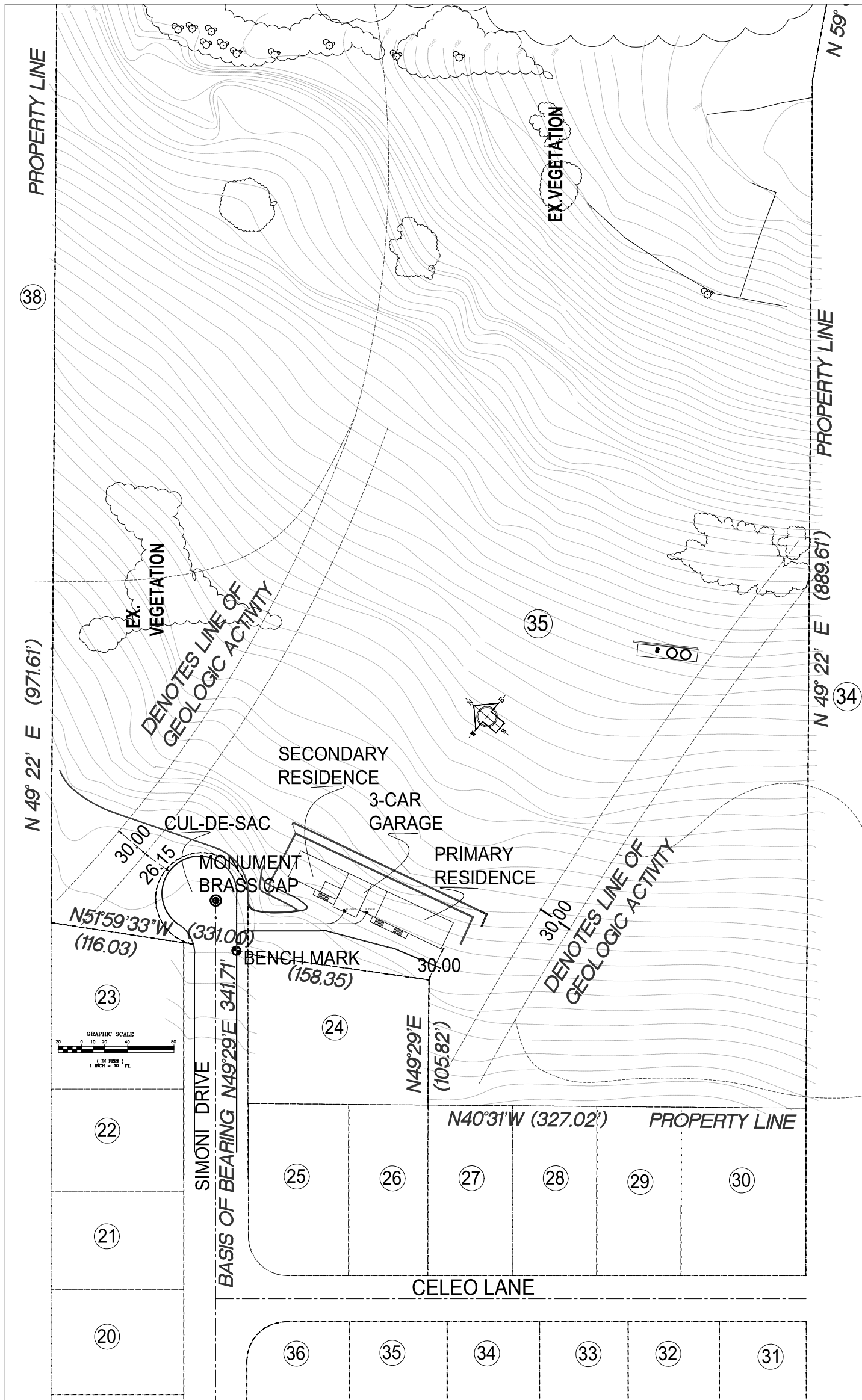
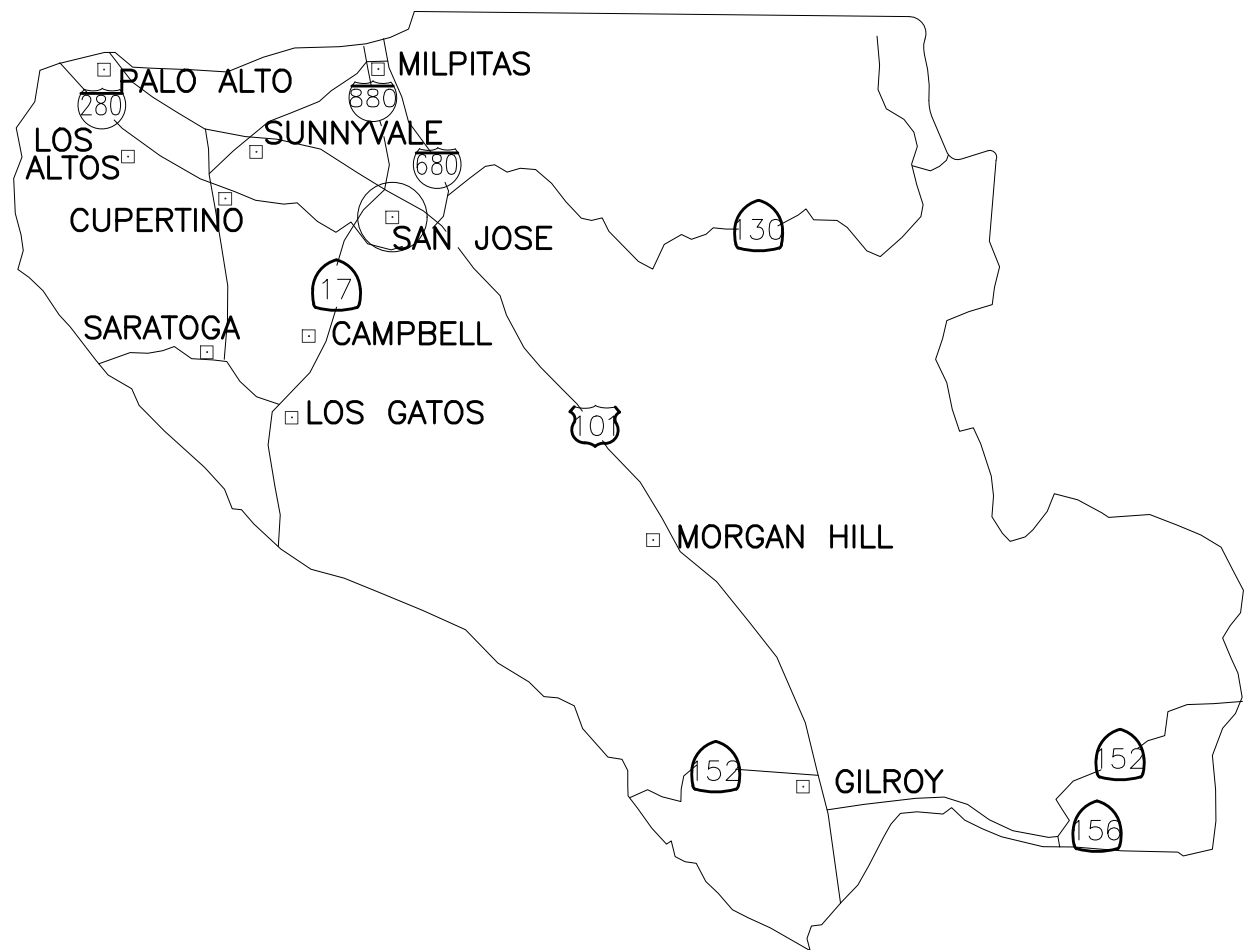


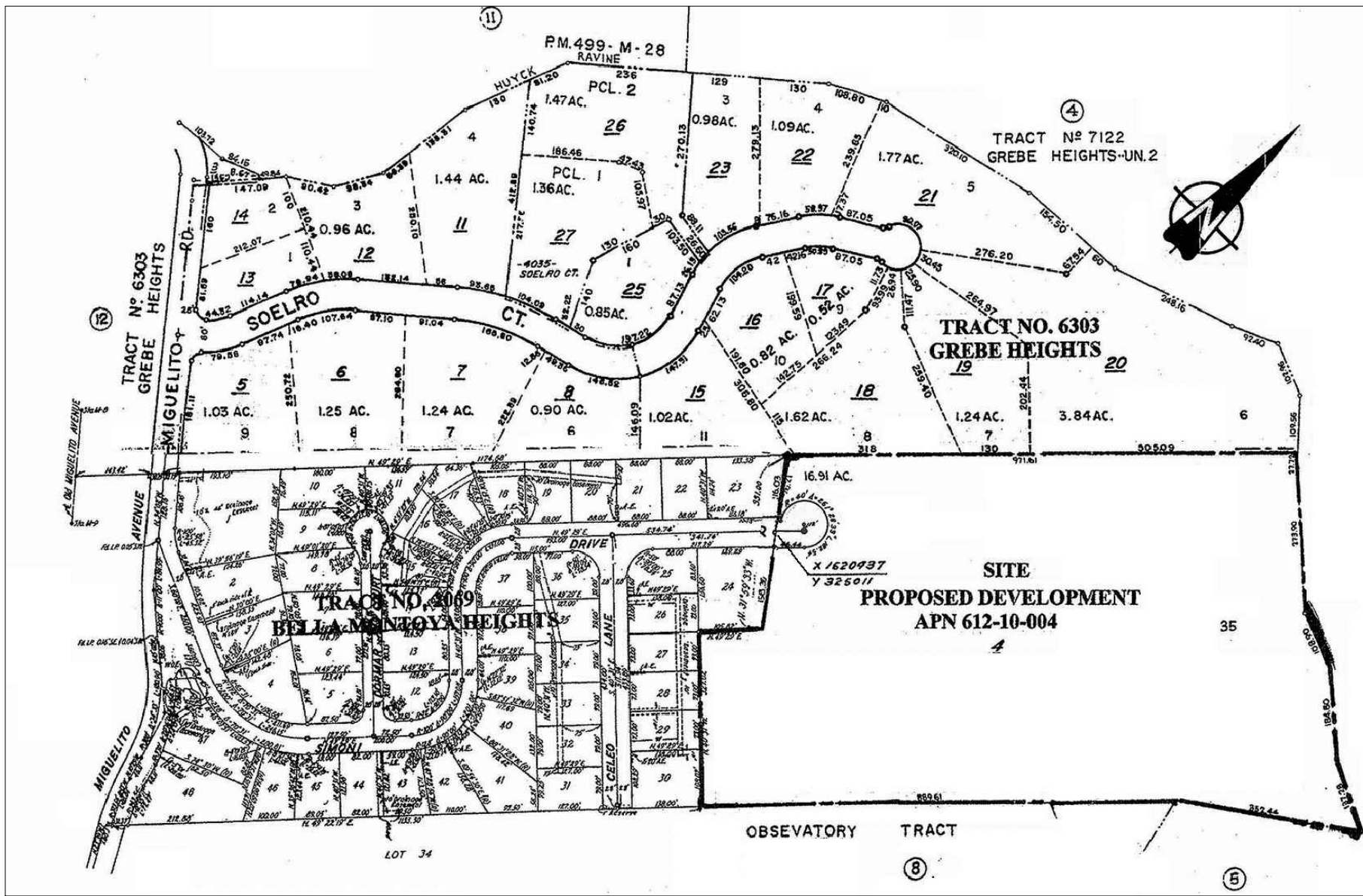
VANDAYSHIA R.E.I.C.
IMPROVEMENT PLANS



KEY MAP
SCALE: 1"=100'



COUNTY LOCATION MAP
SCALE: N.T.S.



VICINITY MAP
N.T.S.

DESCRIPTION	PERMITTED UNDER LDE04-6912G			TOTAL NEW GRADING			TOTAL GRADING TO BE LEGALIZED
	EXCAVATION	EMBANKMENT	BALANCE	EXCAVATION	EMBANKMENT	BALANCE	BALANCE
	V IN CY	V IN CY	V IN CY	V IN CY	V IN CY	V IN CY	V IN CY
STRUCTURE	3,131	124	-3,007	2,330	356	-1,936	1,071
DRIVEWAY	368	5	-363	18	249	231	594
CUL-DE-SAC	157	10	-147	0	253	253	400
WATER TANK				44	20	-24	-24
LANDSCAPE							
AREA 1				238	59	-179	-179
AREA 2				234	0	-234	-234
AREA 3				25	486	461	461
TOTAL	3,656	139	-3,517	2,889	1,423	-1,428	2,089

NOTE: EXCAVATED MATERIAL WILL BE EXPORTED
FROM THE SITE: 3,517 CUBIC YARDS

AREA 1: SOUTHEAST OF THE MAIN RESIDENCE
AREA 2: THE EXPANDED PATHS ON THE NORTH SIDE OF THE PROPERTY AND ACCESSING THE WATER TANKS
AREA 3: NORTH-NORTHWEST OF THE CUL-DE-SAC

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS
ISSUED BY: _____ DATE: _____
ENCROACHMENT PERMIT NO. _____

COUNTY OF SANTA CLARA
LAND DEVELOPMENT ENGINEERING & SURVEYING
CONSTRUCTION PERMIT NO. _____
GRADING PERMIT NO. _____
ISSUED BY: _____ DATE: _____

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED PLAN AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED 03/07/2024 FILE NO. 6912-49-75-04B-04G-07DR.

DATE 06/04/25

Tuong Xuan Tran
SIGNATURE

C056209
R.C.E. NO.
12/31/26
EXPIRATION DATE

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE _____

CONSTRUCTION / ENCROACHMENT / GRADING PERMIT

PERMIT(S) NO.: _____

FILE(S) NO.: _____

ISSUED BY: _____ DATE: _____
LAND DEVELOPMENT ENGINEERING & SURVEYING
DEVELOPMENT SERVICES OFFICE
COUNTY OF SANTA CLARA

BASIS OF BEARINGS:

FOUND SURVEY MONUMENTS. RECORD INFORMATION WAS USED. PER RECORD MAP, BOOK:92 PAGE:40 WHICH IS FILED IN THE COUNTY OF SANTA CLARA RECORDER'S OFFICE.

BENCH MARK:

SITE BENCHMARK:
SURVEY CONTROL SET MAG NAIL
ELEVATION=733.92' (NAVD 88 DATUM)

PROJECT BENCHMARK:
S.C.V.W.D. BENCHMARK #1149
ELEVATION=410.52' (NAVD 88 DATUM)

LEGEND

PROPERTY LINE
EASEMENT LINE
CURB AND GUTTER
SIDEWALK
STANDARD HOODED INLET
FIRE HYDRANTS
ELECTROLIER
WATER METER
DOMESTIC WATER SERVICE
SANITARY SEWER
STORM SEWER
SANITARY MANHOLE
STORM MANHOLE
DRIVEWAY
HANDICAP RAMP
REMOVE TREE

ABBREVIATIONS
AB AGGREGATE BASE
AC ASPHALT CONCRETE
ACCP SPUN CONCRETE PIPE
BFP BACK FLOW PREVENTER
BLDG BUILDING
BO BLOW OFF VALVE
BW BOTTOM OF WALL
CATV CABLE TELEVISION
CB CATCH BASIN
CIP CAST IRON PIPE
CL CENTERLINE
CONC CONCRETE
COR CORNER
DCDA DOUBLE CHECK DETECTOR ASSEMBLY
DI DROP INLET/DITCH INLET
DIP DUCTILE IRON PIPE
DWY DRIVEWAY
EP EDGE OF PAVEMENT
ER END OF RETURN
EX, EXIST EXISTING
FF FINISH FLOOR
FG FINISH GRADE
FH FIRE HYDRANT
FL FLOW LINE
GB GRADE BREAK
INV INVERT
JP JOINT POLE
LP LOW POINT
MAX MAXIMUM
MIN MINIMUM
NG NATURAL GROUND
PL PROPERTY LINE
PSE PUBLIC SERVICE EASEMENT
R/W RIGHT OF WAY
SDMH STORM DRAIN MANHOLE
SLB SLAB
SSMH SANITARY SEWER MANHOLE
STD STANDARD
TC TOP OF CURB
TW TOP OF WALL
TYP TYPICAL

SHEET INDEX

C1	COVER SHEET
C2	GENERAL CONSTRUCTION SPECIFICATIONS
C3	SITE / SURVEY PLAN
C4	PLOT LAYOUT AND HORIZONTAL CONTROL
C5	GRADING AND DRAINAGE PLAN
C6	SECTIONS
C7	SECTIONS (CONT.)
C8	SECTIONS (CONT.)

ENGINEER'S NAME: TUONG XUAN TRAN

ADDRESS: 526 CALERO AVE, SAN JOSE, CA 95123

PHONE NO. (408) 425-4523

FAX NO. (408) 300-1027

Revision for As-Built Plan	APN 612-10-004	Sheet C1
Revision 2 Date	Co. File	1 of 8
Revision 3 Date		

APPLICANT: VANDAYSHIA

ROAD: SIMONI DR.

COUNTY FILE NO.: PLN23-032-MOD1

PLAN # _____
SHEET _____ OF _____

REVISED 4-24-2025

COUNTY OF SANTA CLARA
GENERAL CONSTRUCTION SPECIFICATIONS

GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY GEI GEOTECHNICAL ENGINEERING INC., JOB # 111423A DATED FEBRUARY 26, 2004. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
- DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
- ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
- UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
- PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

- EXISTING TREES, ROOTS, AND FOREIGN MATERIAL WILL BE REMOVED FROM AREAS TO BE IMPROVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
 - TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
 - FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
- ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
- TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

GRADING

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
- SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
- NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
- THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL 2 HORIZONTAL TO 1 VERTICAL.

ESTIMATED VOLUME OF CUT	2,889	CUBIC YARDS
FILL	1,423	CUBIC YARDS
EXCAVATED MATERIAL WILL BE EXPORTED	1,428	CUBIC YARDS
MAXIMUM DEPTH OF CUT	17	FEET
FILL	7	FEET

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.

EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.

- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
- ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
- THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%
- ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
- THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
- THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.

ACCESS ROADS AND DRIVEWAYS

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
- ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15% LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.

RETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
- SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
- PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
- ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
- ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
- ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
- ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND WHICH ARE SHOWN TO BE REMOVED. ANY OTHER SUCH TREES ARE NOT TO BE REMOVED UNLESS AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
- PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
- THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.

STREET LIGHTING

- PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

STORM DRAINAGE

- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY.
- DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
- WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
- UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
- THE COUNTY ENGINEERING INSPECTOR SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS PRIOR TO BACKFILL.

SANITARY SEWER

- ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

- CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (____ WERE) (____ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (^). THERE (____ WERE) (____ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL .

DATE _____

SIGNATURE _____

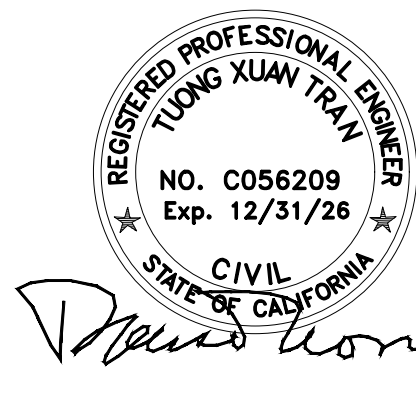
NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.



surveyors - engineers - architects

526 Calero Ave, San Jose, CA 95123
Tel: (408) 425-4523
Fax: (408) 226-3475
Email: info@tranvu.com

SEAL:



DATE: 05-08-08

DRAWN BY: V.K.

CHECKED BY: T. T.

REVISION

DATE

REVISION

DATE

VANDAYSHIA ESTATE

APN 612-10-004

15900 SIMONI DRIVE
SAN JOSE, CA 95127

OWNER

VANDAYSHIA R.E.I.C.

Phone: 408-829-2805

P.O. BOX 360577
MILPITAS, CA 95036

SANTA CLARA COUNTY
GENERAL CONSTRUCTION
SPECIFICATIONS
(Revision for As-Built Plan)

SCALE: AS SHOWN

PROJECT NO:

PC 32632

SHEET:

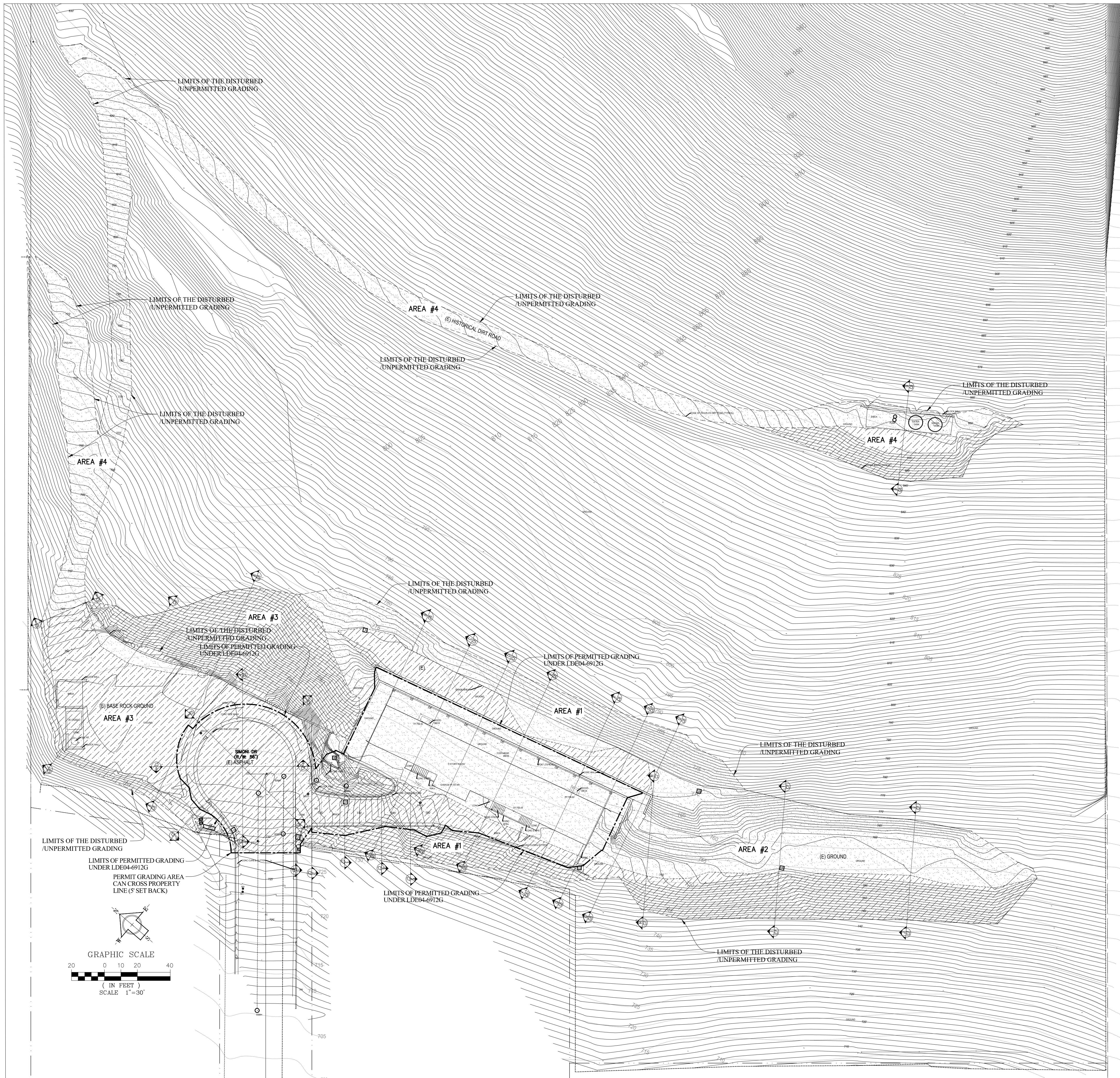
C2

2 of 8

APPLICANT: VANDAYSHIA

ROAD: SIMONI DR.

COUNTY FILE NO.: PLN23-032-MOD1



LEGENDS

745 AS-BUILT CONTOURS

PROPERTY LINE

EX-FENCE

FILL AREA

CUT AREA

RET. WALL

PERMITTED GRADING UNDER LDE04-6912G LIMITS

UNPERMITTED GRADING LIMITS

SURVEY INFORMATION:
M&N CONSULTING SERVICES, INC.
322 N. 18TH STREET
SAN JOSE, CA 95112

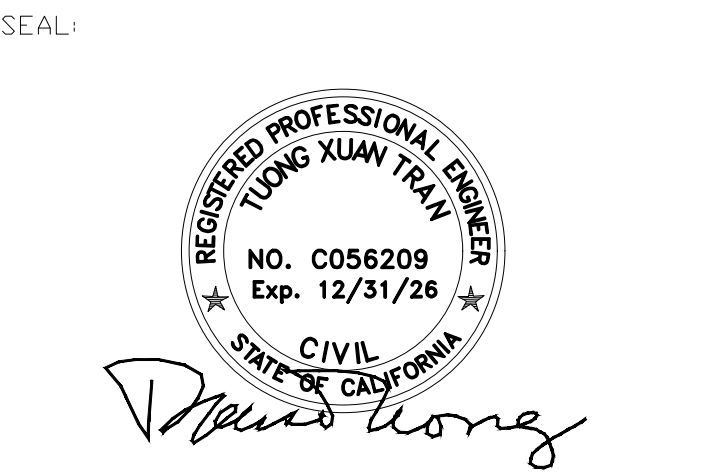
Survey performed by: RYAN MIX, L.S. 8743
Tel. (510) 543-7684
Email: ryanmix@ott.net

Survey updated date: 03/22/2023
Site data: for As-Built Topographic survey of
15900 Simoni Drive, San Jose, CA 95127

NOTES:
- PERMITTED GRADING AREA: 18,789 SF
- MODIFY GRADING AREA: 61,290 SF
AREA #1: BACK AND FRONT OF HOUSE 9,841 SF
AREA #2: SOUTHEAST OF THE MAIN RESIDENCE 17,686 SF
AREA #3: NORTH-NORTHWEST OF THE CUL-DE-SAC 16,734 SF
AREA #4: WELL TANK, PATHS AND MAINTENANCE ROAD 17,029 SF

TRANVU, LLC
surveyors - engineers - architects

526 Calero Ave, San Jose, CA 95123
Tel: (408) 425-4523
Fax: (408) 226-3475
Email: info@tranvu.com



DATE: 05-08-08			
DRAWN BY: V.K.		CHECKED BY: T. T.	
REVISION	DATE	REVISION	DATE

VANDAYSHIA ESTATE
APN 612-10-004

15900 SIMONI DRIVE
SAN JOSE, CA 95127

OWNER
VANDAYSHIA R.E.I.C.

Phone: 408-829-2805

P.O. BOX 360577
MILPITAS, CA 95036

SITE / SURVEY PLAN
(Revision for As-Built Plan)

SCALE: AS SHOWN

PROJECT NO:	SHEET:
PC 32632	C3
	3 of 8

APPLICANT: VANDAYSHIA

ROAD: SIMONI DR.

COUNTY FILE NO.: PLN23-032-MOD1

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APN 612-10-004

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SAN JOSE, CA 95127

OWNER
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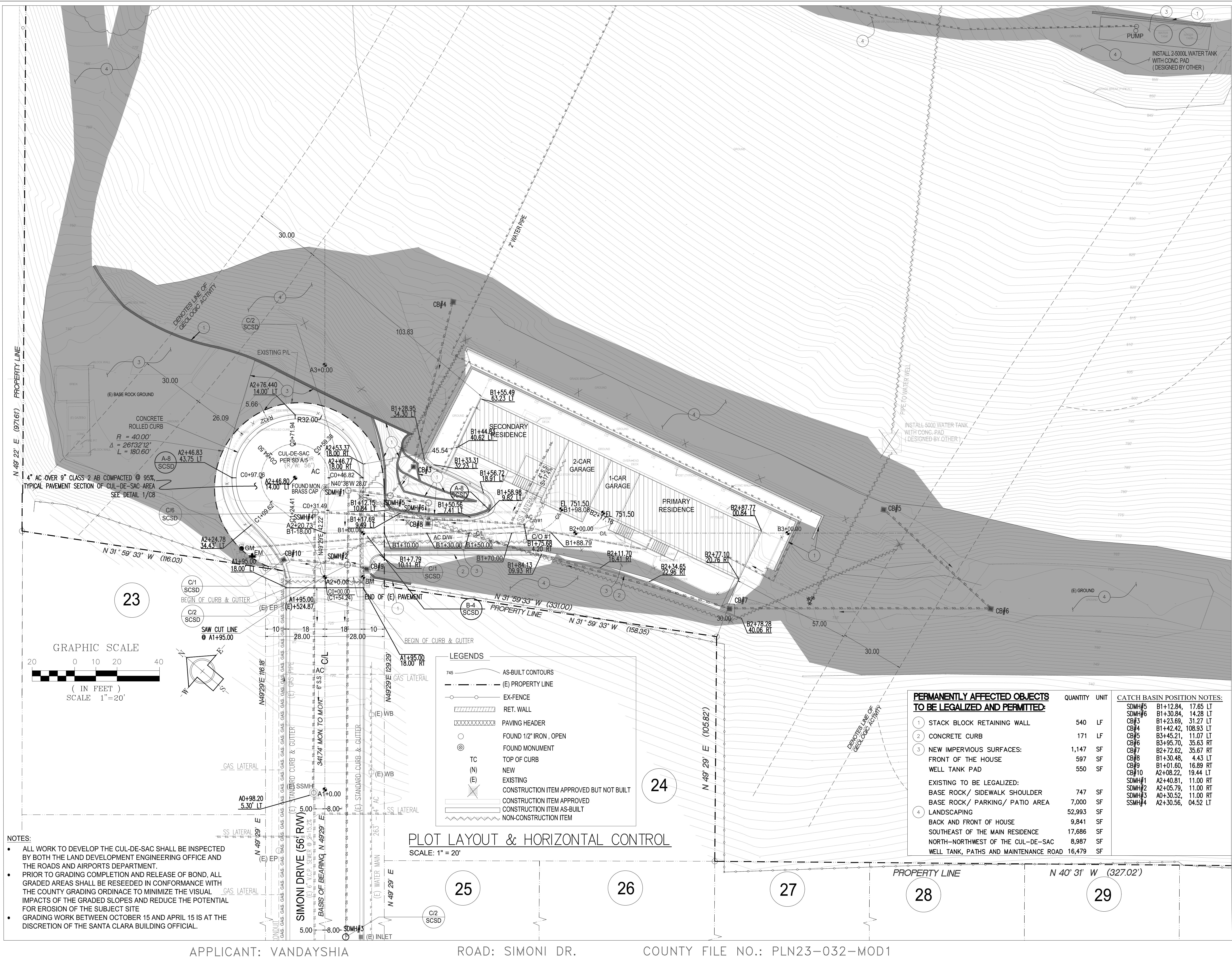
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P.O. BOX 360577
MILPITAS, CA 95036

PLOT LAYOUT &
HORIZONTAL CONTROL
(Revision for As-Built Plan)

SCALE: AS SHOWN

PROJECT NO:	SHEET:
PC 32632	C4
	4 of 8



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Email: info@tranvu.com

SEAL:

REGISTERED PROFESSIONAL ENGINEER
TUNG XUAN TRAN
NO. C056209
Exp. 12/31/26
CIVIL
STATE OF CALIFORNIA

DATE: 06-08-08

DRAWN BY: V.K. CHECKED BY: T. T.

REVISION	DATE	REVISION	DATE

VANDAYSHIA ESTATE

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MILPITAS, CA 95036

**GRADING AND
DRAINAGE PLAN**
(Revision for As-Built plan)

SCALE: AS SHOWN

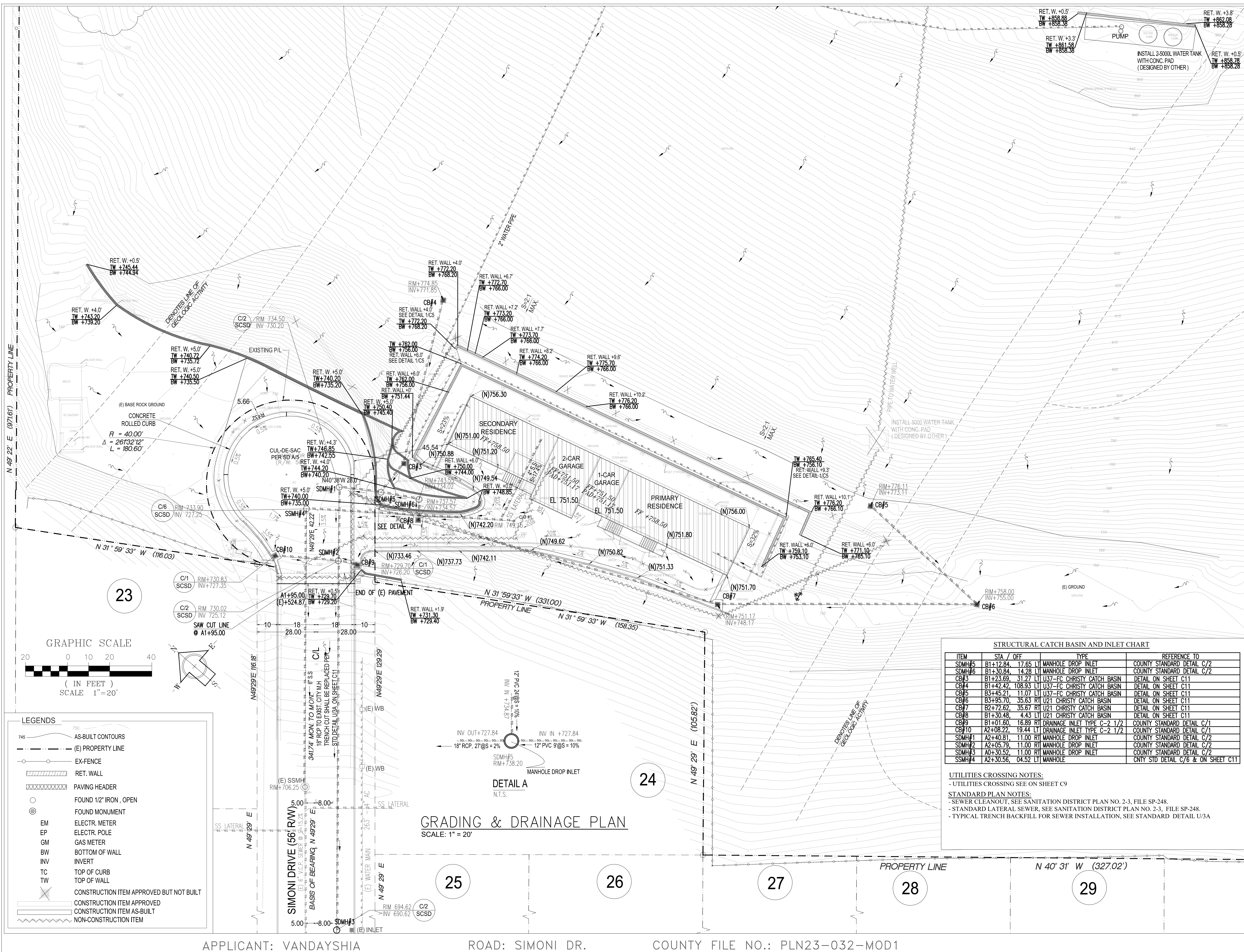
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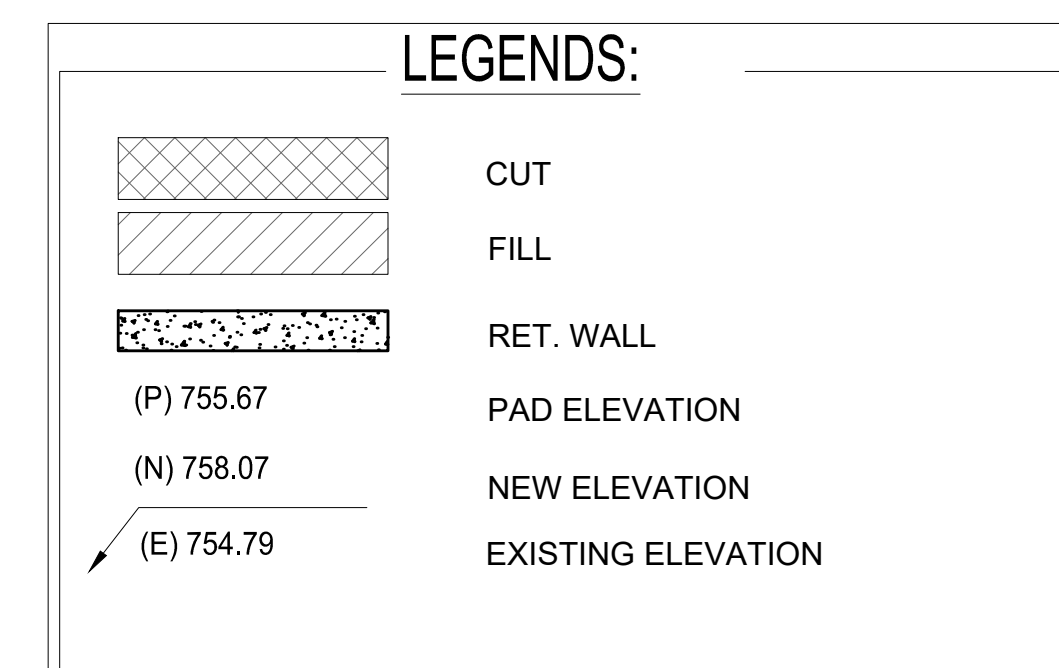
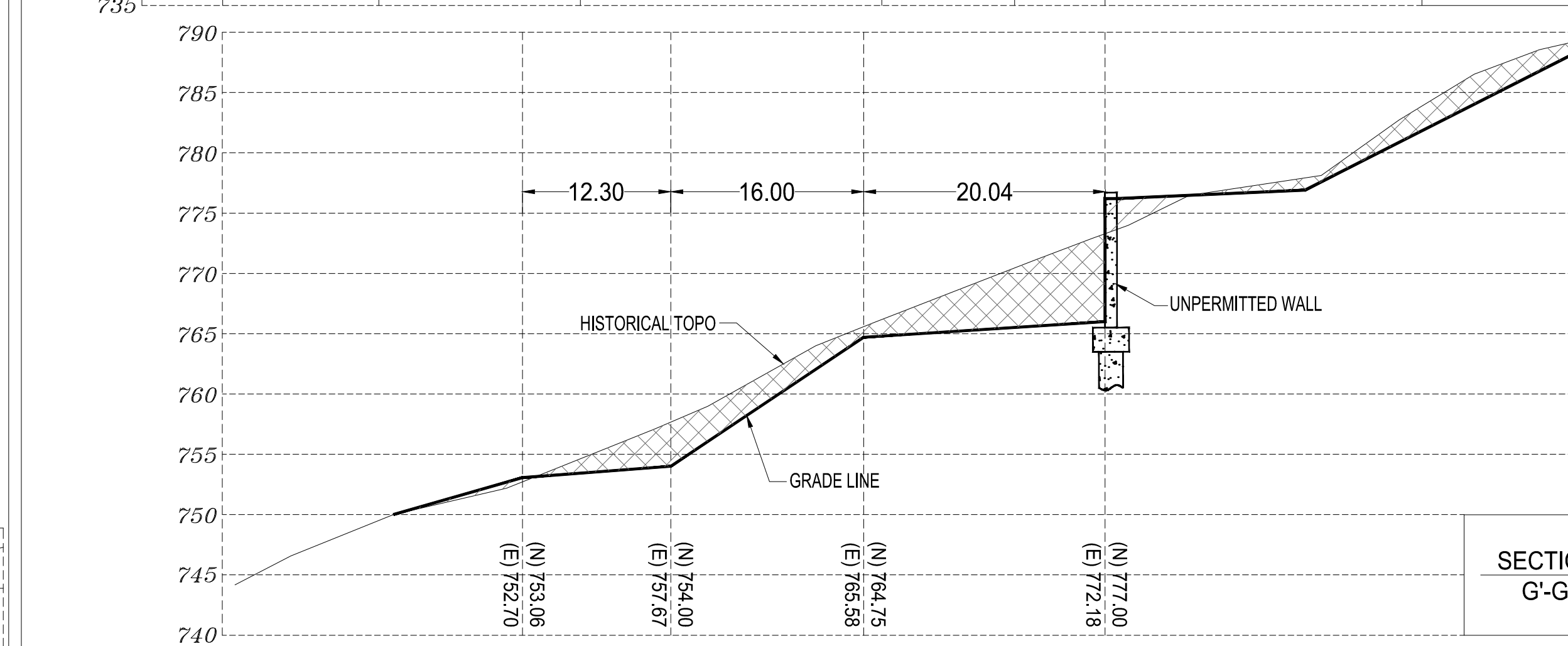
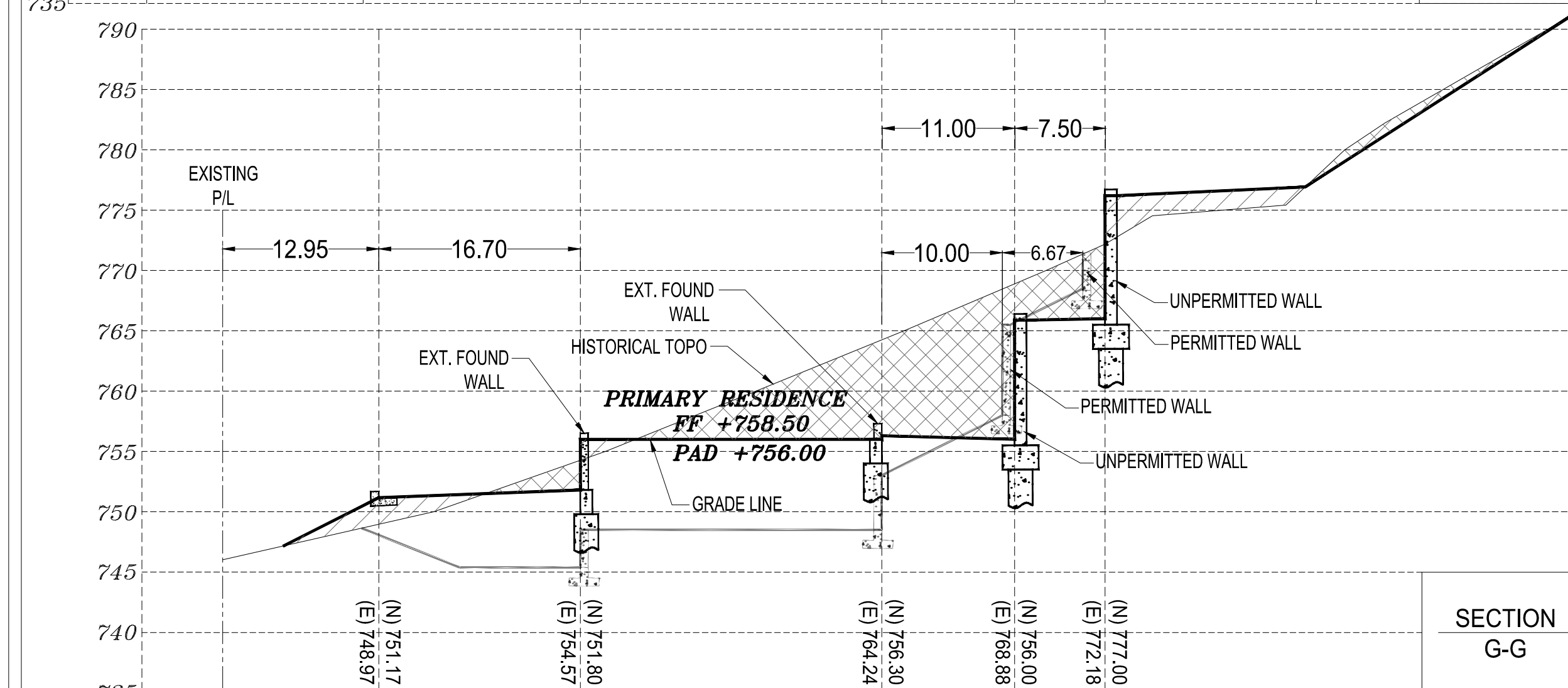
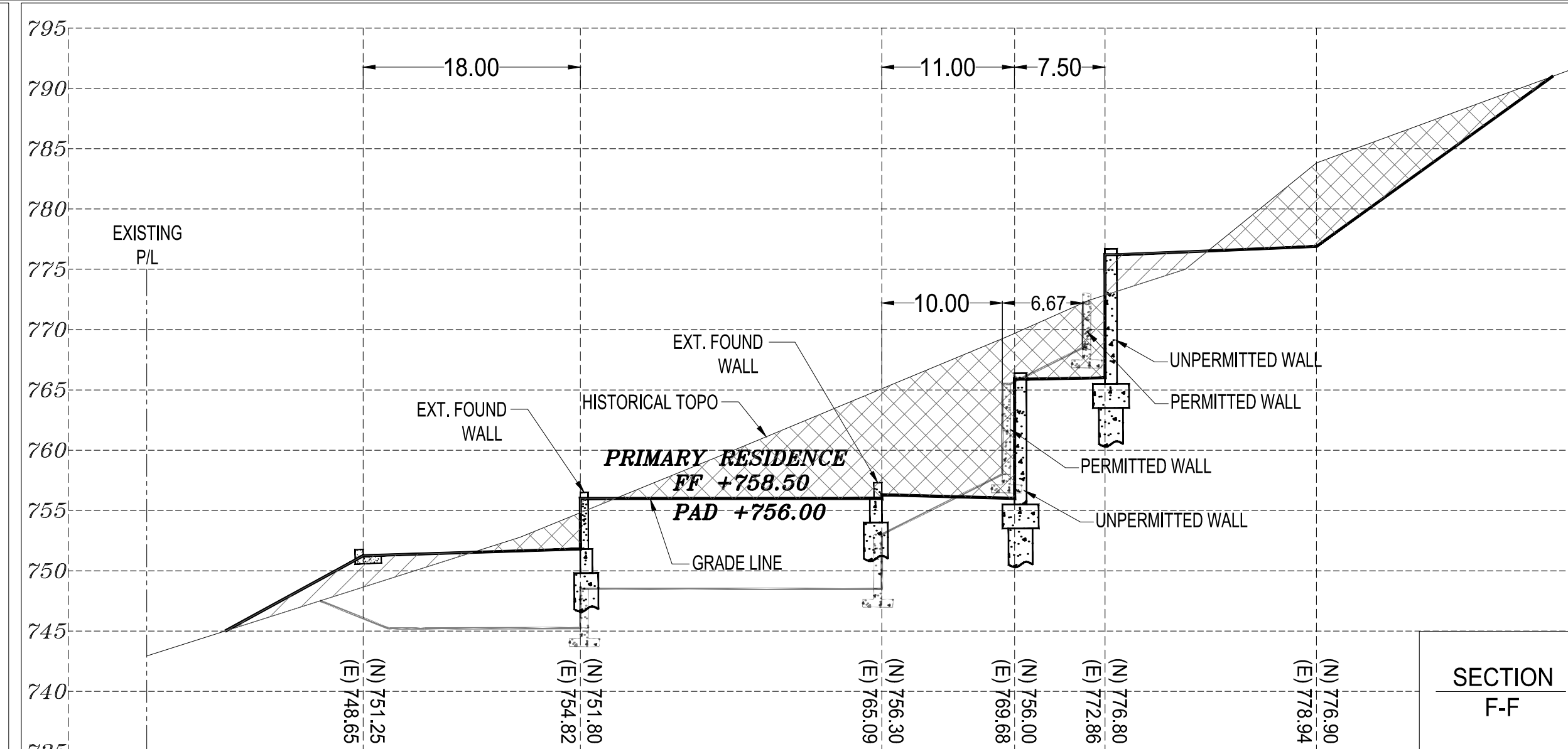
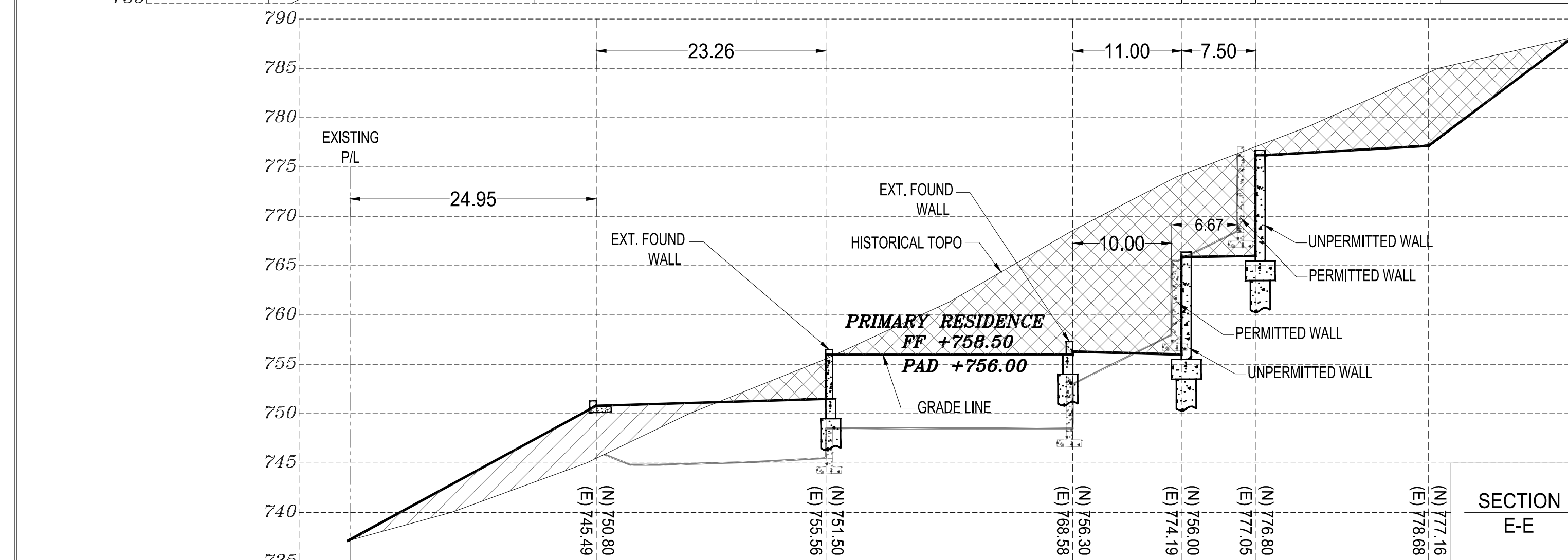
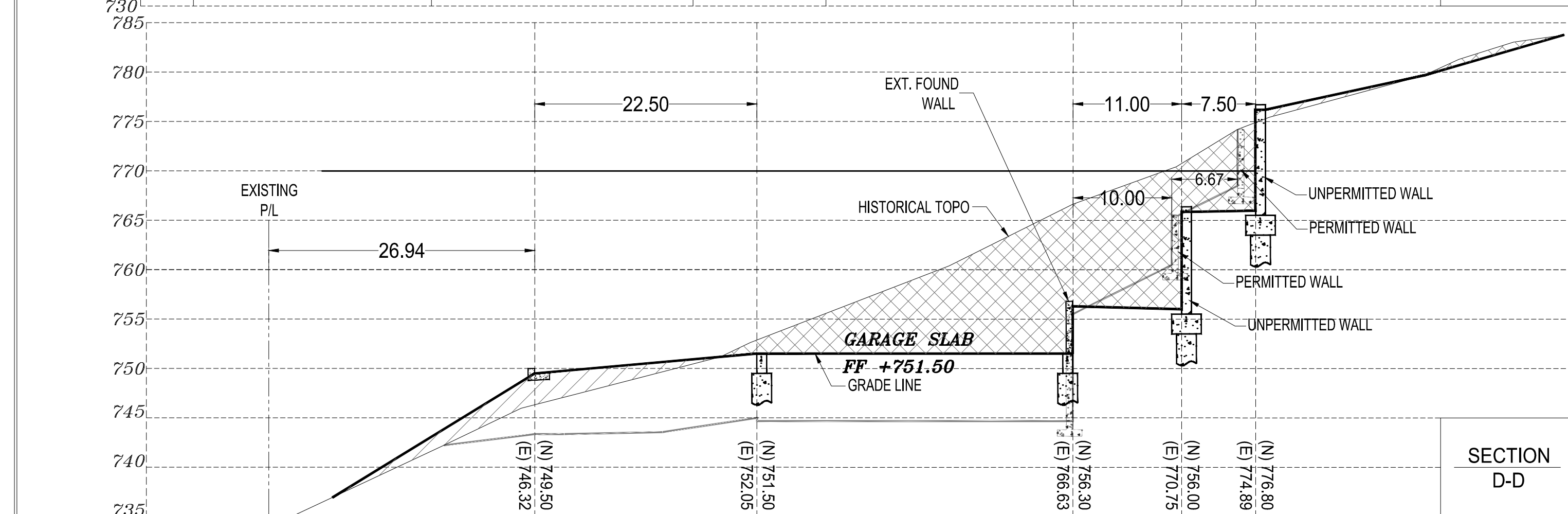
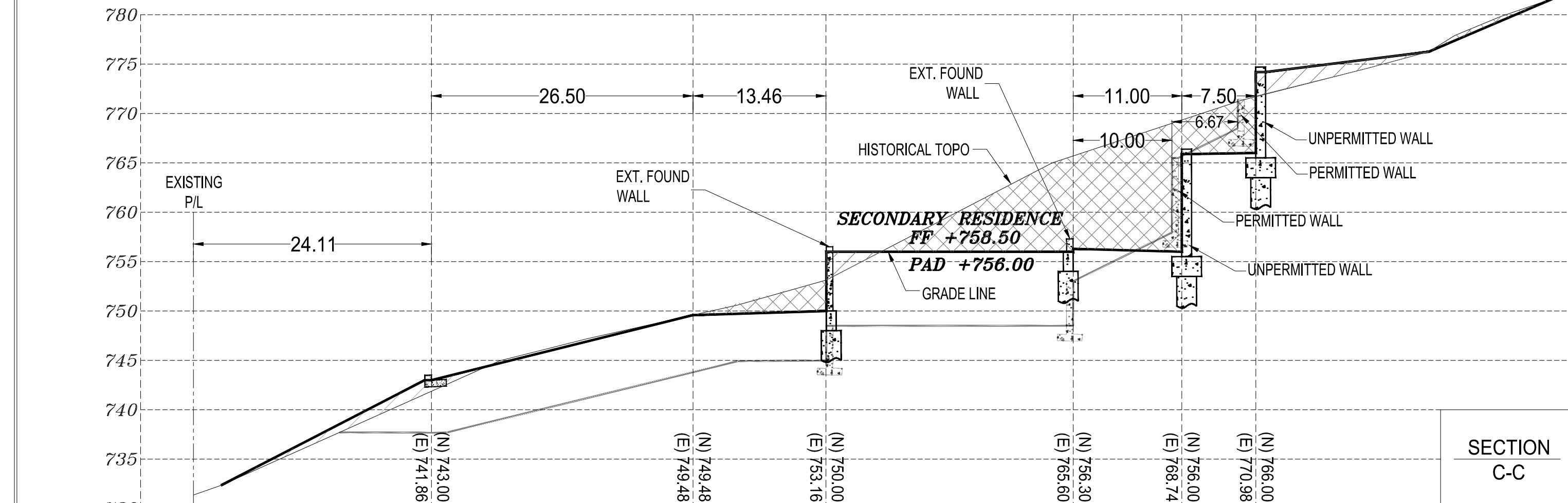
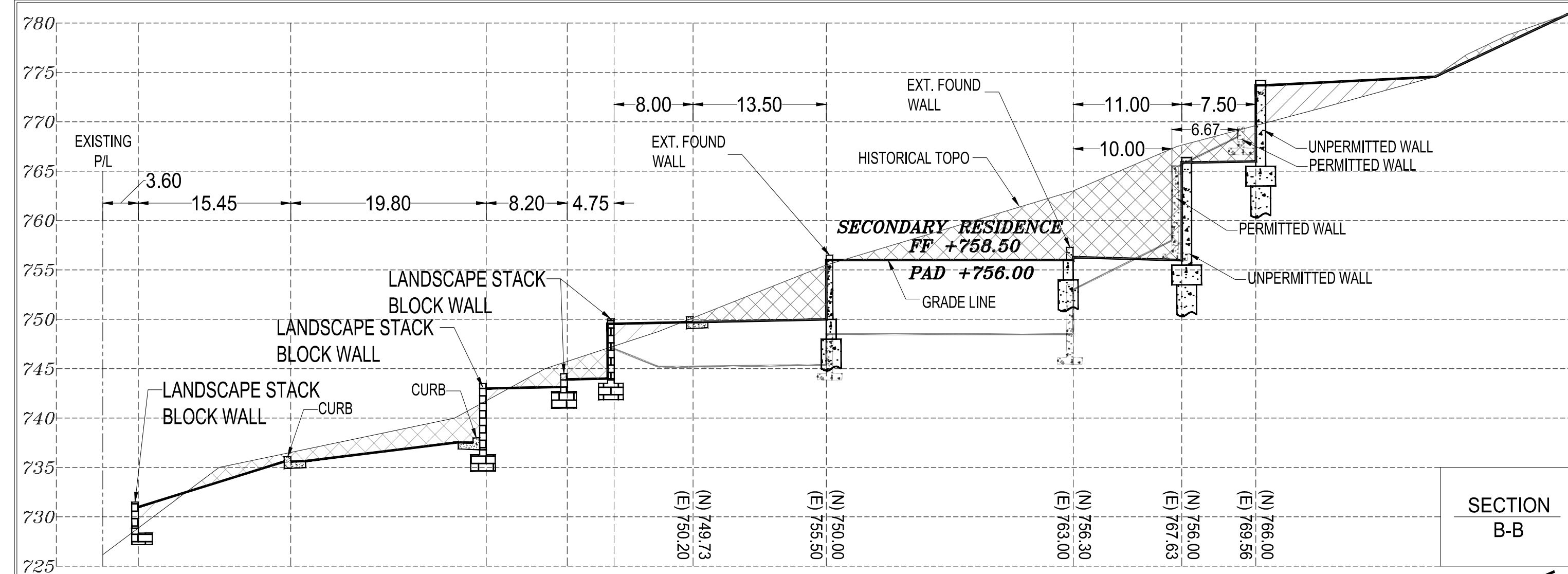
PC 32632

SHEET:

C5

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TOTAL EXCAVATION	=	2330	CU YD
TOTAL EMBANKMENT	=	356	CU YD
BALANCE	=	1936	CU YD

EARTHWORK VOLUME CALCULATIONS					
STATION	CUT A IN SF	FILL A IN SF	CUT V IN CY	FILL V IN CY	CU YD BALANCE
Section BB	250	37	46	7	-39
Section CC	283	28	303	37	-305
Section DD	450	67	350	45	-610
Section EE	531	107	473	84	-999
Section FF	376	49	716	123	-1592
Section GG	255	54	247	40	-1799
Section G'G'	185	14	163	25	-1936
			2298	362	

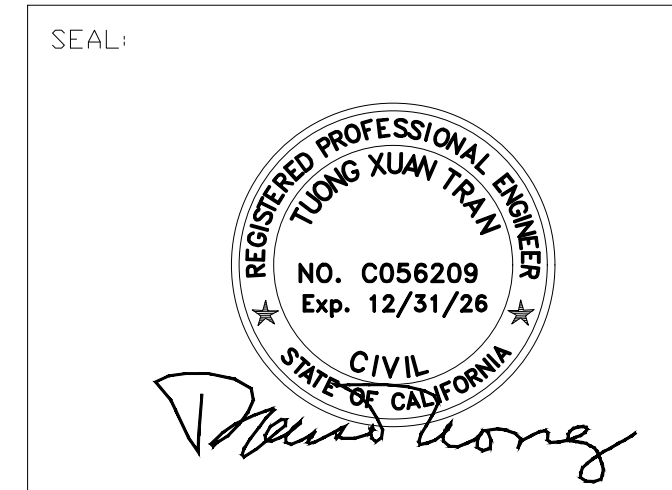
APPLICANT: VANDAYSHIA

ROAD: SIMONI DR.

COUNTY FILE NO.: PLN23-032-MOD1



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REVISION	DATE	REVISION	DATE

VANDAYSHIA ESTATE

APN 612-10-004

15900 SIMONI DRIVE
SAN JOSE, CA 95127

OWNER

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MILPITAS, CA 95036

SECTIONS AND EARTHWORK CALCULATIONS (Revision for As-Built Plan)

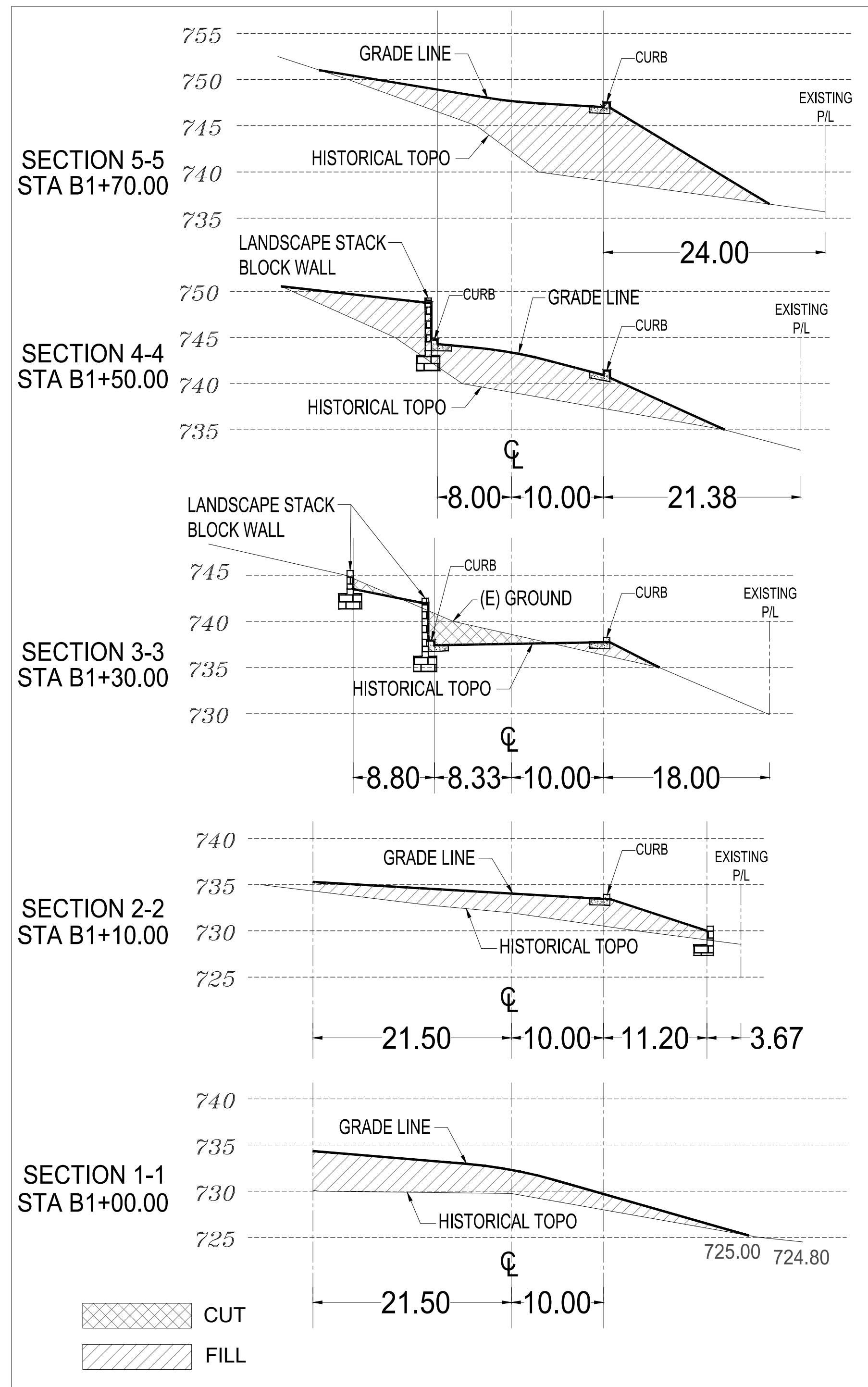
SCALE: 1"=10'

PROJECT NO:

PC 32632

SHEET:

C6
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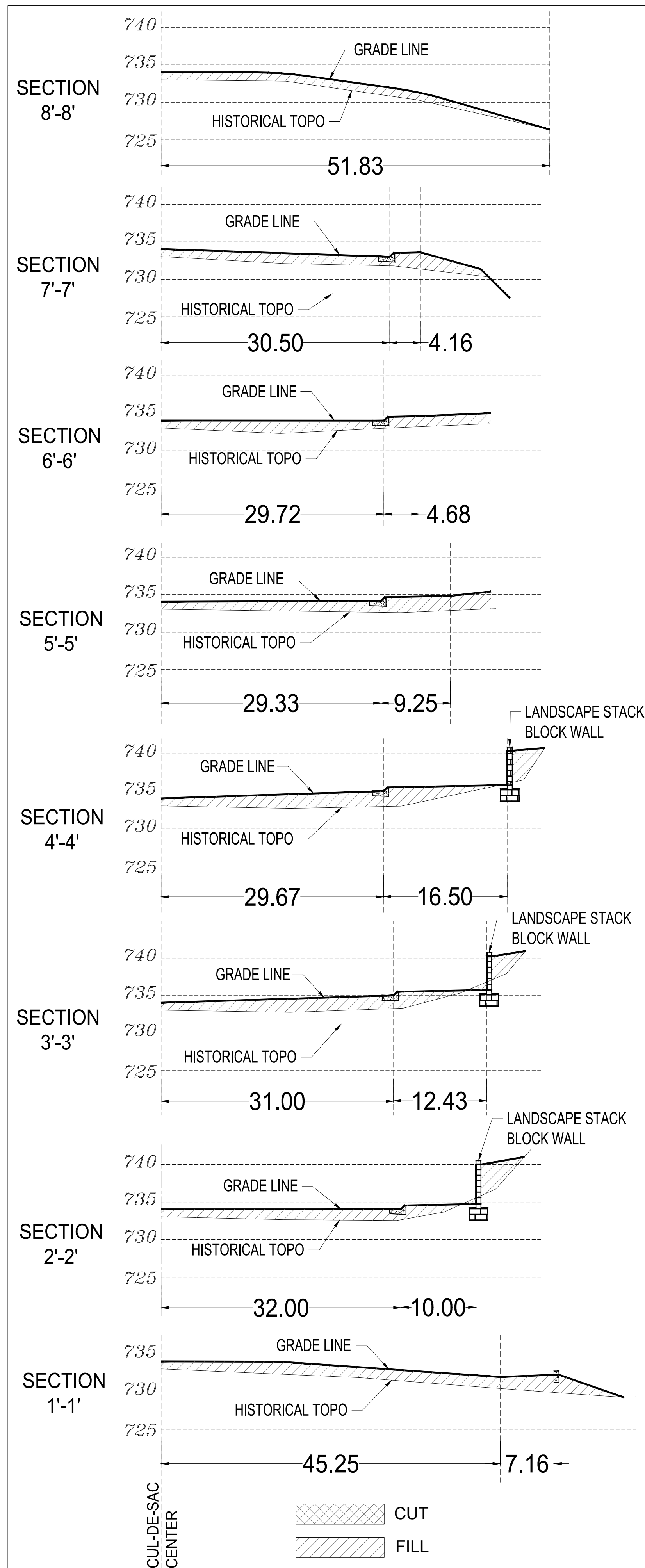


DRIVEWAY SECTIONS

SCALE: 1"=10'

EARTHWORK VOLUME CALCULATIONS					
STATION	CUT A IN SF	FILL A IN SF	CUT V IN CY	FILL V IN CY	CU YD BALANCE
Section 1-1	0	112	0	35	35
Section 2-2	0	78	9	33	35
Section 3-3	25	10	9	57	59
Section 4-4	0	143	0	124	106
Section 5-5	0	192	0	18	231
			18	249	
TOTAL EXCAVATION =			18	CU YD	
TOTAL EMBANKMENT =			249	CU YD	
BALANCE =			231	CU YD	

APPLICANT: VANDAYSHIA

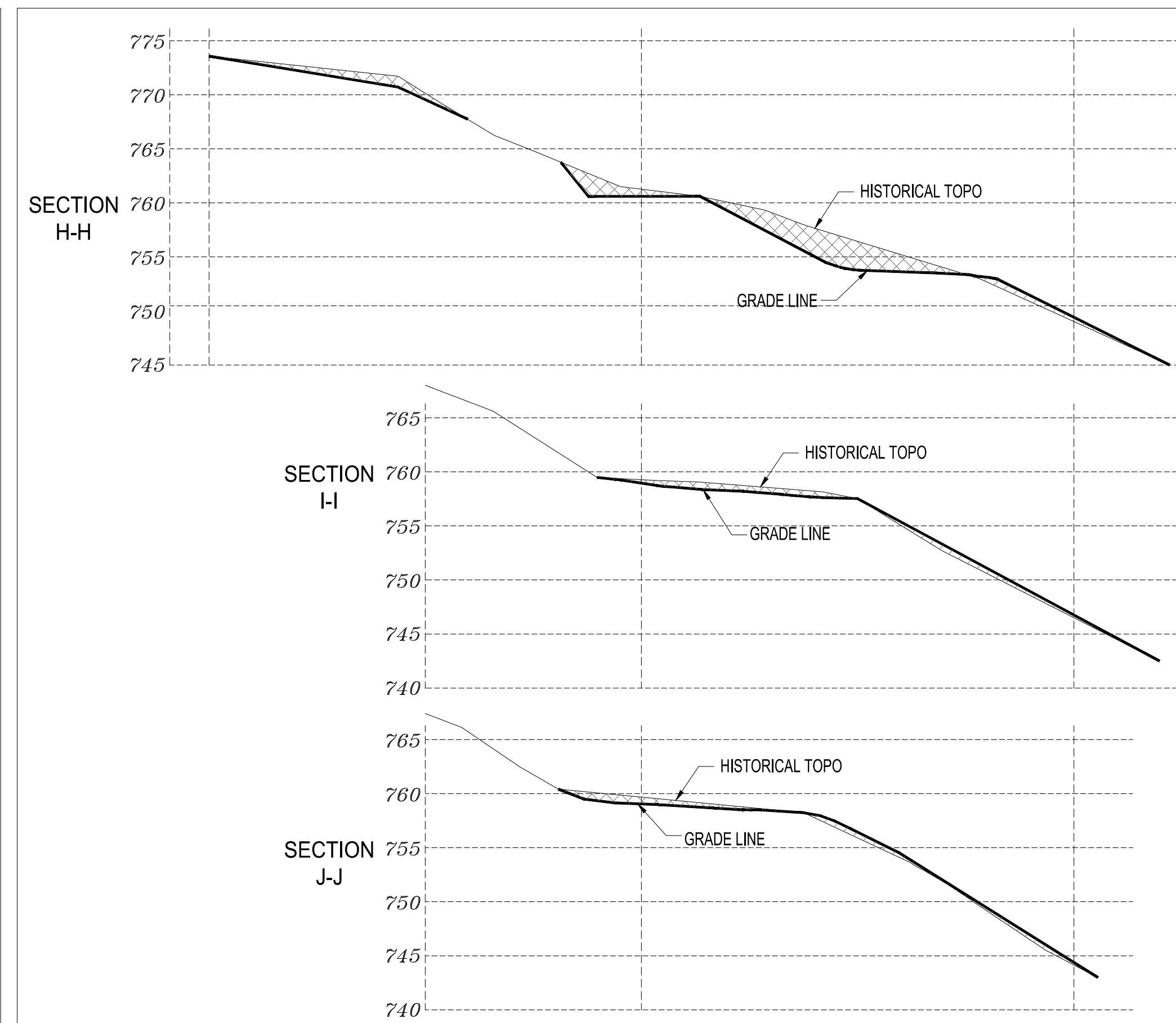


CUL-DE-SAC SECTIONS

SCALE: 1"=10'

ROAD: SIMONI DR.

COUNTY FILE NO.: PLN23-032-MOD1



SOUTHEAST OF THE MAIN
RESIDENCE SECTIONS

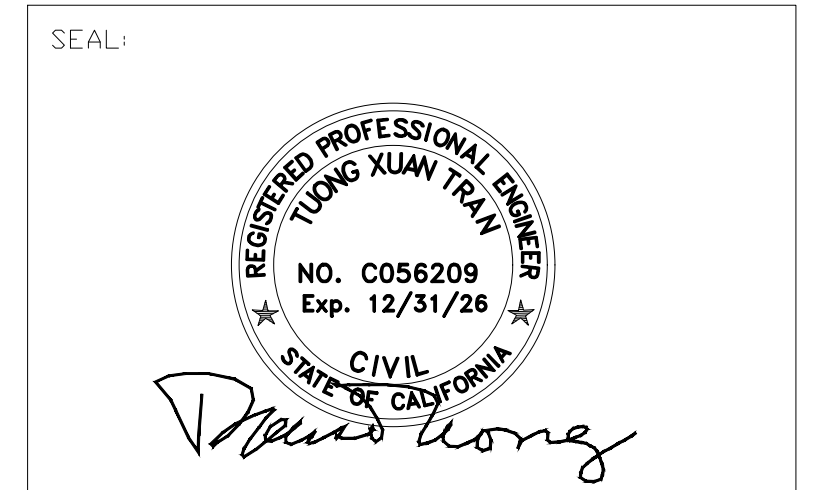
SCALE: 1"=10'

EARTHWORK VOLUME CALCULATIONS					
STATION	CUT A IN SF	FILL A IN SF	CUT V IN CY	FILL V IN CY	CU YD BALANCE
Section HH	63	6	93	9	-84
Section II	11	8	110	21	-173
Section JJ	9	9	30	25	-178
			5	4	-179
			238	59	
TOTAL EXCAVATION =			238	CU YD	
TOTAL EMBANKMENT =			59	CU YD	
BALANCE =			179	CU YD	

EARTHWORK VOLUME CALCULATIONS					
STATION	CUT A IN SF	FILL A IN SF	CUT V IN CY	FILL V IN CY	CU YD BALANCE
Section 1'-1'	0	91	0	37	36
Section 2'-2'	1	66	0	32	68
Section 3'-3'	1	70	0	36	103
Section 4'-4'	0	84	0	35	139
Section 5'-5'	0	67	0	30	168
Section 6'-6'	0	61	0	28	196
Section 7'-7'	0	58	0	25	221
Section 8'-8'	0	47	0	32	253
Section 1'-1'	0	91	0	0	253
			0	253	
TOTAL EXCAVATION =			0	CU YD	
TOTAL EMBANKMENT =			253	CU YD	
BALANCE =			253	CU YD	

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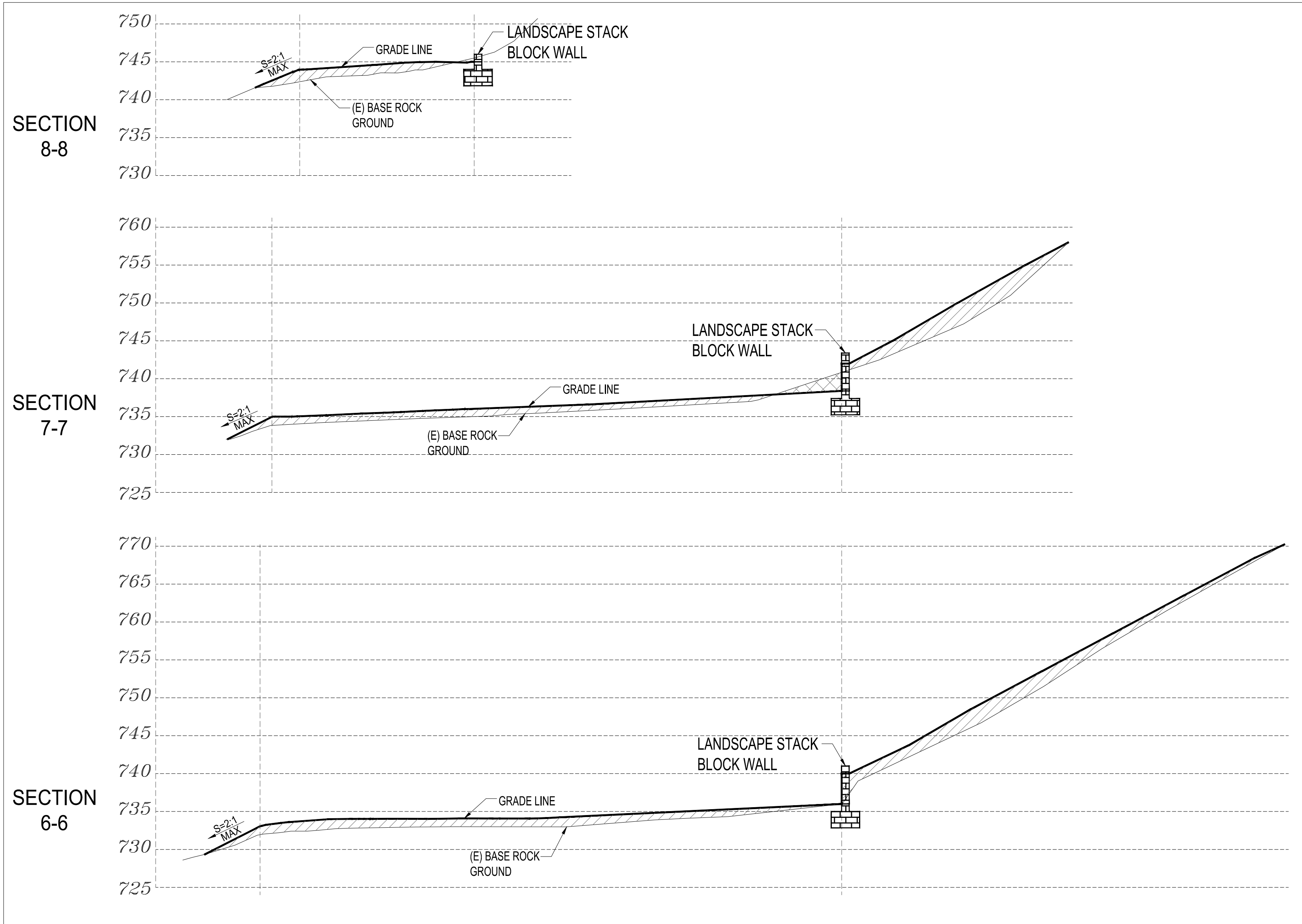
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SECTIONS AND EARTHWORK
CALCULATIONS (CONT.)
(Revision for As-Built Plan)

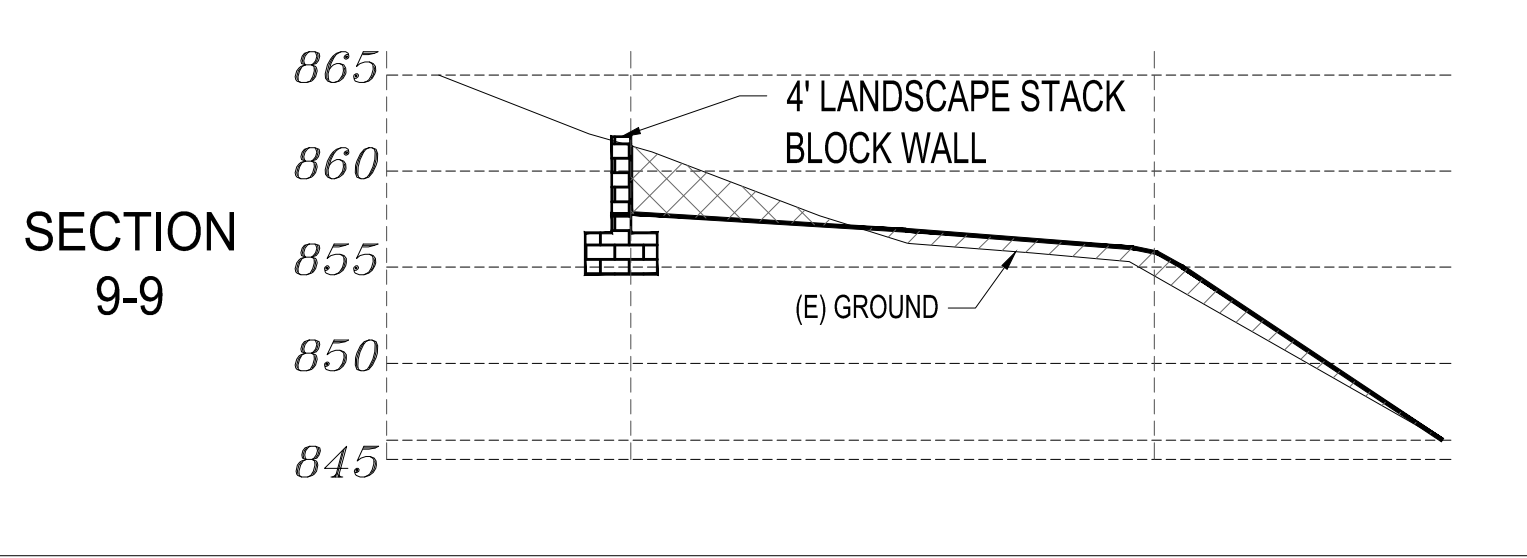
SCALE: 1"=10'

PROJECT NO:	SHEET:
PC 32632	C7
	7 of 8



THE WEST OF CUL-DE-SAC
SCALE: 1"=10'

EARTHWORK VOLUME CALCULATIONS					
STATION	CUT A IN SF	FILL A IN SF	CUT V IN CY	FILL V IN CY	CU YD BALANCE
Section 6-6	0	165	12	319	
Section 7-7	11	122	13	167	307
Section 8-8	1	28			461
			25	486	
TOTAL EXCAVATION =			25	CU YD	
TOTAL EMBANKMENT =			486	CU YD	
BALANCE =			461	CU YD	



EARTHWORK VOLUME CALCULATIONS					
STATION	CUT A IN SF	FILL A IN SF	CUT V IN CY	FILL V IN CY	CU YD BALANCE
	0	0	22	10	
Section 9-9	21	10	22	10	-12
	0	0			-24
			44	20	
TOTAL EXCAVATION =			44	CU YD	
TOTAL EMBANKMENT =			20	CU YD	
BALANCE =			24	CU YD	

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**SECTIONS AND EARTHWORK
CALCULATIONS (CONT.)
(Revision for As-Built Plan)**

SCALE: 1"=10'

PROJECT NO:	SHEET:
PC 32632	C8 8 of 8