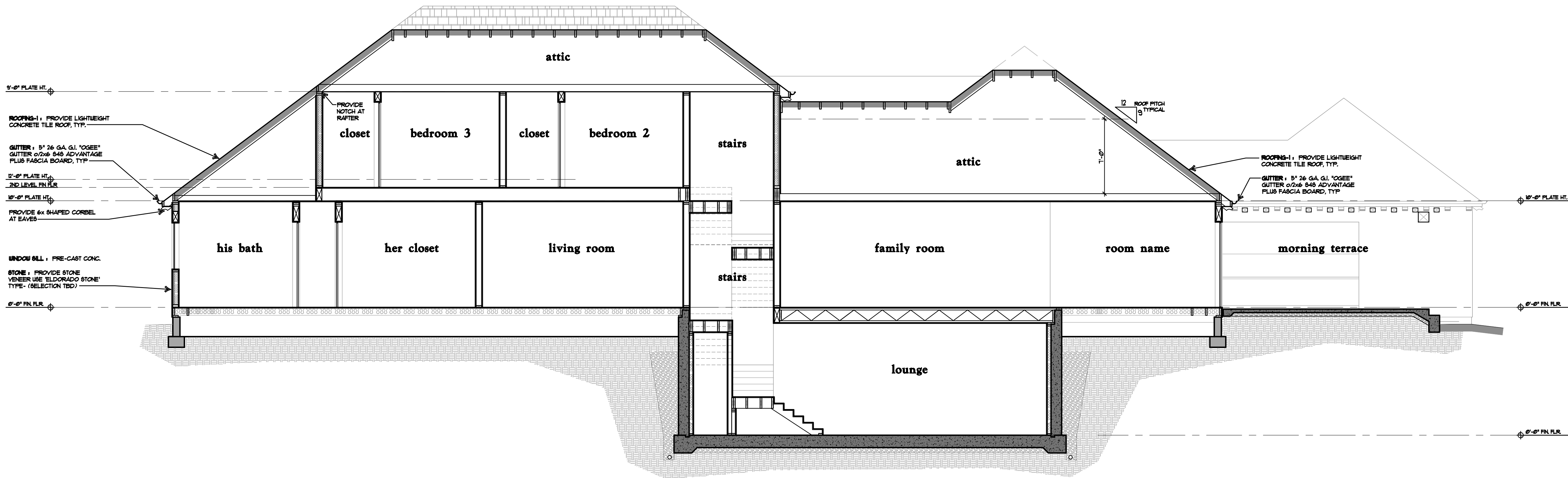


C:\Dropbox\Projects\2023\2305-Banerjee\2305-ab.dwg, 12/20/2024 4:19:53 PM



Cross Section - A

scale: 3/16"=1'-0"



Cross Section - B

scale: 3/16"=1'-0"



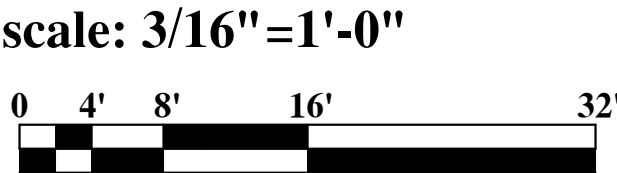
LOS ALTOS, CALIFORNIA 94022  
PHONE: (408) 309-2163  
Email: Scott@StotlerDesignGroup.com

WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PARED AND PUBLICATION IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE DESIGNER. THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

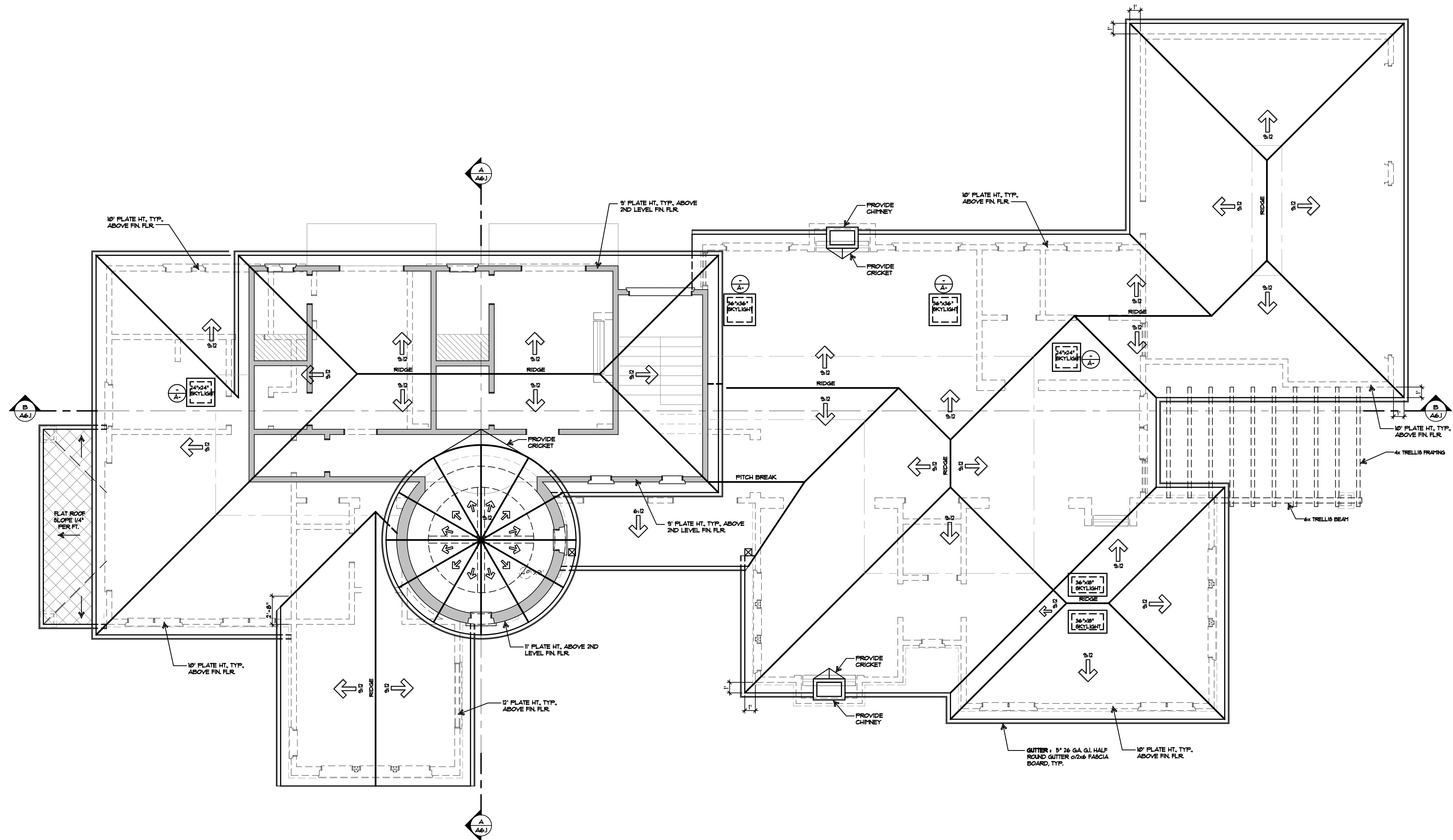
REVISIONS	
12-03-24	Arch Review

Cross Sections	
Private Residence	
Parcel #20 San Martin Ave. San Martin, California 95046	
DRAWING TITLE	JOB TITLE
JOB ADDRESS	JOB NO.

DATE	Dec 03, 2024
SCALE	As Noted
PROJECT MANAGER	B. Stotler
DRAWN	Maw
JOB NO.	2305
SHEET	A6



C:\Dropbox\Projects\2023\2305-Banerjee\2305-a7.dwg, 12/20/2024 4:19:56 PM



Roof Plan

scale: 3/16"=1'-0"

GENERAL ROOF PLAN NOTES:

THIS PROJECT IS LOCATED WITHIN THE DESIGNATED "UI" ZONE ( WILDLAND-URBAN INTERFACE ) FIRE ZONE. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF CRC R321 ( CALIFORNIA RESIDENTIAL CODE ) & CBC CHAPTER 1A CALIFORNIA BUILDING CODE , REFER TO "WILDLAND-URBAN INTERFACE NOTES" ON SHEET TL.

1ST LEVEL PLATE HEIGHT TO BE 10'-1", UNO.  
2ND LEVEL PLATE HEIGHT TO BE 9'-1", UNO.

ROOF SLOPE SHALL BE 9:12, UNO.

OVERHANGS ARE TO BE 12" AT EAVES & 12" AT RAKES, UNO.

ARROWS INDICATE DIRECTION OF ROOF SLOPE.

ROOFING-1 : LIGHTWEIGHT CONCRETE TILE ROOF, CLASS "A" MFG'D BY REDLAND OR EQUAL, ASTM C167, ASTM E108, INSTALL PER MFG'S SPEC'S, OVER CLASS "A" UNDERLAYMENT : #30 FELT OR (2)-LAYER #15 FELT o/ 1/2" PLYWOOD SHEATHING w/8d # 6" O.C.E. & 12"OCF, REFER TO STRUCTURAL DRAWINGS FOR PLYUD AND NAILING SPEC'S.

GUTTER : 5" 26 GA. G.I. OGEE GUTTER o/2x6 S4S ADVANTAGE PLUS FASCIA BOARD, TYPICAL. PROVIDE SCREEN TO PROTECT FROM LEAF ACCUMULATION. CRC R311.3.4 (W.U.I. REQUIREMENT)

scale: 3/16"=1'-0"



LOS ALTOS, CALIFORNIA 94022  
PHONE: (408) 309-2163  
Email: Scott@StotlerDesignGroup.com

WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY ORAL STATEMENTS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE LIMITED TO THE PROJECT AND IN PART, IS PROHIBITED. TITLE TO THESE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF STOTLER DESIGN GROUP, INC. THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS	12-03-24
Arch Review	

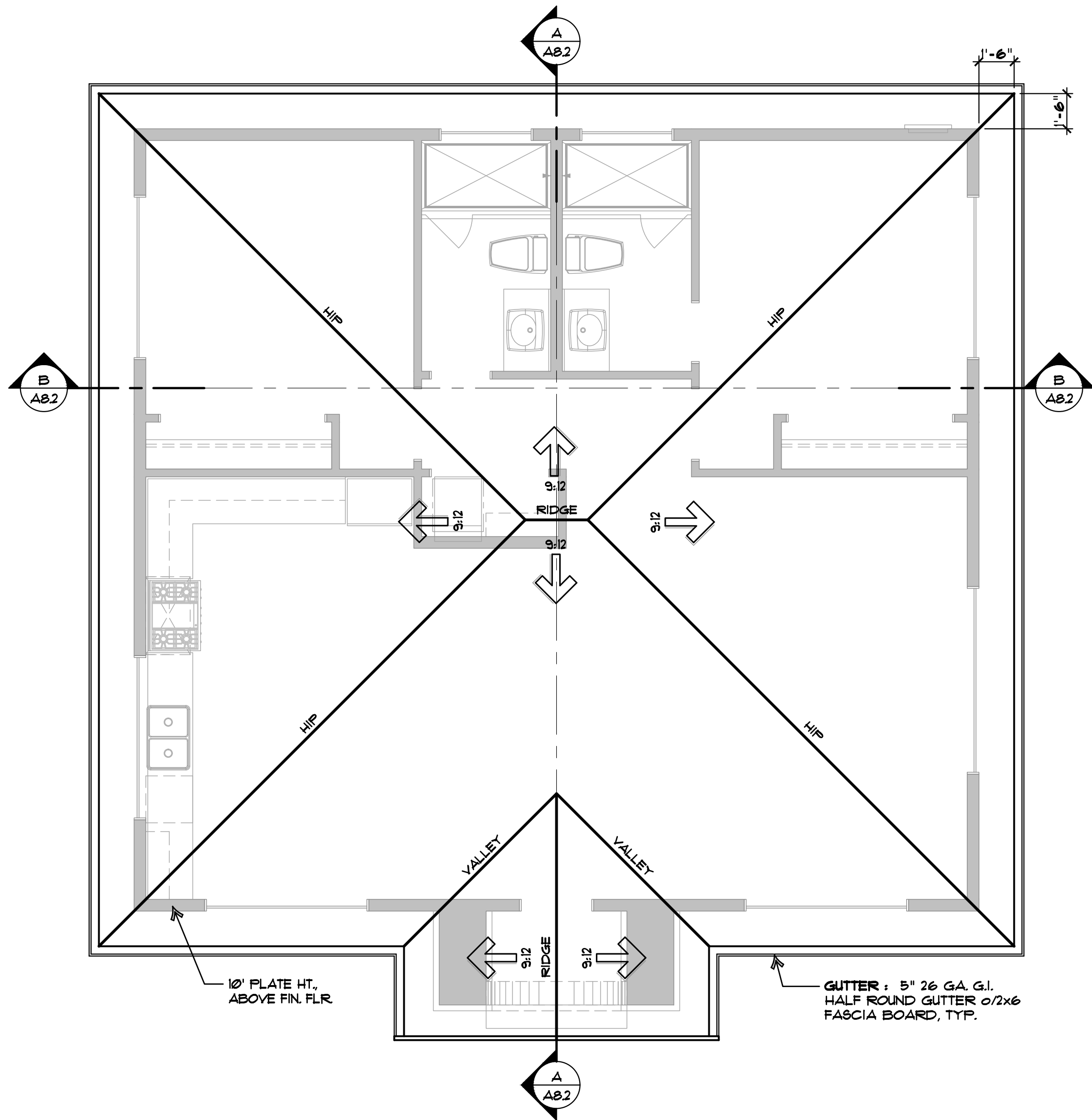
DRAWING TITLE	Roof Plan
JOB TITLE	Private Residence
JOB ADDRESS	Parcel #20 San Martin Ave. San Martin, California 95046

DATE	Dec 03, 2024
SCALE	As Noted
PROJECT MANAGER	B. Stotler
DRAWN	Maw
JOB NO.	2305
SHEET	

A7



C:\Dropbox\Projects\2023\2305-Banerjee\2305-ad.dwg, 12/20/2024 4:19:58 PM



## Roof Plan

scale: 1/4"=1'-0"

### GENERAL ROOF PLAN NOTES:

THIS PROJECT IS LOCATED WITHIN THE DESIGNATED "UI" ZONE ( WILDLAND-URBAN INTERFACE ) FIRE ZONE. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF CRC R321 (CALIFORNIA RESIDENTIAL CODE) + CBC CHAPTER 1A CALIFORNIA BUILDING CODE , REFER TO "WILDLAND-URBAN INTERFACE NOTES" ON SHEET TL.

1ST LEVEL PLATE HEIGHT TO BE 10'-1", UNO.  
2ND LEVEL PLATE HEIGHT TO BE 9'-1", UNO.

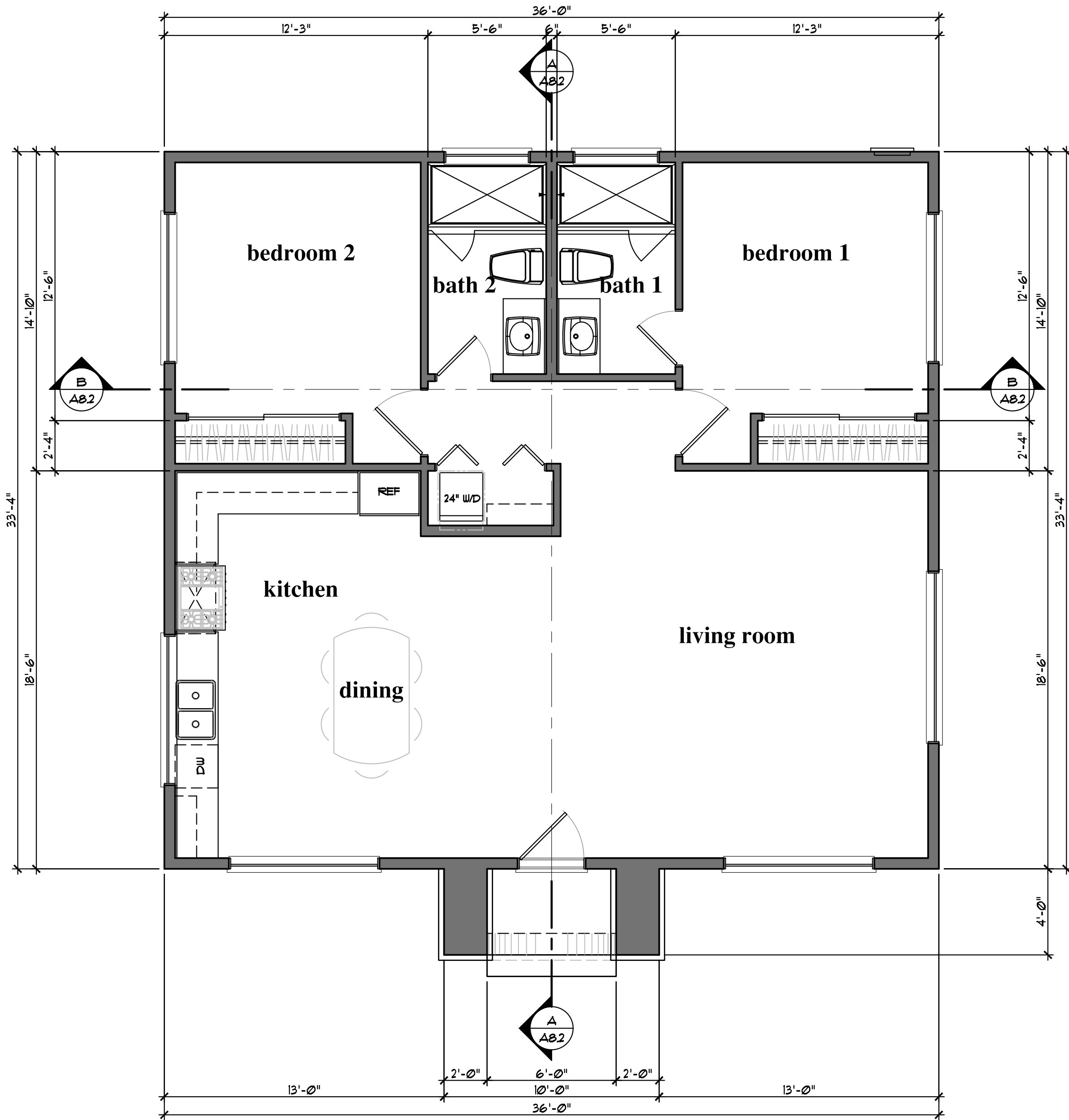
ROOF SLOPE SHALL BE 9:12, UNO.

OVERHANGS ARE TO BE 12" AT EAVES + 12" AT RAKES, UNO.

ARROWS INDICATE DIRECTION OF ROOF SLOPE.

**ROOFING-1:** LIGHTWEIGHT CONCRETE TILE ROOF, CLASS "A" MFG'D BY REDLAND OR EQUAL, ASTM C167, ASTM E108, INSTALL PER MFG'S SPEC'S, OVER CLASS "A" UNDERLAYMENT, 90 FELT OR (2)-LAYER #5 FELT o/ 1/2" PLYWOOD SHEATHING w/8d # 6" O.C.E. + 12"O.C.F, REFER TO STRUCTURAL DRAWINGS FOR PLYUD AND NAILING SPEC'S.

**GUTTER:** 5" 26 GA. G.I. OGEE GUTTER o/2x6 S4S ADVANTAGE PLUS FASCIA BOARD, TYPICAL. PROVIDE SCREEN TO PROTECT FROM LEAF ACCUMULATION. CRC R311.3.4 (WUI REQUIREMENT)

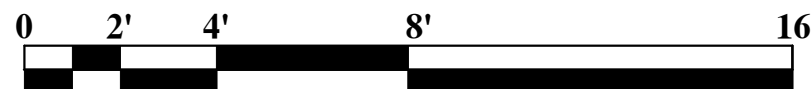


## Floor Plan

1200 sqft living space

scale: 1/4"=1'-0"

scale: 1/4"=1'-0"



LOS ALTOS, CALIFORNIA 94022  
PHONE: (408) 309-2163  
Email: Scott@StotlerDesignGroup.com

WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PARED AND PUBLICATION IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE DESIGNER. THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS	12-03-24
Arch Review	

DRAWING TITLE	ADU - Floor Plan & Roof Plan
JOB TITLE	Private Residence
JOB ADDRESS	Parcel #20 San Martin Ave. San Martin, California 95046

DATE	Dec 03, 2024
SCALE	As Noted
PROJECT MANAGER	E. Stotler
DRAWN	Maw
JOB NO.	2305
SHEET	

A8.1



LOS ALTOS, CALIFORNIA 94022  
PHONE: (408) 309-2163  
Email: Scott@StotlerDesignGroup.com

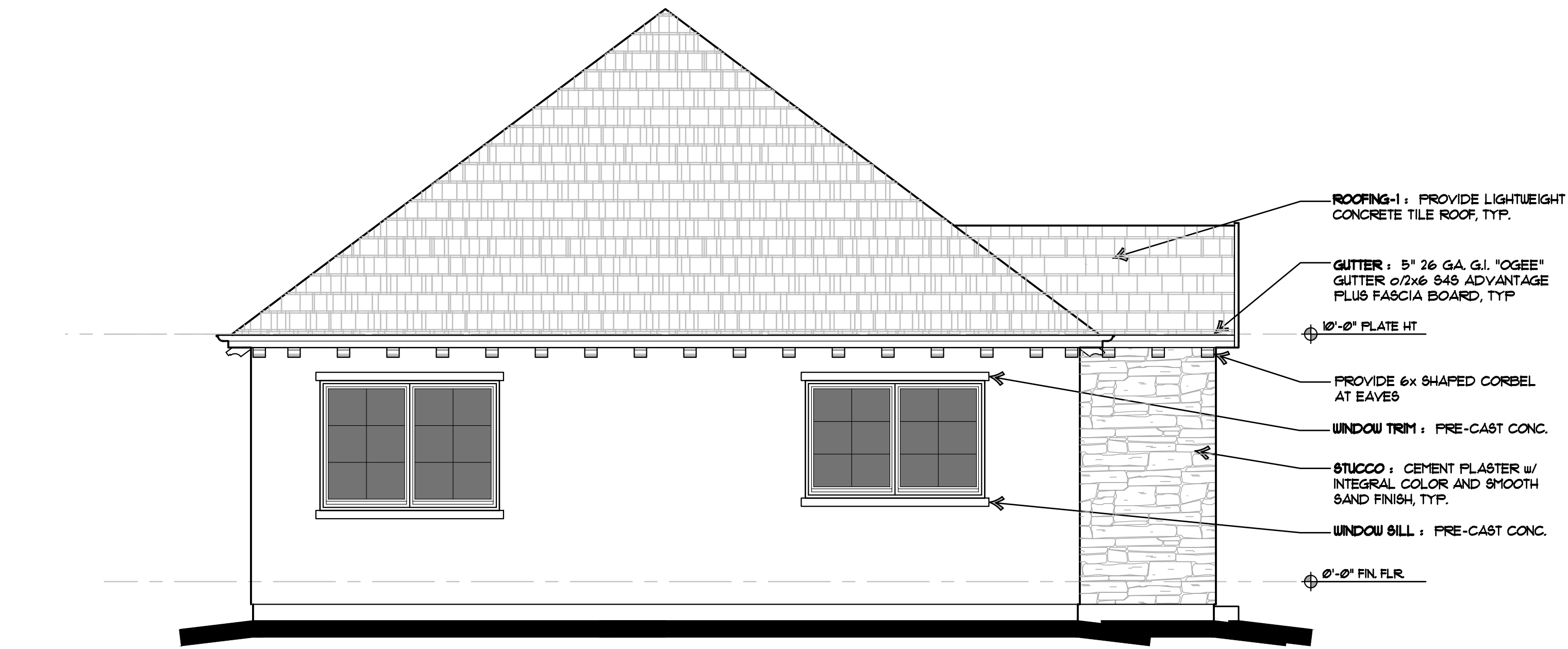
WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PARED AND PUBLICATION IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF STOTLER DESIGN GROUP, INC. AND SHALL BE REPRODUCED OR PUBLISHED BY ANY METHOD IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF STOTLER DESIGN GROUP, INC. THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS	DATE	BY	REVISION
	12-03-24	Arch	Review

DRAWING TITLE	ADU - Exterior Elevations
JOB TITLE	Private Residence
JOB ADDRESS	Parcel #20 San Martin Ave. San Martin, California 95046

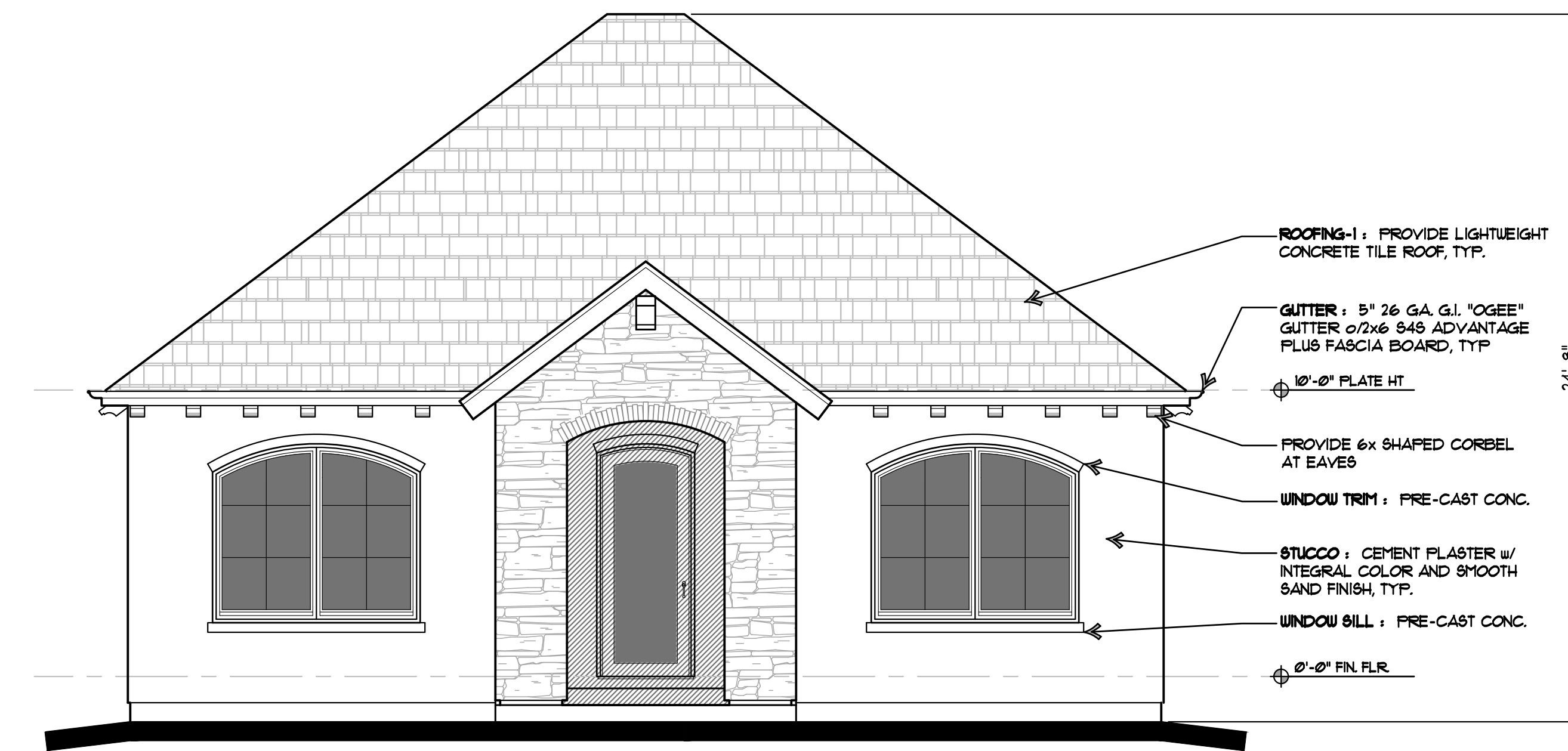
DATE	Dec 03, 2024
SCALE	As Noted
PROJECT MANAGER	E. Stotler
DRAWN	Maw
JOB NO.	2305
SHEET	

A8.2



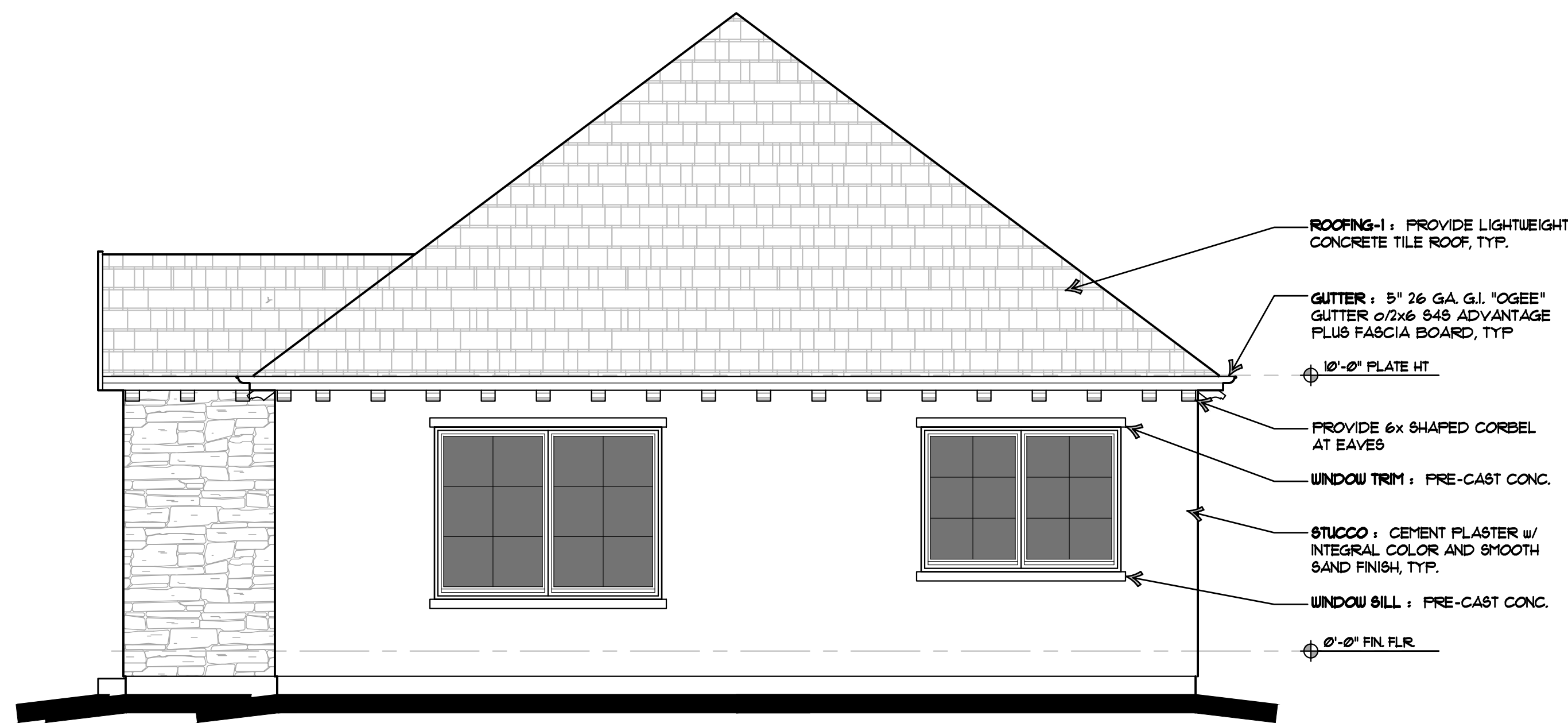
Exterior Elevation - Left Side

scale: 1/4"=1'-0"



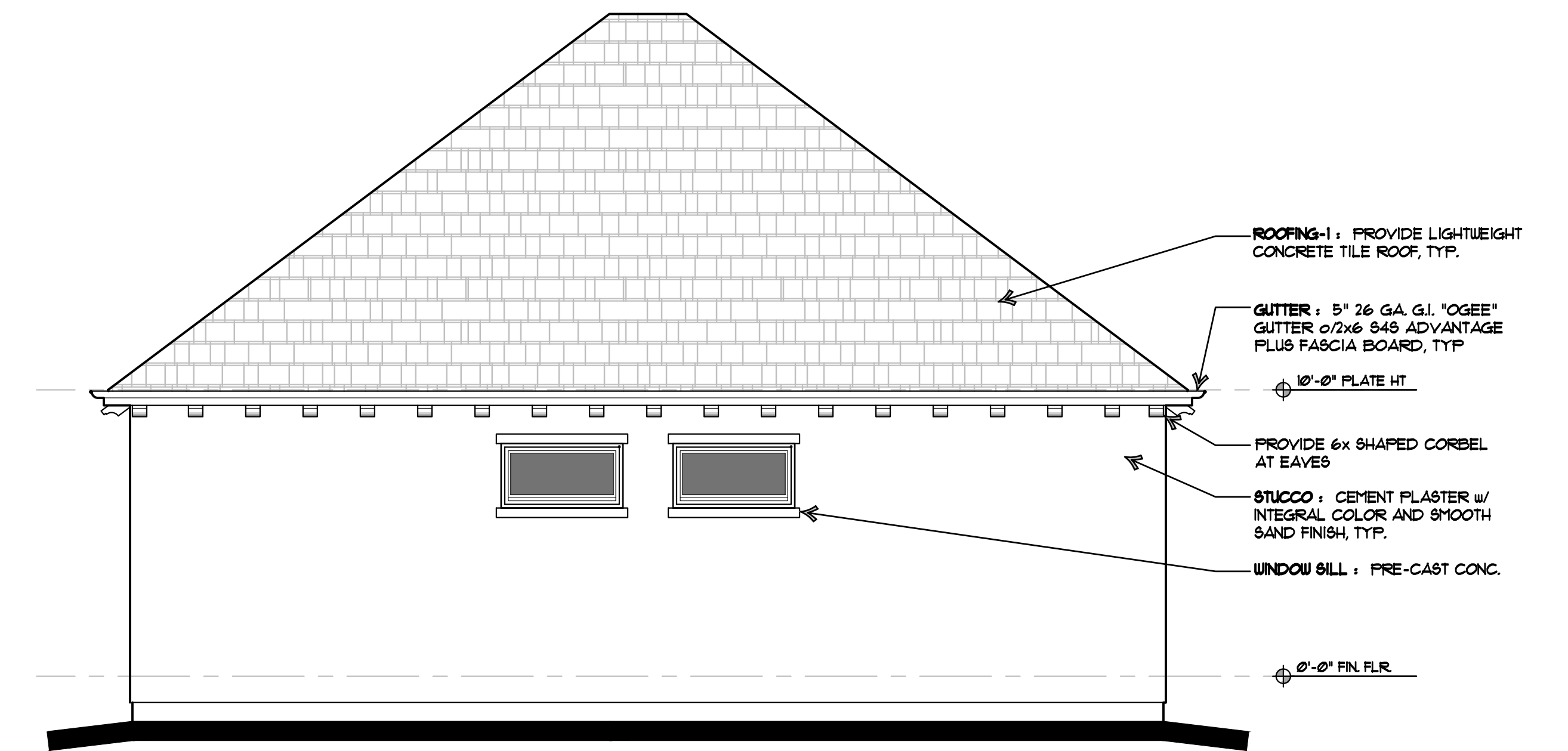
Exterior Elevation - Front

scale: 1/4"=1'-0"



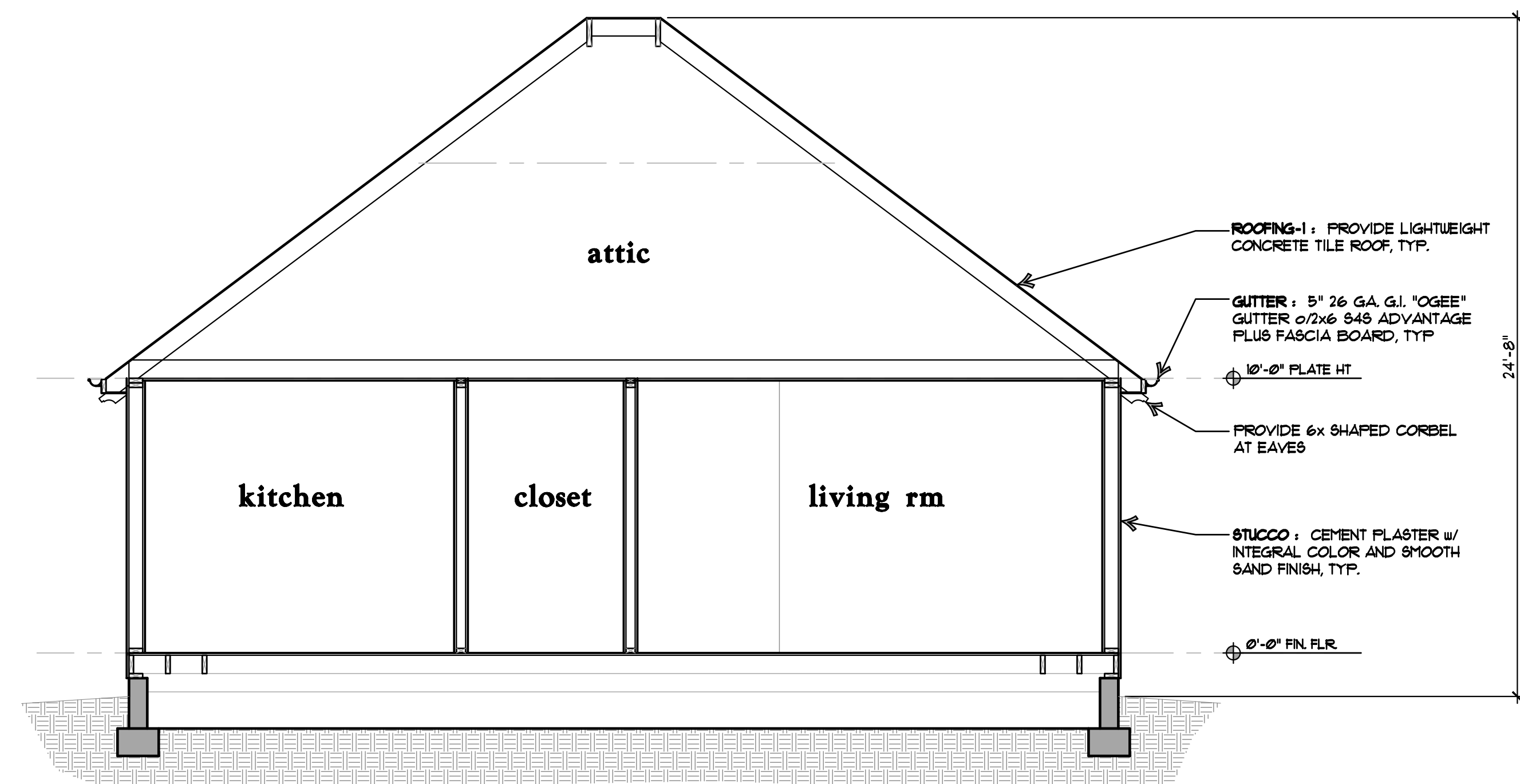
Exterior Elevation - Right Side

scale: 1/4"=1'-0"



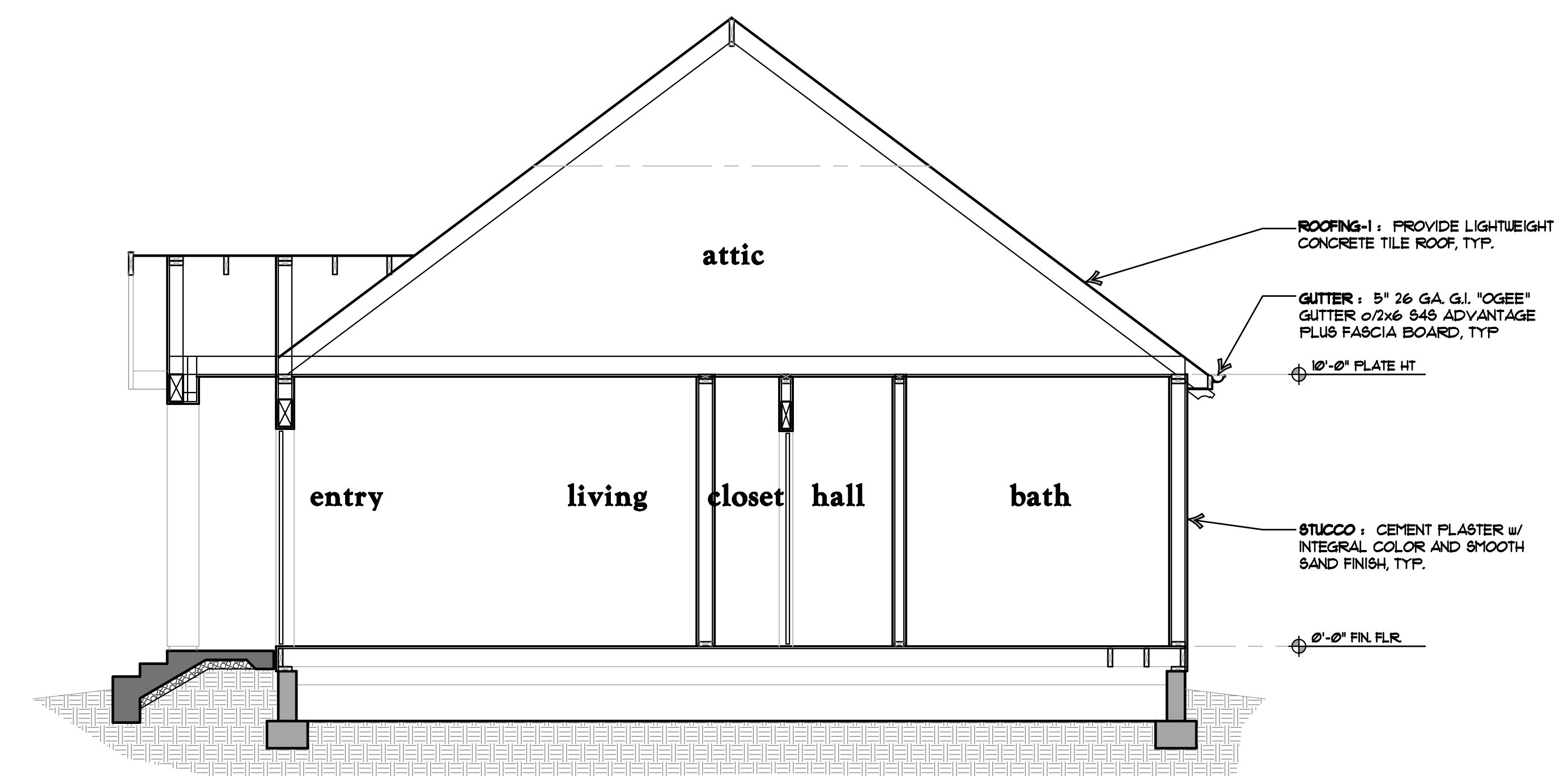
Exterior Elevation - Rear

scale: 1/4"=1'-0"



Exterior Elevation - Right Side

scale: 1/4"=1'-0"



Exterior Elevation - Rear

scale: 1/4"=1'-0"

