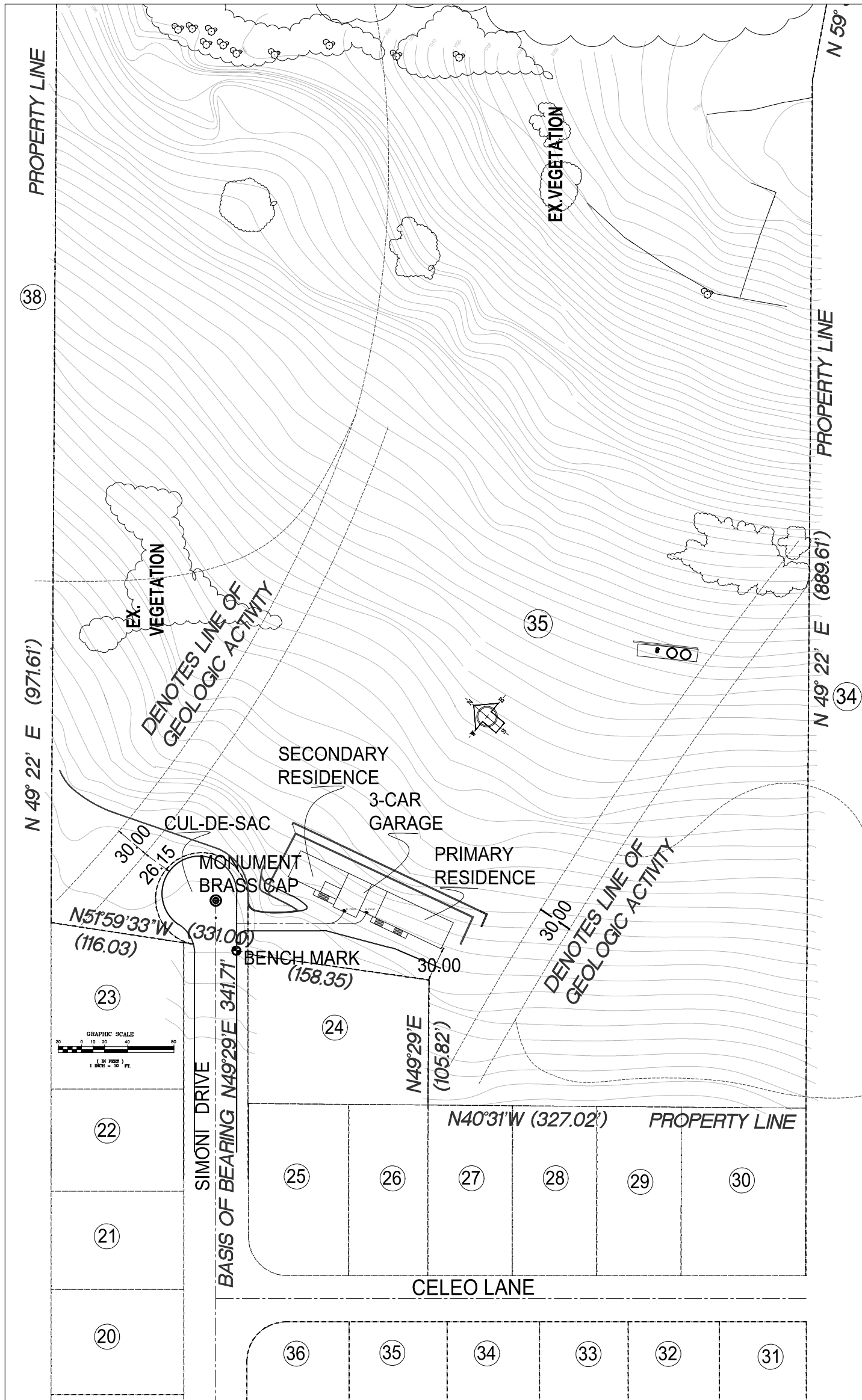
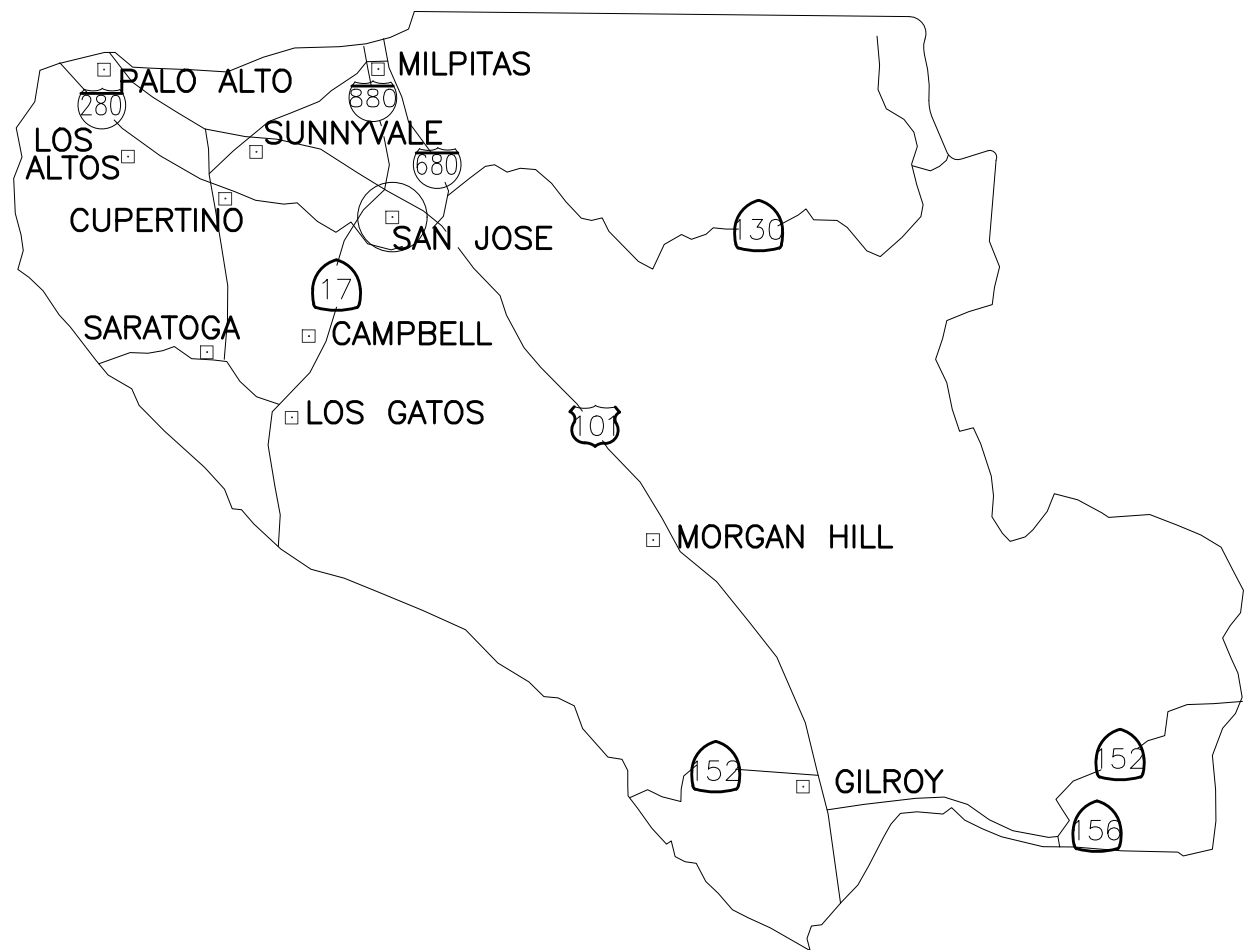


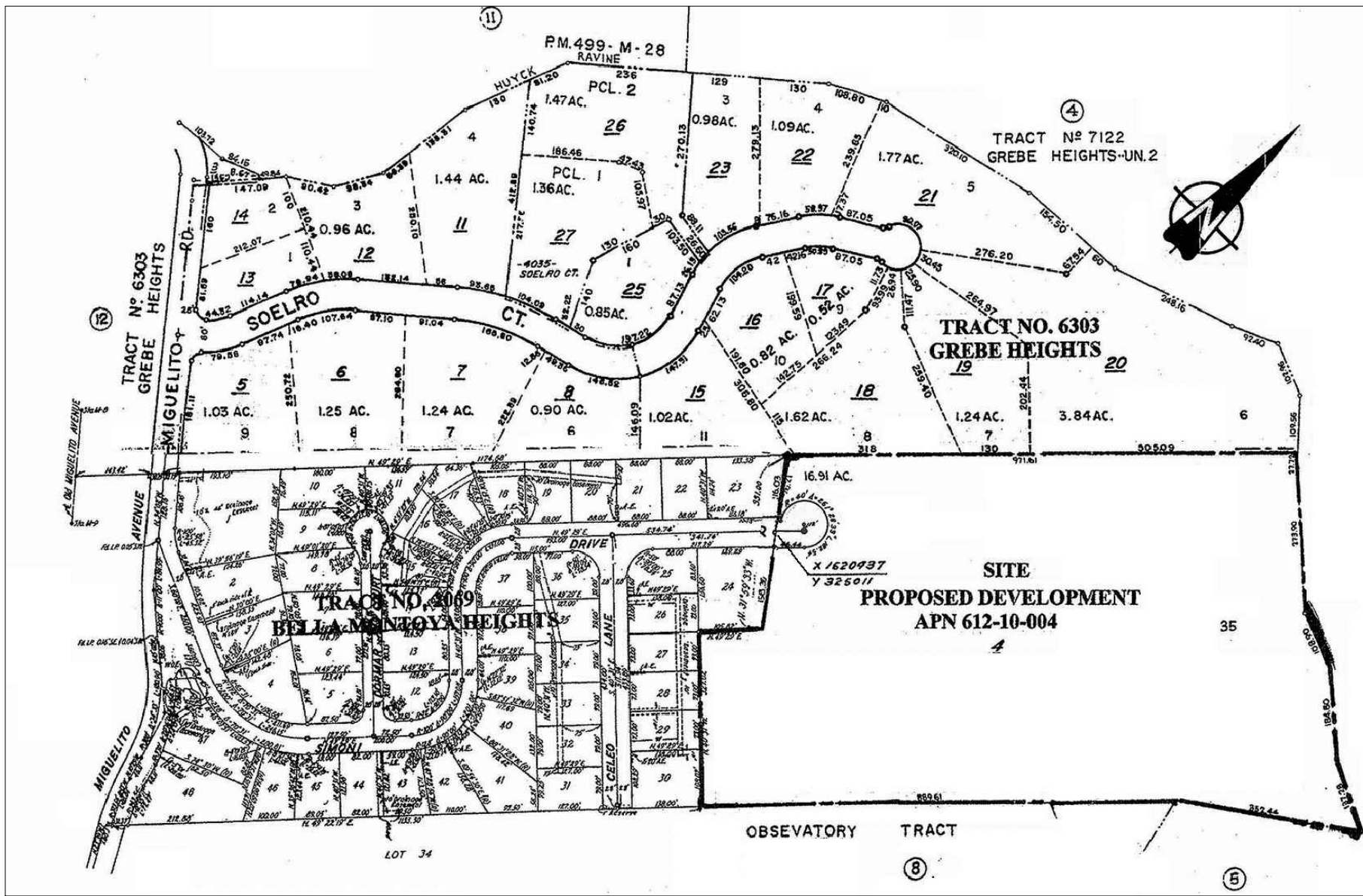
VANDAYSHIA R.E.I.C.  
IMPROVEMENT PLANS



KEY MAP  
SCALE: 1"=100'



COUNTY LOCATION MAP  
SCALE: N.T.S.



VICINITY MAP  
N.T.S.

DESCRIPTION	PERMITTED UNDER LDE04-6912G			TOTAL NEW GRADING			TOTAL GRADING TO BE LEGALIZED
	EXCAVATION	EMBANKMENT	BALANCE	EXCAVATION	EMBANKMENT	BALANCE	BALANCE
	V IN CY	V IN CY	V IN CY	V IN CY	V IN CY	V IN CY	V IN CY
STRUCTURE	3,131	124	-3,007	2,188	368	-1,820	1,187
DRIVEWAY	368	5	-363	18	249	231	594
CUL-DE-SAC	157	10	-147	0	253	253	400
WATER TANK				44	20	-24	-24
LANDSCAPE							
AREA 1				211	3	-208	-208
AREA 2				234	0	-234	-234
AREA 3				44	20	-24	-24
TOTAL	3,656	139	-3,517	2,739	913	-1,826	1,691

NOTE: EXCAVATED MATERIAL WILL BE EXPORTED FROM THE SITE: 3,517 CUBIC YARDS  
AREA 1: SOUTHEAST OF THE MAIN RESIDENCE  
AREA 2: THE EXPANDED PATHS ON THE NORTH SIDE OF THE PROPERTY AND ACCESSING THE WATER TANKS  
AREA 3: WATER TANK PAD

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS  
ISSUED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
ENCROACHMENT PERMIT NO. \_\_\_\_\_

COUNTY OF SANTA CLARA  
LAND DEVELOPMENT ENGINEERING & SURVEYING  
CONSTRUCTION PERMIT NO. \_\_\_\_\_  
GRADING PERMIT NO. \_\_\_\_\_  
ISSUED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED PLAN AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED 03/07/2024 FILE NO. 6912-49-75-04B-04G-07DR.

DATE 05/11/25

SIGNATURE  
*Tuong Xuan Tran*

C056209  
R.C.E. NO.  
12/31/26  
EXPIRATION DATE

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE \_\_\_\_\_

CONSTRUCTION / ENCROACHMENT / GRADING PERMIT

PERMIT(S) NO.: \_\_\_\_\_

FILE(S) NO.: \_\_\_\_\_

ISSUED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
LAND DEVELOPMENT ENGINEERING & SURVEYING  
DEVELOPMENT SERVICES OFFICE  
COUNTY OF SANTA CLARA

BASIS OF BEARINGS:

FOUND SURVEY MONUMENTS. RECORD INFORMATION WAS USED. PER RECORD MAP, BOOK:92 PAGE:40 WHICH IS FILED IN THE COUNTY OF SANTA CLARA RECORDER'S OFFICE.

BENCH MARK:

SITE BENCHMARK:  
SURVEY CONTROL SET MAG NAIL  
ELEVATION=733.92' (NAVD 88 DATUM)

PROJECT BENCHMARK:  
S.C.V.W.D. BENCHMARK #1149  
ELEVATION=410.52' (NAVD 88 DATUM)

LEGEND

PROPERTY LINE  
EASEMENT LINE  
CURB AND GUTTER  
SIDEWALK  
STANDARD HOODED INLET  
FIRE HYDRANTS  
ELECTROLIER  
WATER METER  
DOMESTIC WATER SERVICE  
SANITARY SEWER  
STORM SEWER  
SANITARY MANHOLE  
STORM MANHOLE  
DRIVEWAY  
HANDICAP RAMP  
REMOVE TREE

UG  
UT  
WV  
(E)  
(N)  
(P)

UNDERGROUND GAS LINE  
UNDERGROUND TELEPHONE LINE  
WATER VALVE  
HISTORICAL TOPO  
NEW  
PAD

ABBREVIATIONS

AB AGGREGATE BASE  
AC ASPHALT CONCRETE  
ACCP SPUN CONCRETE PIPE  
BFP BACK FLOW PREVENTER  
BLDG BUILDING  
BO BLOW OFF VALVE  
BW BOTTOM OF WALL  
CATV CABLE TELEVISION  
CB CATCH BASIN  
CIP CAST IRON PIPE  
CL CENTERLINE  
CONC CONCRETE  
COR CORNER  
DCDA DOUBLE CHECK DETECTOR ASSEMBLY  
DI DROP INLET/DITCH INLET  
DIP DUCTILE IRON PIPE  
DWY DRIVEWAY  
EP EDGE OF PAVEMENT  
ER END OF RETURN  
EX, EXIST EXISTING  
FF FINISH FLOOR  
FG FINISH GRADE  
FH FIRE HYDRANT  
FL FLOW LINE  
GB GRADE BREAK  
INV INVERT  
JP JOINT POLE  
LP LOW POINT  
MAX MAXIMUM  
MIN MINIMUM  
NG NATURAL GROUND  
PL PROPERTY LINE  
PSE PUBLIC SERVICE EASEMENT  
R/W RIGHT OF WAY  
SDMH STORM DRAIN MANHOLE  
SLB SLAB  
SSMH SANITARY SEWER MANHOLE  
STD STANDARD  
TC TOP OF CURB  
TW TOP OF WALL  
TYP TYPICAL

SHEET INDEX

C1	COVER SHEET
C2	GENERAL CONSTRUCTION SPECIFICATIONS
C3	SITE / SURVEY PLAN
C4	PLOT LAYOUT AND HORIZONTAL CONTROL
C5	GRADING AND DRAINAGE PLAN
C6	SECTIONS
C7	SECTIONS (CONT.)
C8	SECTIONS (CONT.)

ENGINEER'S NAME: TUONG XUAN TRAN

ADDRESS: 526 CALERO AVE, SAN JOSE, CA 95123

PHONE NO. (408) 425-4523

FAX NO. (408) 300-1027

Revision for As-Built Plan	APN 612-10-004	Sheet C1
Revision 2	Date	Co. File
Revision 3	Date	1 of 8

APPLICANT: VANDAYSHIA

ROAD: SIMONI DR.

COUNTY FILE NO.: PLN23-032-MOD1

PLAN # \_\_\_\_\_  
SHEET \_\_\_\_\_ OF \_\_\_\_\_

REVISED 4-24-2025



COUNTY OF SANTA CLARA  
GENERAL CONSTRUCTION SPECIFICATIONS

GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY GEI GEOTECHNICAL ENGINEERING INC., JOB # 111423A DATED FEBRUARY 26, 2004. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
- DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
- ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
- UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
- PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

- EXISTING TREES, ROOTS, AND FOREIGN MATERIAL WILL BE REMOVED FROM AREAS TO BE IMPROVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
  - TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
  - FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
- ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
- TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

GRADING

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
  - SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
  - NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
  - THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
  - MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL 2 HORIZONTAL TO 1 VERTICAL.

ESTIMATED VOLUME OF CUT	2,739	CUBIC YARDS
FILL	913	CUBIC YARDS
EXCAVATED MATERIAL WILL BE EXPORTED	1826	CUBIC YARDS
MAXIMUM DEPTH OF CUT	17	FEET
FILL	7	FEET
- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
- EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.
- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
  - ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
  - THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%
  - ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
  - THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
  - THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.

ACCESS ROADS AND DRIVEWAYS

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
- ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15% LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.

RETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
- SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
- PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
- ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
- ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
- ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
- ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND WHICH ARE SHOWN TO BE REMOVED. ANY OTHER SUCH TREES ARE NOT TO BE REMOVED UNLESS AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
- PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
- THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.

STREET LIGHTING

- PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

STORM DRAINAGE

- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY.
- DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
- WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
- UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
- THE COUNTY ENGINEERING INSPECTOR SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS PRIOR TO BACKFILL.

SANITARY SEWER

- ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

- CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (\_\_\_\_ WERE) (\_\_\_\_ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (^). THERE (\_\_\_\_ WERE) (\_\_\_\_ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL .

DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_

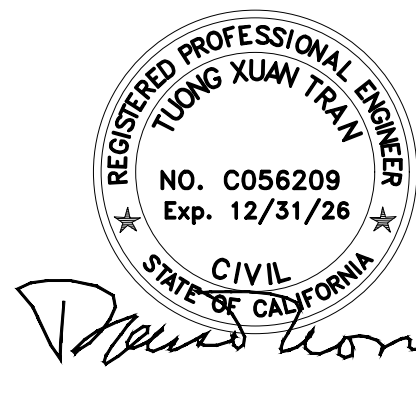
NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.



surveyors - engineers - architects

526 Calero Ave, San Jose, CA 95123  
Tel: (408) 425-4523  
Fax: (408 ) 226-3475  
Email: info@tranvu.com

SEAL:



DATE: 05-08-08

DRAWN BY: V.K.

CHECKED BY: T. T.

REVISION

DATE

REVISION

DATE

VANDAYSHIA ESTATE

APN 612-10-004

15900 SIMONI DRIVE  
SAN JOSE, CA 95127

OWNER

VANDAYSHIA R.E.I.C.

Phone: 408-829-2805

P.O. BOX 360577  
MILPITAS, CA 95036

SANTA CLARA COUNTY  
GENERAL CONSTRUCTION  
SPECIFICATIONS  
(Revision for As-Built Plan)

SCALE: AS SHOWN

PROJECT NO:

PC 32632

SHEET:

C2

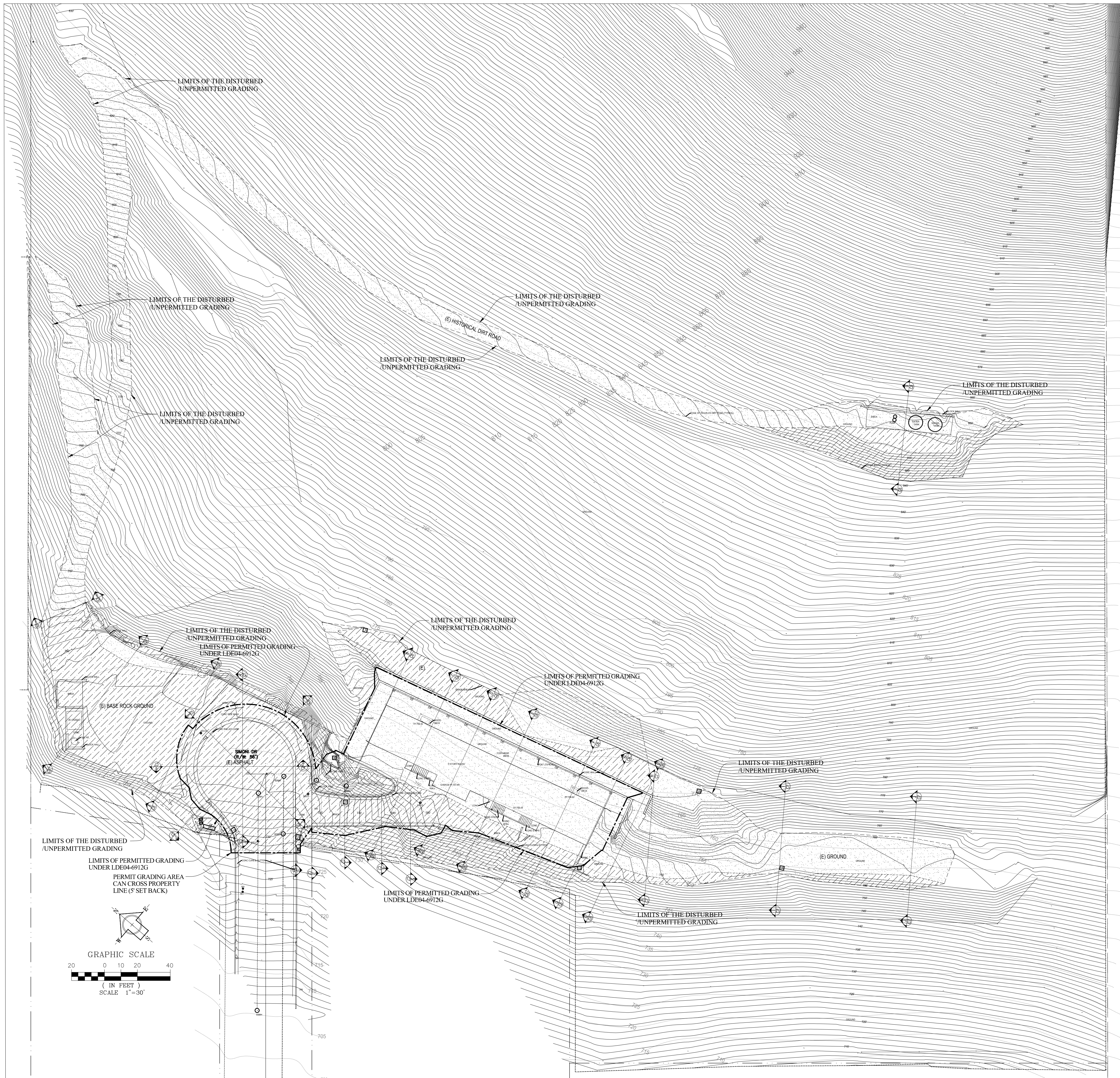
2 of 8

APPLICANT: VANDAYSHIA

ROAD: SIMONI DR.

COUNTY FILE NO.: PLN23-032-MOD1





**LEGENDS**

745 AS-BUILT CONTOURS  
--- PROPERTY LINE  
- - - EX-FENCE  
[Hatched Box] FILL AREA  
[Dotted Box] CUT AREA  
[Solid Box] RET. WALL  
--- PERMITTED GRADING UNDER LDE04-6912G LIMITS  
- - - UNPERMITTED GRADING LIMITS

**NOTES:**  
- PERMITTED GRADING AREA: 18,789 SF  
- MODIFY GRADING AREA: 36,436 SF

**SURVEY INFORMATION:**  
M&N CONSULTING SERVICES, INC.  
322 N. 18TH STREET  
SAN JOSE, CA 95112

Survey performed by: RYAN MIX, L.S. 8743  
Tel. (510) 543-7684  
Email: ryanmix@att.net

Survey updated date: 03/22/2023  
Site data: for As-Built Topographic survey of  
15900 Simoni Drive, San Jose, CA 95127

**TRANVU, LLC**  
surveyors - engineers - architects

526 Calero Ave, San Jose, CA 95123  
Tel: (408) 425-4523  
Fax: (408 ) 226-3475  
Email: info@tranvu.com



DATE: 05-08-08			
DRAWN BY: V.K.		CHECKED BY: T. T.	
REVISION	DATE	REVISION	DATE

**VANDAYSHIA ESTATE**  
**APN 612-10-004**

15900 SIMONI DRIVE  
SAN JOSE, CA 95127

**OWNER**  
**VANDAYSHIA R.E.I.C.**

Phone: 408-829-2805

P.O. BOX 360577  
MILPITAS, CA 95036

**SITE / SURVEY PLAN**  
**(Revision for As-Built Plan)**

**SCALE: AS SHOWN**

PROJECT NO:	SHEET:
PC 32632	C3 3 of 8





DATE: 05-08-08			
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SAN JOSE, CA 95127

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VANDAYSHIA R.E.I.C.

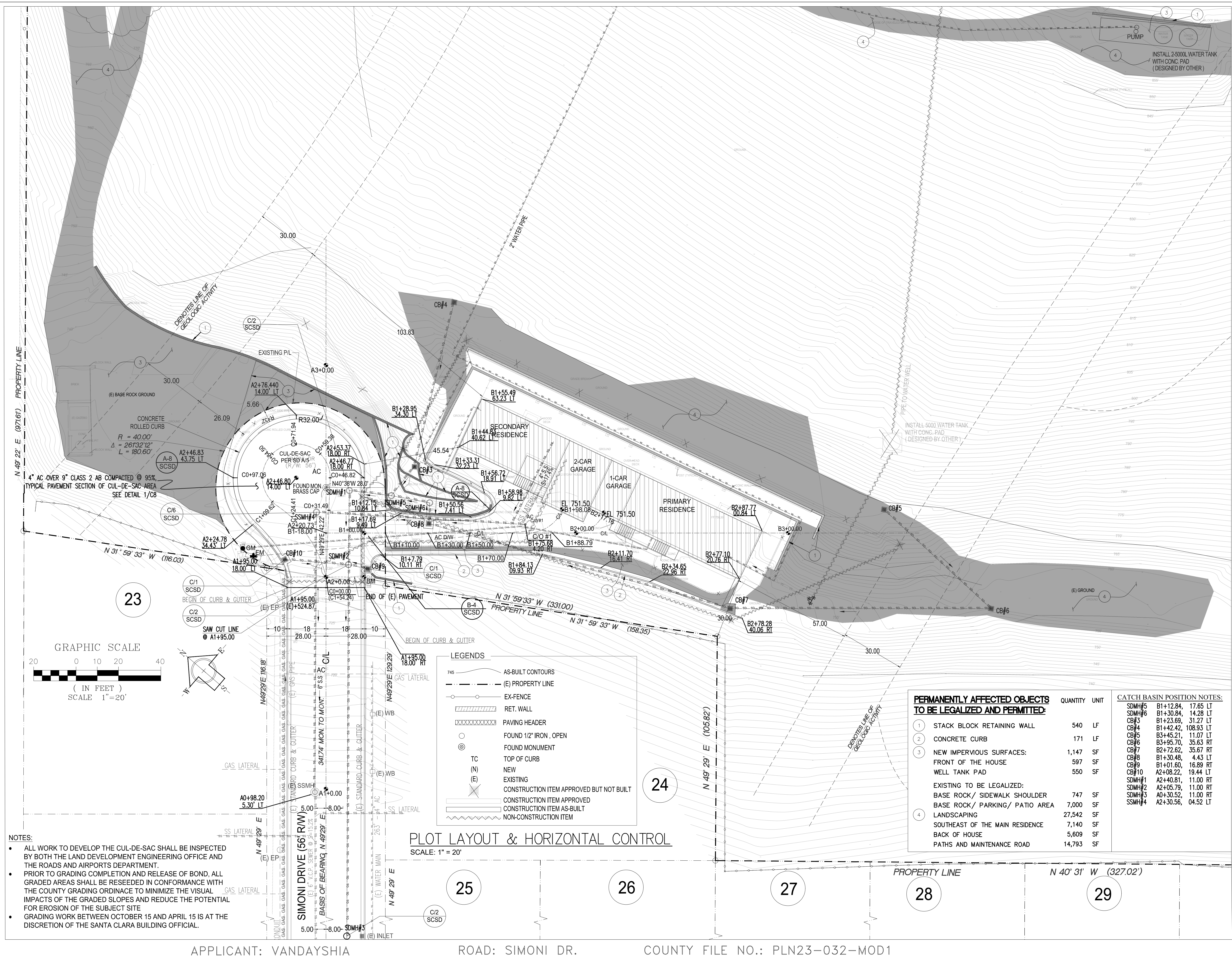
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P.O. BOX 360577  
MILPITAS, CA 95036

PLOT LAYOUT &  
HORIZONTAL CONTROL  
(Revision for As-Built Plan)

SCALE: AS SHOWN

PROJECT NO:	SHEET:
PC 32632	C4
	4 of 8





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VANDAYSHIA ESTATE  
APN 612-10-004

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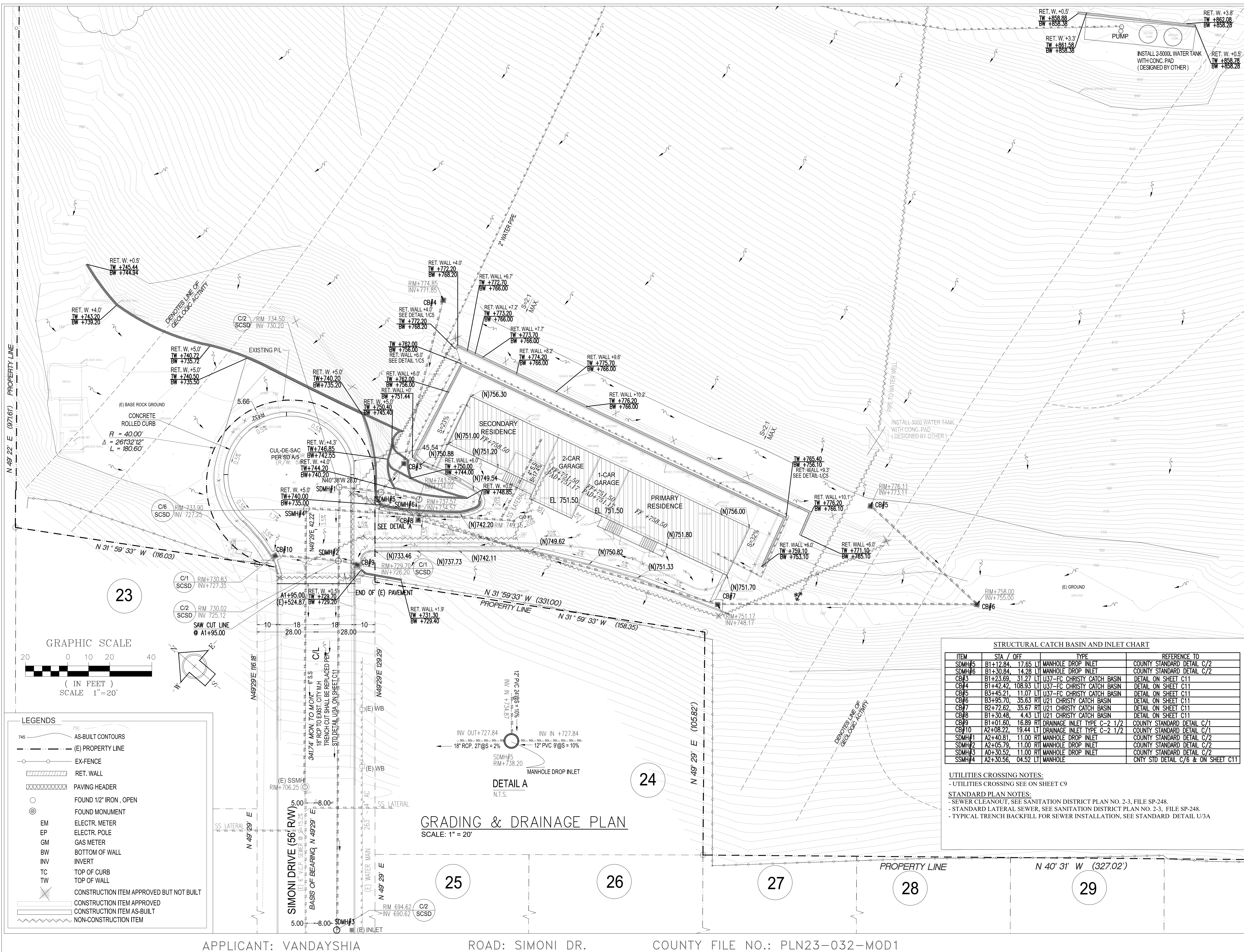
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MILPITAS, CA 95036

GRADING AND  
DRAINAGE PLAN  
(Revision for As-Built plan)

SCALE: AS SHOWN

PROJECT NO:	SHEET:
PC 32632	C5
	5 of 8

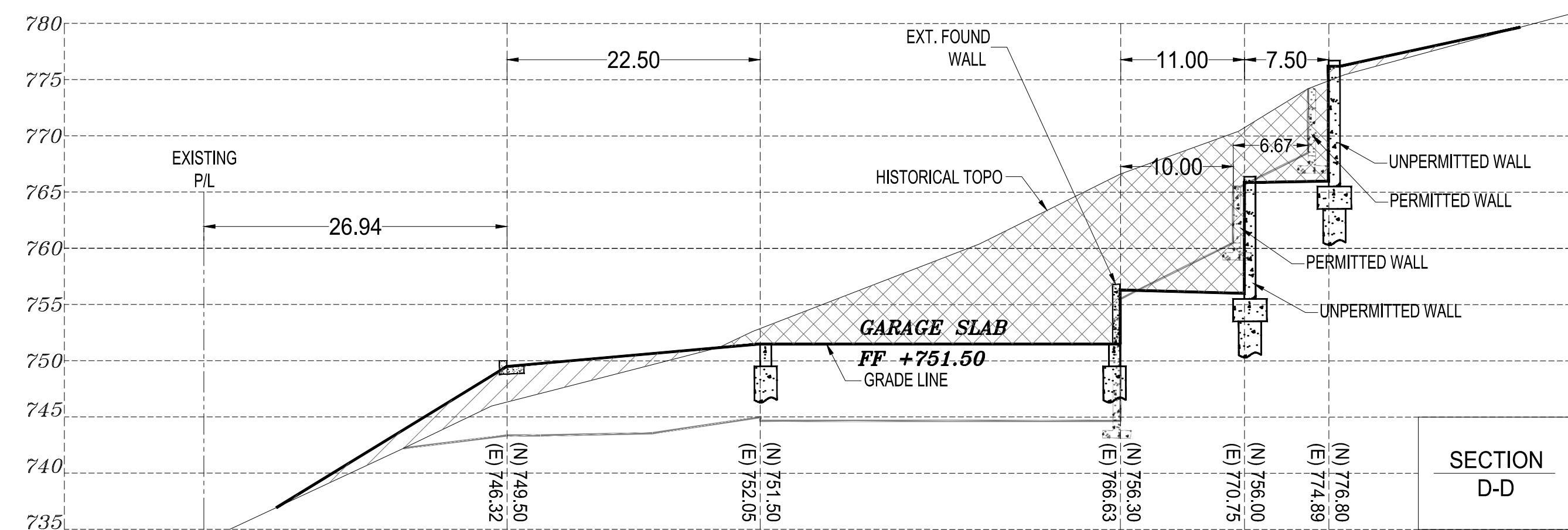
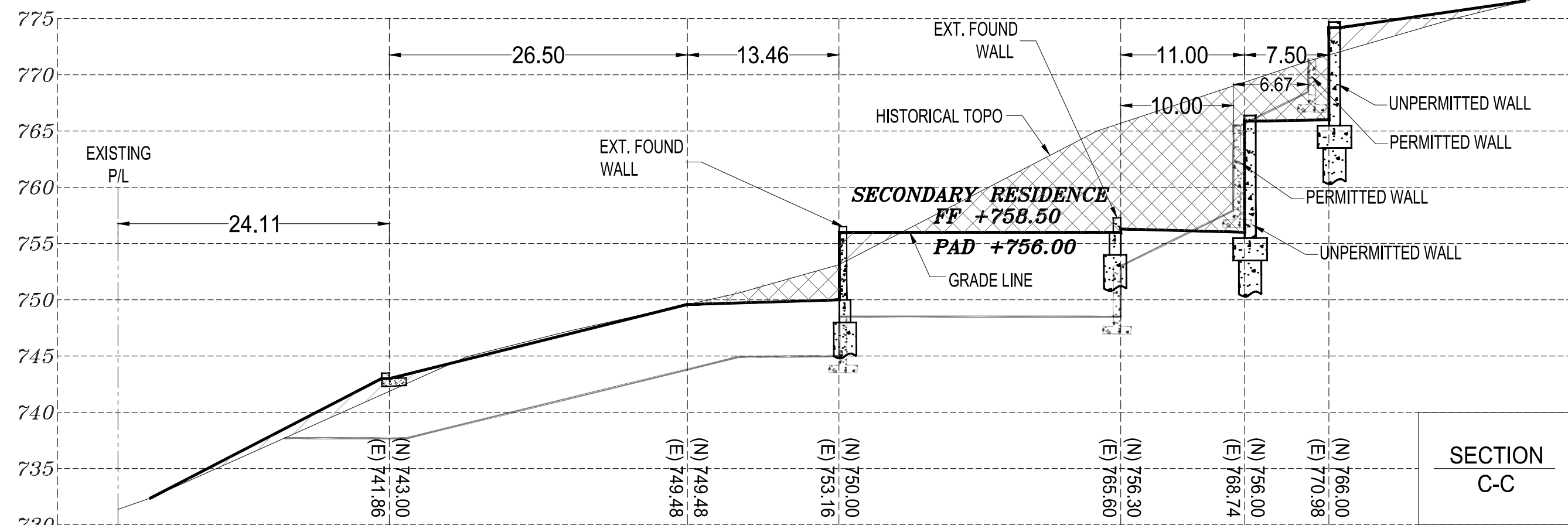
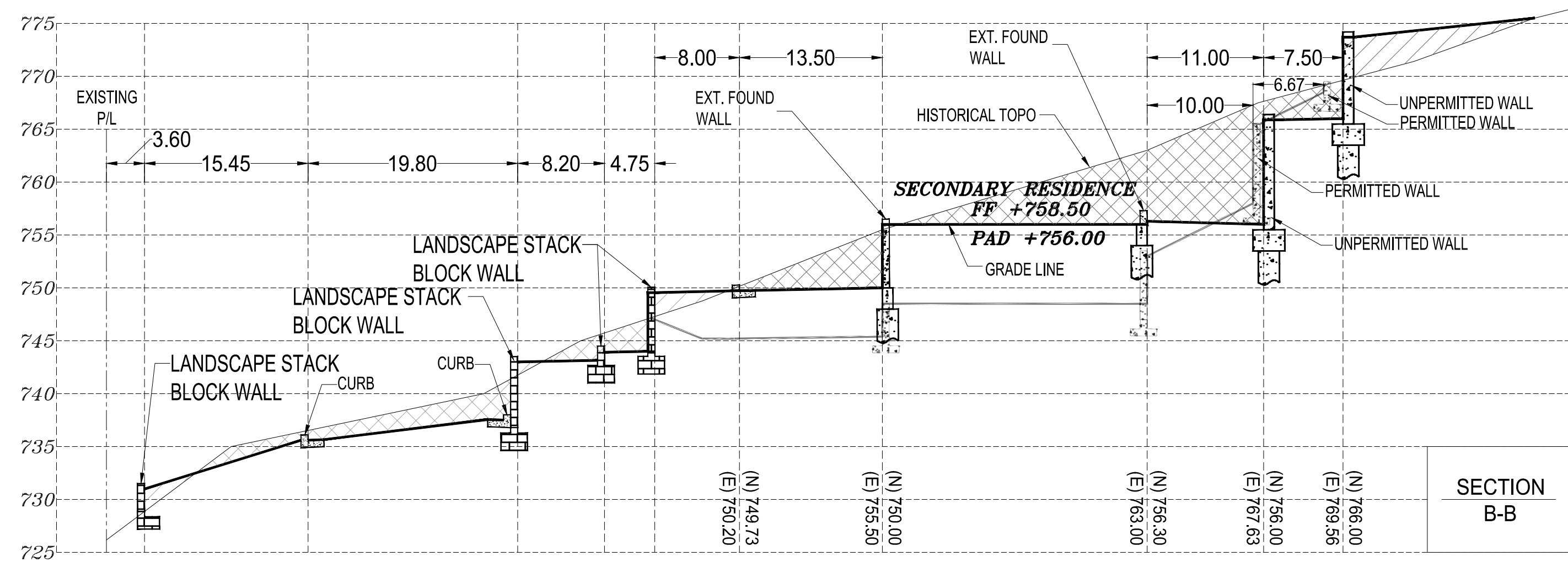


APPLICANT: VANDAYSHIA

ROAD: SIMONI DR.

COUNTY FILE NO.: PLN23-032-MOD1



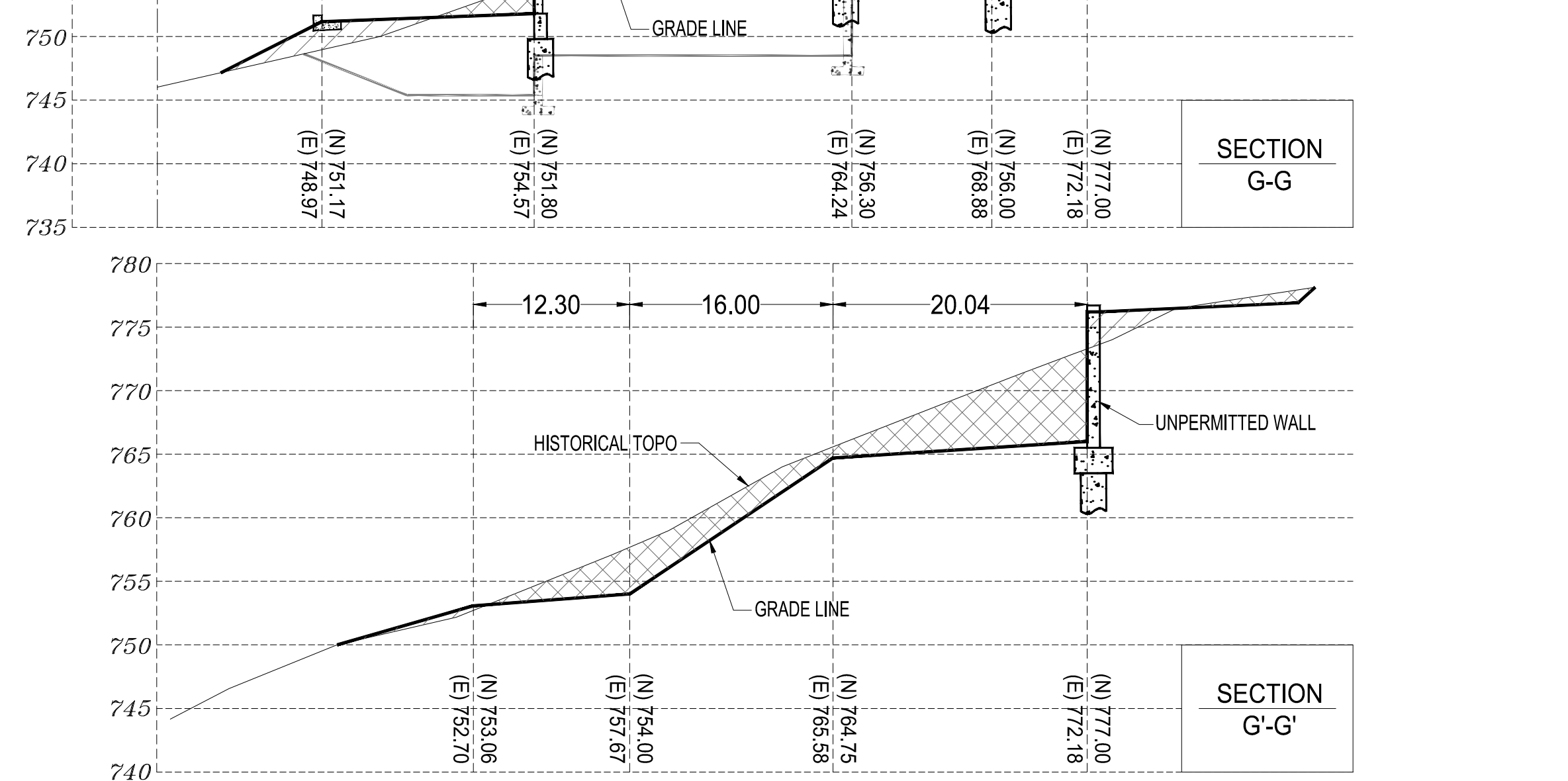
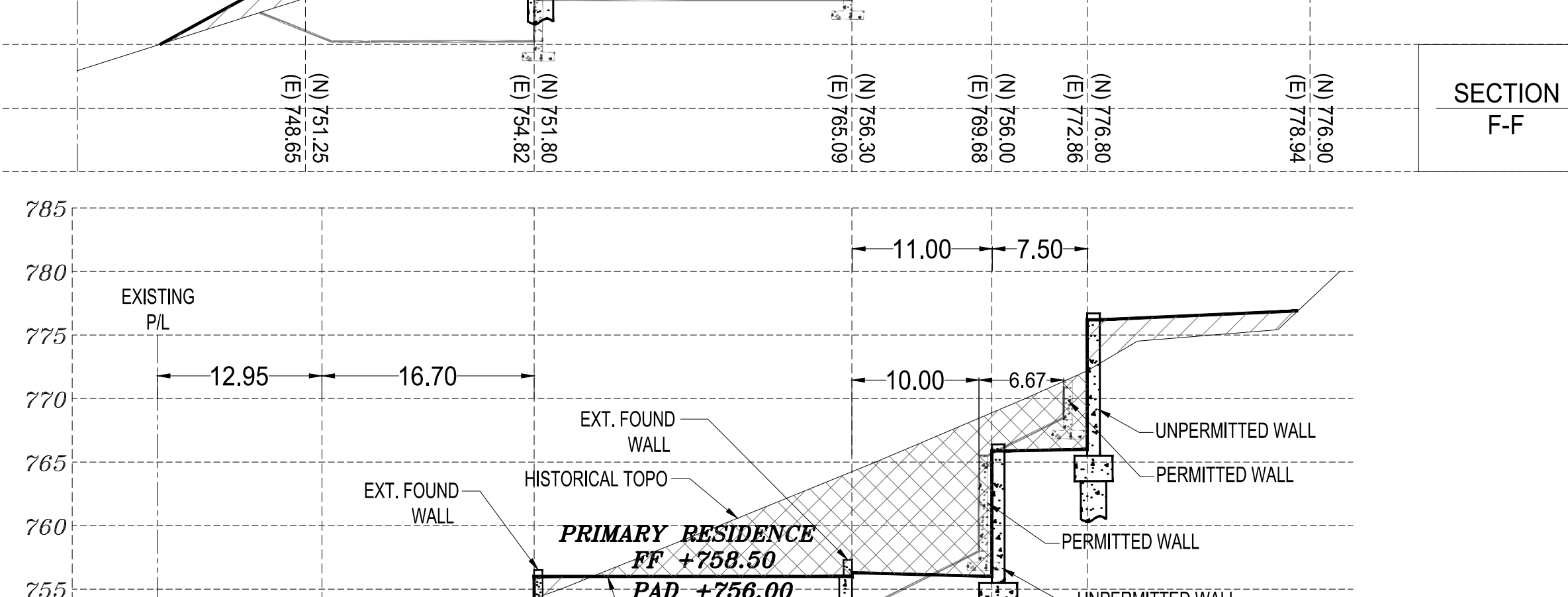
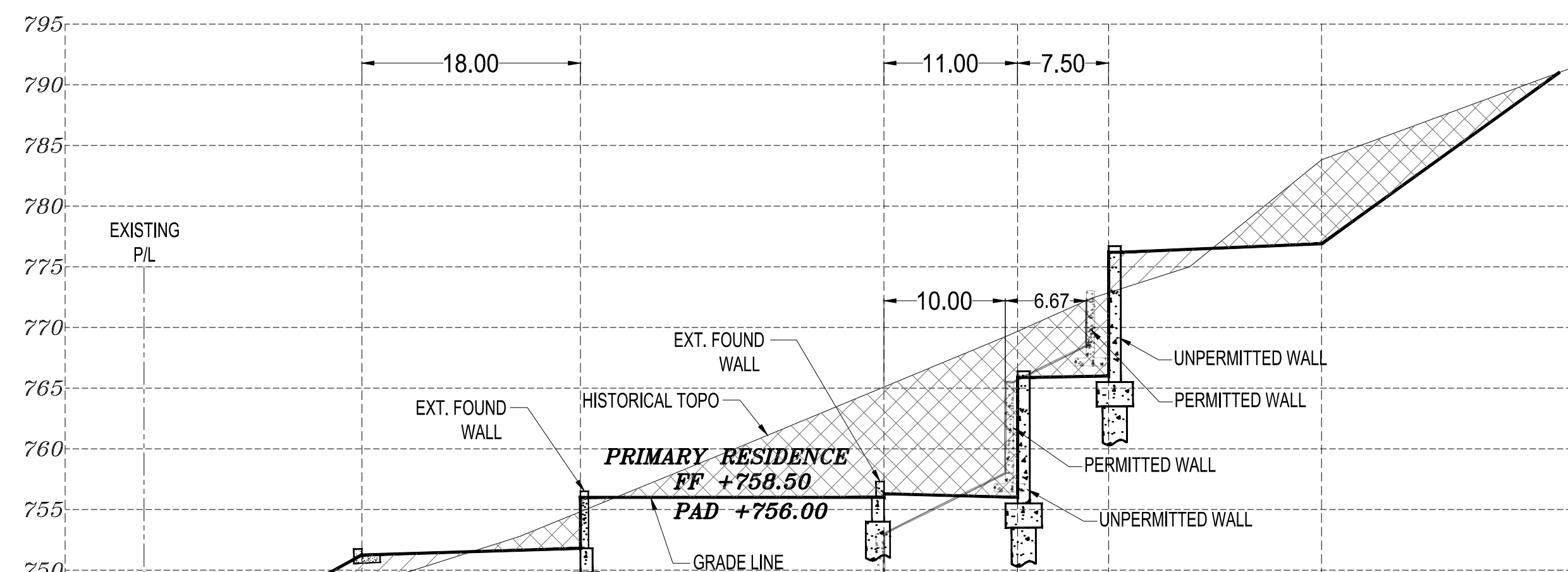
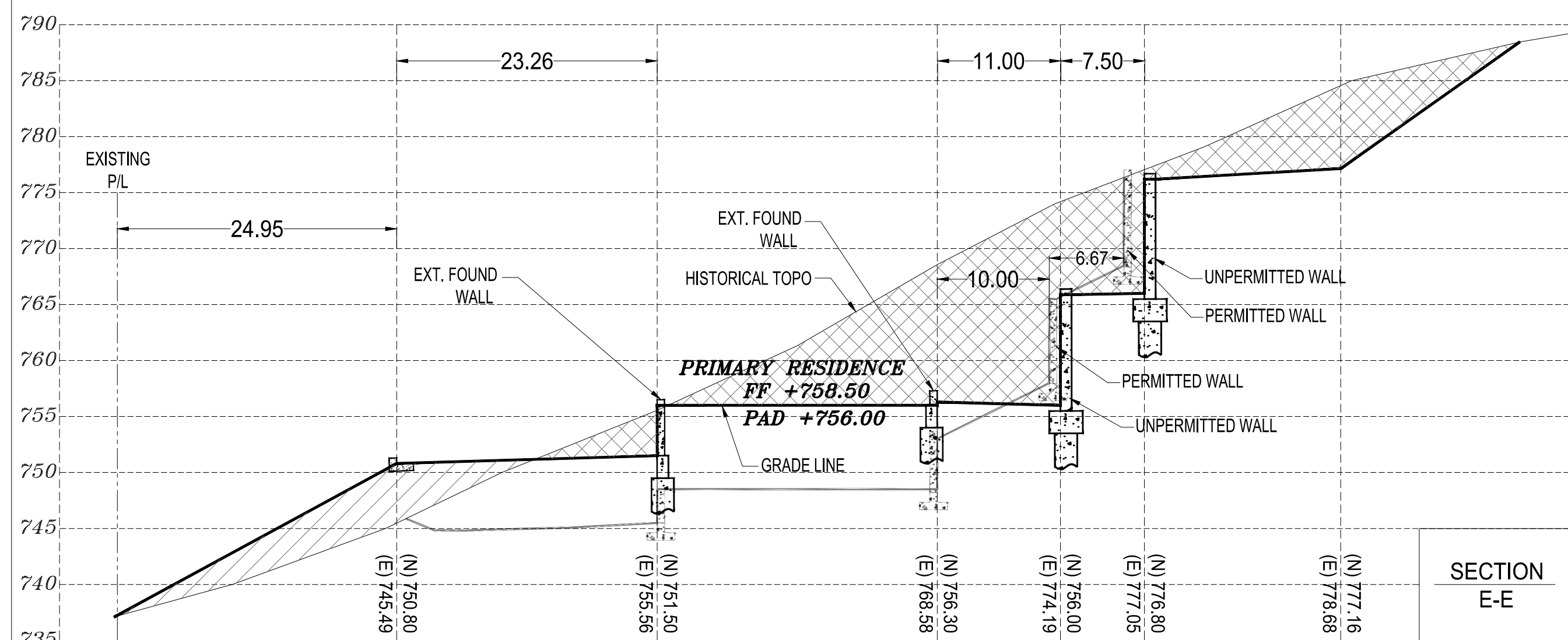


#### EARTHWORK VOLUME CALCULATIONS

STATION	CUT A IN SF	FILL A IN SF	CUT V IN CY	FILL V IN CY	CU YD BALANCE
Section BB	244	39	45	7	-38
Section CC	279	37	307	43	-301
Section DD	443	73	353	52	-602
Section EE	531	107	470	87	-985
Section FF	373	49	714	123	-1575
Section GG	257	57	241	41	-1775
			59	14	-1820
			2188	368	
	TOTAL EXCAVATION = 2188		CU YD		
	TOTAL EMBANKMENT = 368		CU YD		
	BALANCE = 1820		CU YD		

#### LEGENDS:

- CUT
- FILL
- RET. WALL
- PAD ELEVATION
- NEW ELEVATION
- EXISTING ELEVATION



APPLICANT: VANDAYSHIA

ROAD: SIMONI DR.

COUNTY FILE NO.: PLN23-032-MOD1

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VANDAYSHIA ESTATE

APN 612-10-004

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OWNER  
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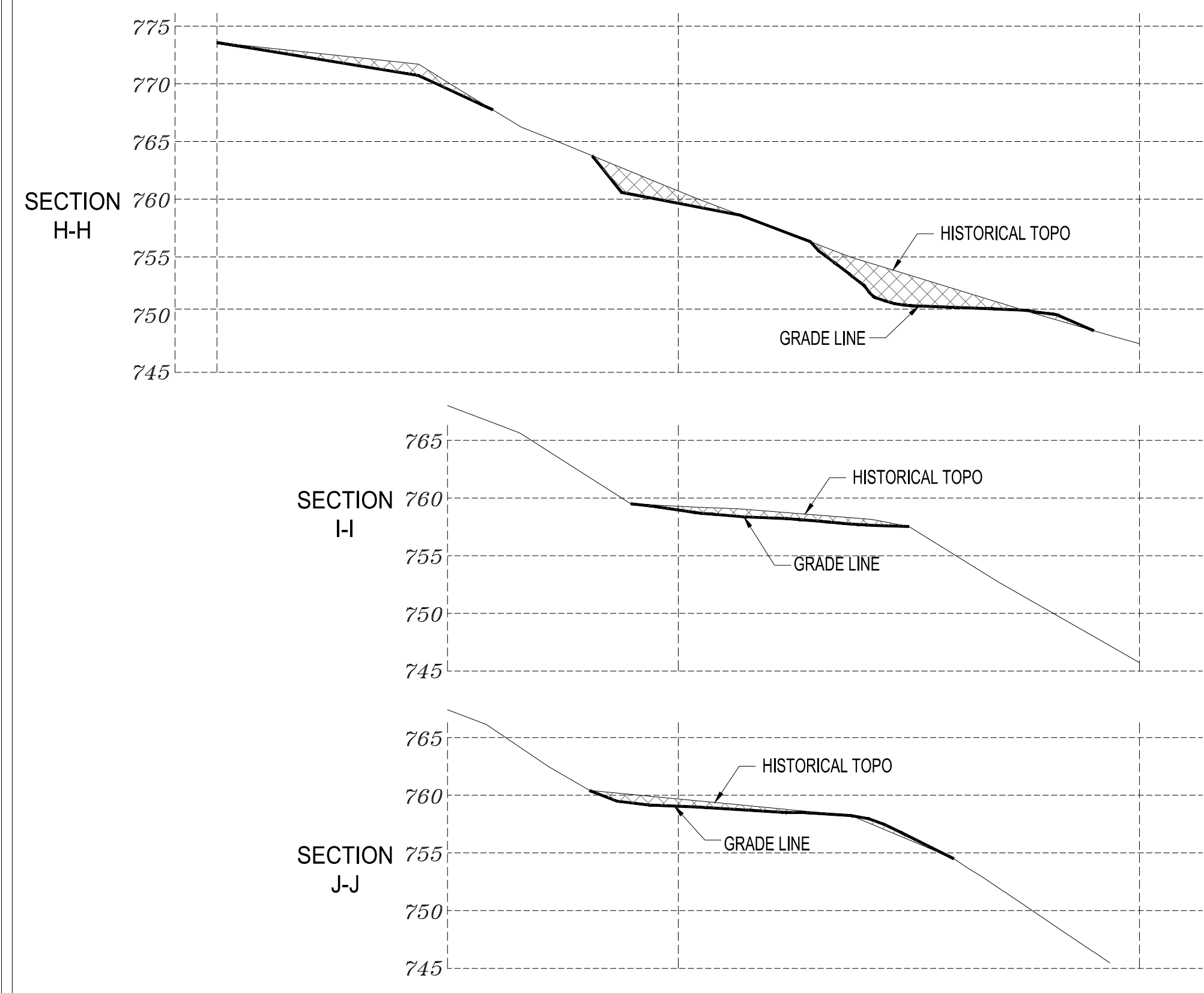
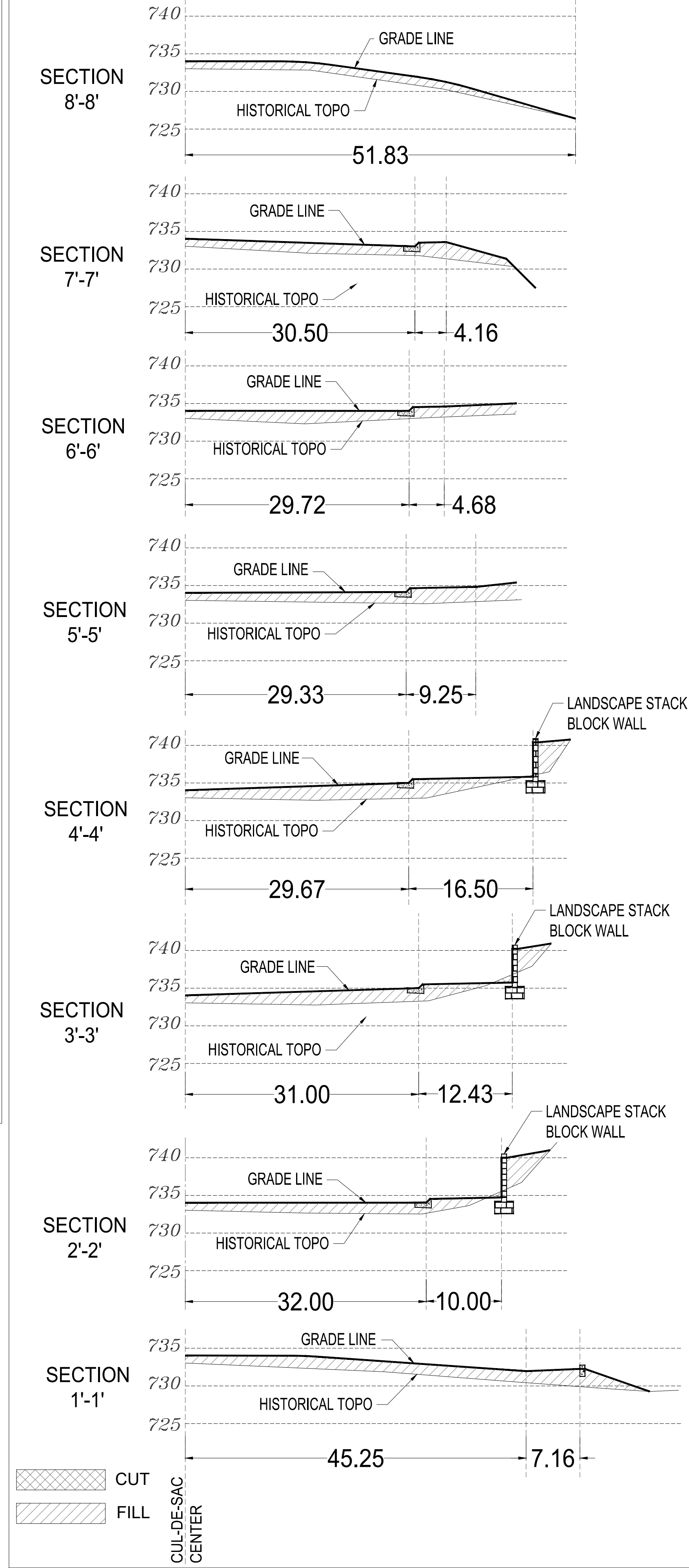
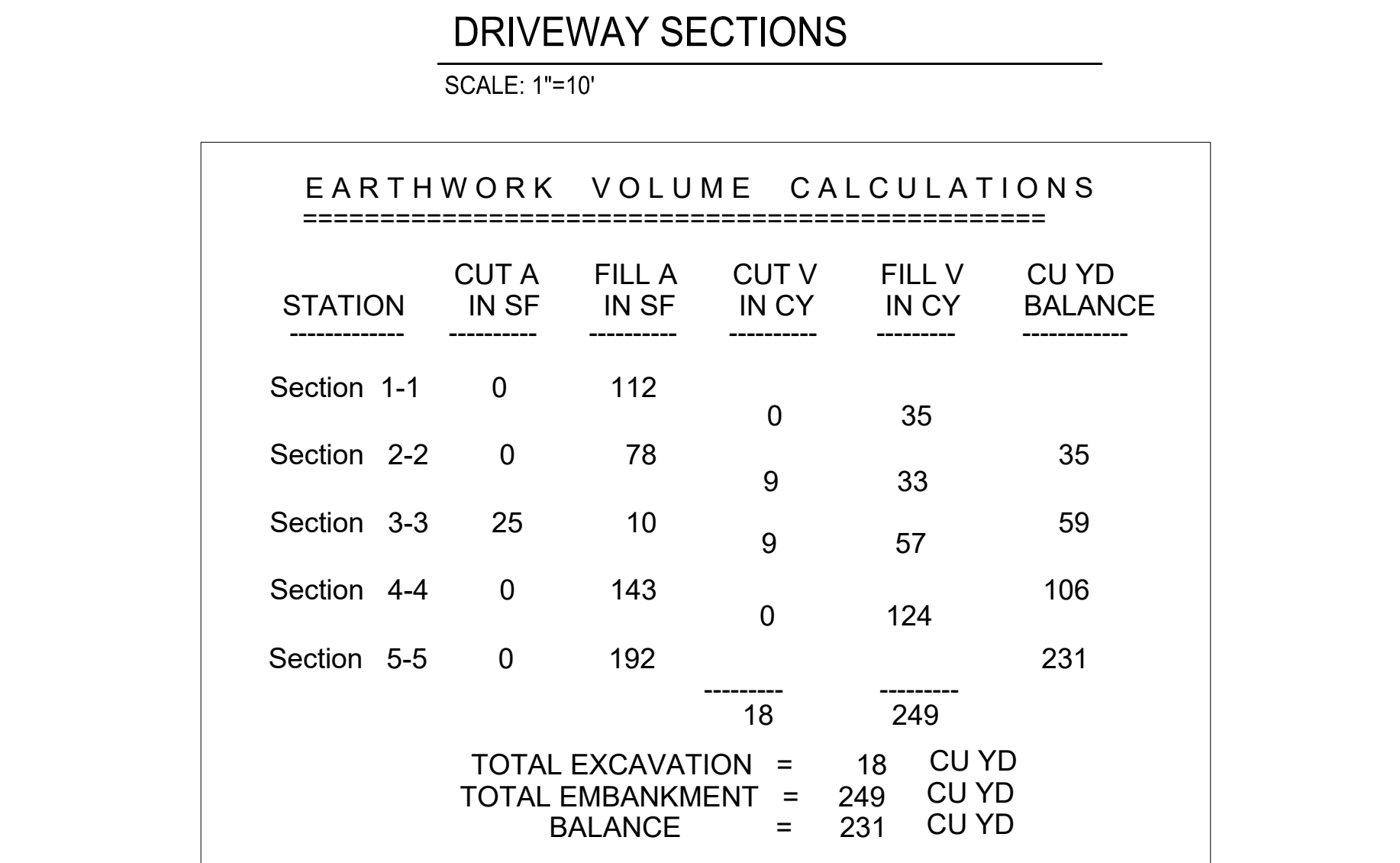
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SECTIONS AND EARTHWORK  
CALCULATIONS  
(Revision for As-Built Plan)

SCALE: 1"=10'

PROJECT NO:	SHEET:
PC 32632	C6
	6 of 8





SOUTHEAST OF THE MAIN  
RESIDENCE SECTIONS

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SCALE: 1"=10'

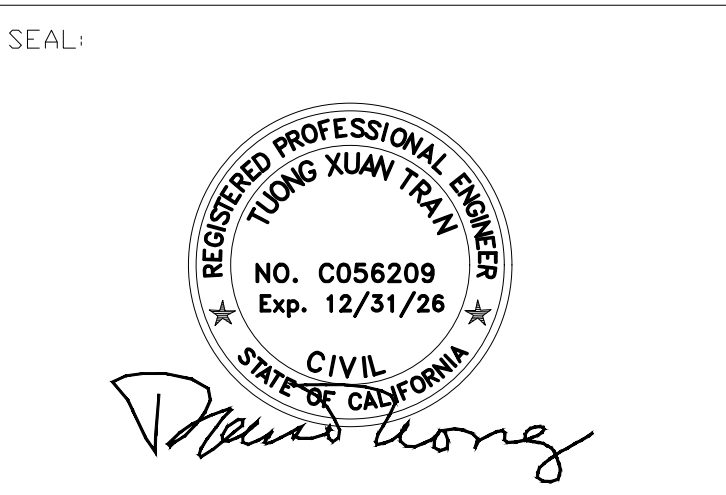
EARTHWORK		VOLUME		CALCULATIONS	
STATION	CUT A IN SF	FILL A IN SF	CUT V IN CY	FILL V IN CY	CU YD BALANCE
			80	0	
Section HH	54	0			-80
			96	0	
Section II	11	0			-176
			30	3	
Section JJ	9	2			-203
			5	0	
			-----	-----	-208
			211	3	
TOTAL EXCAVATION			=	211	CU YD
TOTAL EMBANKMENT			=	3	CU YD
BALANCE			=	208	CU YD

EARTHWORK VOLUME CALCULATIONS					
STATION	CUT A IN SF	FILL A IN SF	CUT V IN CY	FILL V IN CY	CU YD BALANCE
Section 1'-1'	0	91	0	37	
Section 2'-2'	1	66	0	32	36
Section 3'-3'	1	70	0	36	68
Section 4'-4'	0	84	0	35	103
Section 5'-5'	0	67	0	30	139
Section 6'-6'	0	61	0	28	168
Section 7'-7'	0	58	0	25	196
Section 8'-8'	0	47	0	32	221
Section 1'-1'	0	91			253
			0	253	
	TOTAL EXCAVATION	=	0	CU YD	
	TOTAL EMBANKMENT	=	253	CU YD	
	BALANCE	=	253	CU YD	



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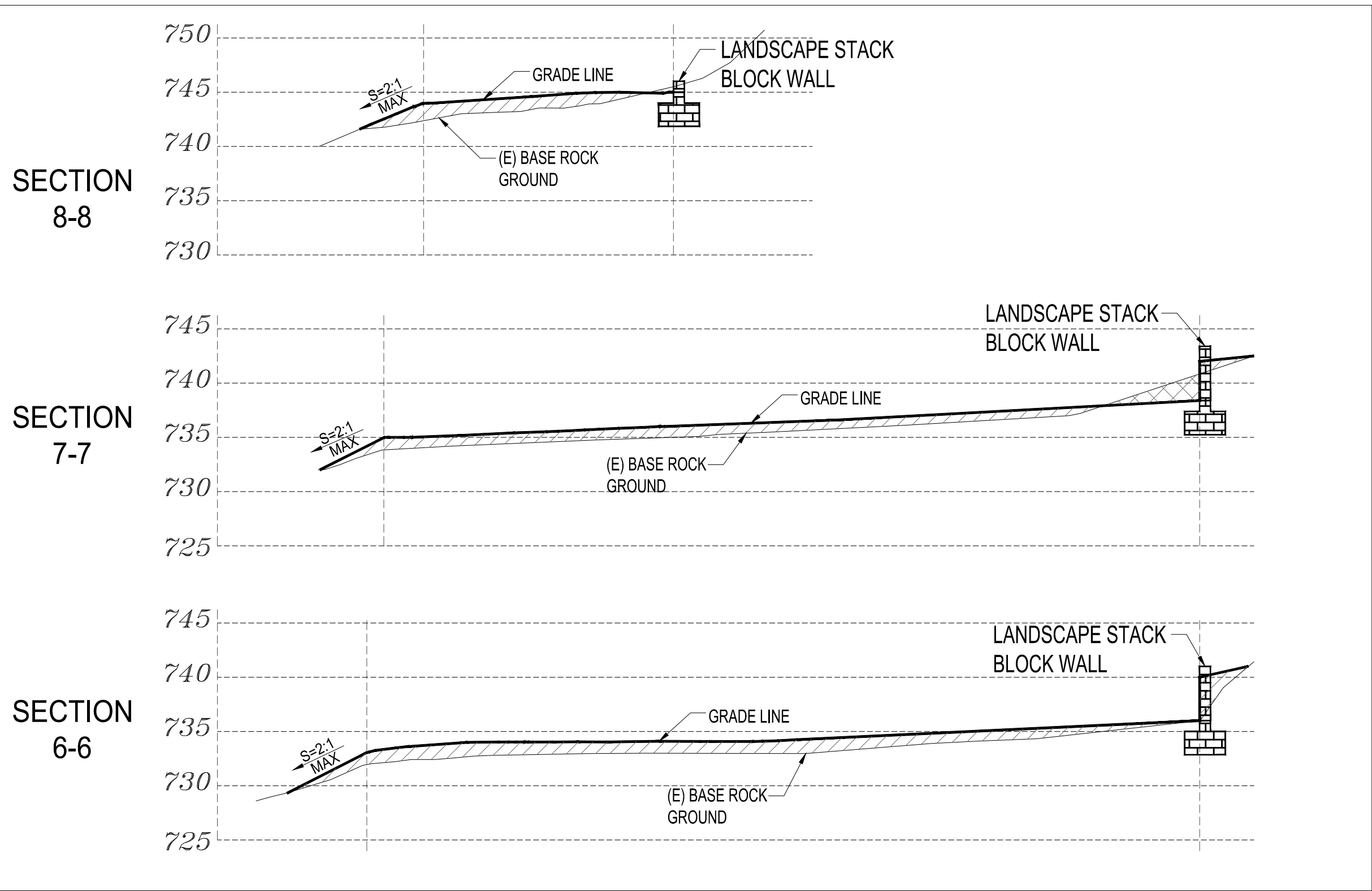
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## SECTIONS AND EARTHWORK CALCULATIONS (CONT.) (Revision for As-Built Plan)

**SCALE: 1"=10'**

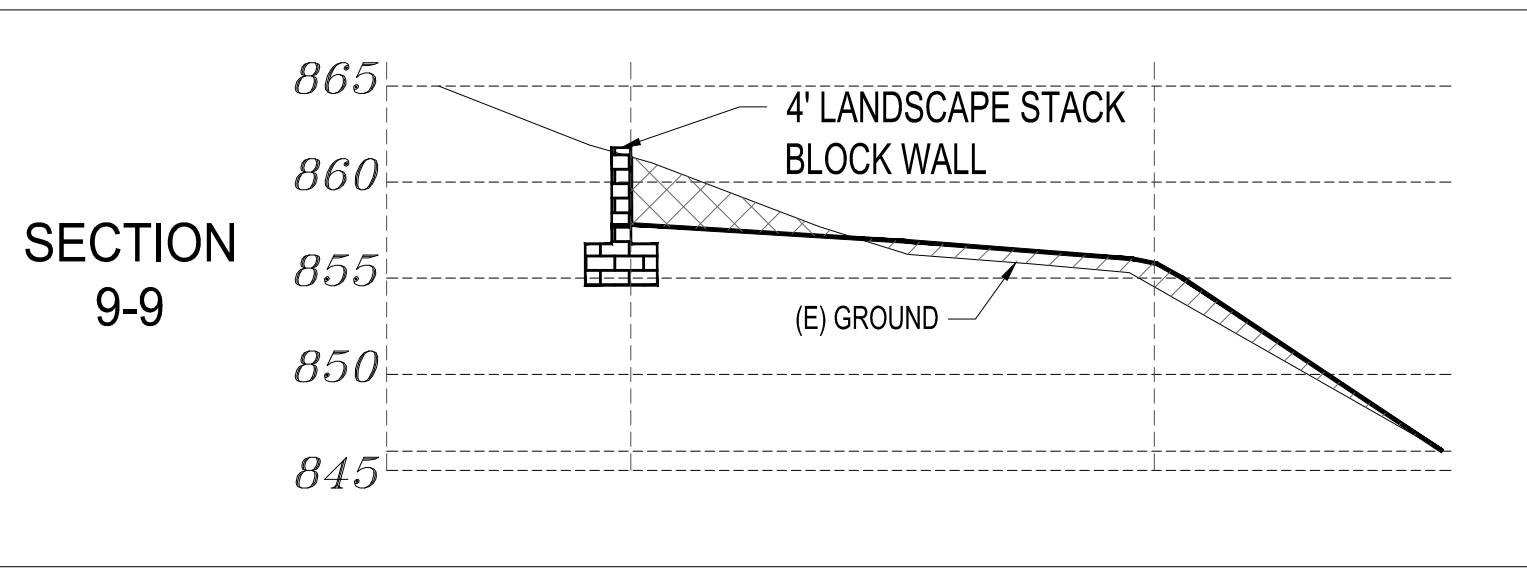
PROJECT NO:  PC 32632	SHEET:  <b>C7</b>  <b>7 of 8</b>
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THE WEST OF CUL-DE-SAC  
SCALE: 1"=10'

EARTHWORK VOLUME CALCULATIONS					
STATION	CUT A IN SF	FILL A IN SF	CUT V IN CY	FILL V IN CY	CU YD BALANCE
Section 6-6	0	89	12	169	
Section 7-7	11	63	13	101	157
Section 8-8	1	28			245
			25	270	
TOTAL EXCAVATION =			25	CU YD	
TOTAL EMBANKMENT =			270	CU YD	
BALANCE =			245	CU YD	



EARTHWORK VOLUME CALCULATIONS					
STATION	CUT A IN SF	FILL A IN SF	CUT V IN CY	FILL V IN CY	CU YD BALANCE
	0	0	22	10	
Section 9-9	21	10	22	10	-12
	0	0			-24
			44	20	
TOTAL EXCAVATION =			44	CU YD	
TOTAL EMBANKMENT =			20	CU YD	
BALANCE =			24	CU YD	

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SECTIONS AND EARTHWORK  
CALCULATIONS (CONT.)  
(Revision for As-Built Plan)

SCALE: 1"=10'

PROJECT NO:	SHEET:
PC 32632	C8 8 of 8