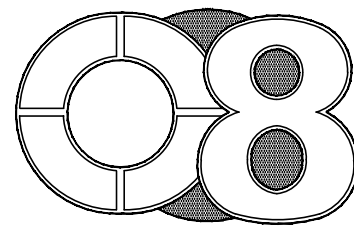


NEW SINGLE FAMILY HOUSE

ZHU RESIDENCE

1755 MORA CT.
LOS ALTOS, CALIFORNIA



DESIGN STUDIO

4180 WATKINS WAY
SAN JOSE, CA 95155
408.375.0041

REVISIONS

These drawings are instruments of service & are the property of 08 Design Studio. All designs and other information on these drawings are for use on the specified project and shall not be used without the expressed written consent of 08 Design Studio. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown by these drawings.

DESIGN BY: CHAD NGUYEN

Chad Nguyen

PROJECT

NEW SINGLE FAMILY HOUSE

ZHU
RESIDENCE

1755 MORA CT.
LOS ALTOS, CALIFORNIA

SHEET CONTENTS

TITLE SHEET

DATE 10-12-24
SCALE AS SHOWN
JOB 2024

SHEET

A-0

ABBREVIATIONS

& < ⊙ ⊥ # (E) ACOUST. A.O. ADJ. AGGR. AL APPROX. ARCH. ASB. ASPH. BO. BITUM. BLDG. BLK. BLKG. BM. BOT. CAB. C.B. CEM. CER. CL. CLG. CLKG. CLO. CLR. COL. CONC. CONN. CONSTR. CONT. CORR. CTSK. CNTR. CTR. DBL. DEPT. D.F. DET. DIA. DIM. DISP. DN. D.O. DR. DNR. D.S. D.S.P. DWC. E EA.	AND ANGLE AT CENTERLINE DIAMETER OR ROUND PERPENDICULAR POUND OR NUMBER EXISTING ACOUSTICAL AREA DRAIN ADJUSTABLE AGGREGATE ALUMINUM APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT BOARD BITUMINOUS BUILDING BLOCK BLOCKING BEAM BOTTOM CABINET CATCH BASIN CEMENT CERRAMIC CAST IRON CEILING CAULKING CLOSET CLEAR COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CENTER DOUBLE DEPARTMENT DRINKING FOUNTAIN DOUGLAS FIR DETAIL DIAMETER DIMENSION DISPENSER DOWN DOOR OPENING DRAWER DOWN SPOUT DRY STAND PIPE DRAWING EAST EACH	E.J. ELEVATION ELEC. ELEV. EMER. ENCLOSURE E.P. EQ. EQPT. E.W.C. EXST. EXPO. EXP. EXT. F.A. F.B. FDN. F.E. F.E.C. F.H.C. FIN. FL. FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FFRF. F.S. FT. FTG. FURR. FUT. GA. GALV. G.B. GLASS GND. GR. GYPSUM H.B. H.C. HOLLOW CORE HDWD. HWR. H.M. HORZ. HR. HGT. ID. INSULATION INT. JAN. JNT. KIT. LAB. LAM. LAV. LKR. LT.	EXPANSION JOINT ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ELECTRICAL PANELBOARD EQUIL. ELECTRIC WATER COOLER EXISTING EXPOSED EXPANSION EXTERIOR FIRE ALARM FLAT BAR FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE HOSE FINISH FLOOR FLASHING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUDS FIREPROOF FULL SIZE FOOT OR FEET FOOTING FURRING FUTURE GAUGE GALVANIZED GRAB BAR GLASS GROUND GRADE GYPSUM HOSE BIB HOLLOW CORE HARDWARE HORIZONTAL HOLLOW METAL HOUR HEIGHT INSIDE DIAMETER(DIM.) INSULATION INTERIOR JANITOR JOINT KITCHEN LABORATORY LAMINATE LAVATORY LOCKER LIGHT	MAX. M.C. MECH. MEMB. MET. MFR. MH. MIN. MISC. M.O. MTD. MUL. N. N.I.C. NO. NOM. N.T.S. OBS. O.C. O.D. O.P. OPNG. OPP. PRCST. PL. P.LAM. PLAS. PLYMD. PLYND. PR. P.T. P.T.D. P.T.D./R P.T.N. Q.T. R. RAD. R.D. REF. REFR. REGISTER REINFR. REQUIRED RESIL. RESILIENT RM. R.O. R.OUGH OPENING RWD. RAIN WATER LEADER R.W.L. S. S.C. SEAT COVER DISPENSER SCHED. S.D. SECT. SECT. SECT. SH. SHR. SHT. SIM.	MAXIMUM MEDICINE CABINET MEMBRANE METAL MANUFACTURER MANHOLE MINIMUM MISCELLANEOUS MASONRY OPENING MOUNTED MULLION NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OBSOLETE ON CENTER OUTSIDE DIAMETER(DIM.) OFFICE OPENING OPPOSITE PRECAST PLATE PLASTIC LAMINATE PLASTER PLYWOOD PAIR POINT PAPER TOWEL DISPENSER PAPER TOWEL/RECEPTACLE PARTITION QUARRY TILE RISER RADIUS ROOF DRAIN REFERENCE REFRIGERATOR REGISTER REINFORCED REQUIRED RESILIENT ROOM ROUGH OPENING REDWOOD RAIN WATER LEADER SOUTH SOLID CORE SEAT COVER DISPENSER SCHEDULE SOAP DISPENSER SECTION SECTION SHELF SHOWER SHEET SIMILAR	S.N.D. S.N.R. SPEC. SQ. SST. S.S.K. STA. STD. STD. STL. STOR. STOR. STR. SUSP. SYN. SYMMETRICAL T.D. T.B. T.C. TEL. TERRAZZO T.G. THK. T.P. T.P.D. T.V. T.V. T.W. TYP. UNF. UNFINISHED U.O.N. UR. VERT. VEST. W. W/ W.C. WD. WOOD WITHOUT WP. WATERPROOF WSCOT. WT. WEIGHT	SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPTACLE SQUARE STAINLESS STEEL SERVICE SINK STATION STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMMETRICAL TREAD TOWEL BAR TOP OF CURB TOILET PAPER DISPENSER TERRAZZO TONGUE AND GROOVE THICK TOP OF PAVEMENT TYPICAL TOP OF WALL TELEVISION TOP OF WALL UNFINISHED UNLESS OTHERWISE NOTED URINAL VERTICAL VESTIBULE WEST WITH WATER CLOSET WOOD WITHOUT WATERPROOF WAINSCOT WEIGHT
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SHEET INDEX

A-0	TITLE SHEET
<u>CIVIL</u>	
1	TOPO MAP
C-1	TITLE SHEET
C-2	OVERALL SITE PLAN
C-3	DEMOLITION PLAN
C-4	GRADING AND DRAINAGE PLAN
C-5	BUILDING CROSS SECTIONS
C-6	UTILITY PLAN
C-7	EROSION CONTROL PLAN
C-8	EROSION CONTROL DETAILS
C-9	EROSION CONTROL DETAILS -2

ARCHITECTURAL

D-1.0	DEMOLITION PLAN
AC-1	AREA CALCULATIONS
A-1.0	PROPOSED SITE PLAN
A-2.0	FLOOR PLAN
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A-5.0	SECTIONS
CG-1	GREEN BUILDING CHECKLIST
CG-2	GREEN BUILDING CHECKLIST
CG-3	GREEN BUILDING CHECKLIST
CG-4	GREEN BUILDING CHECKLIST

PROJECT INFO.

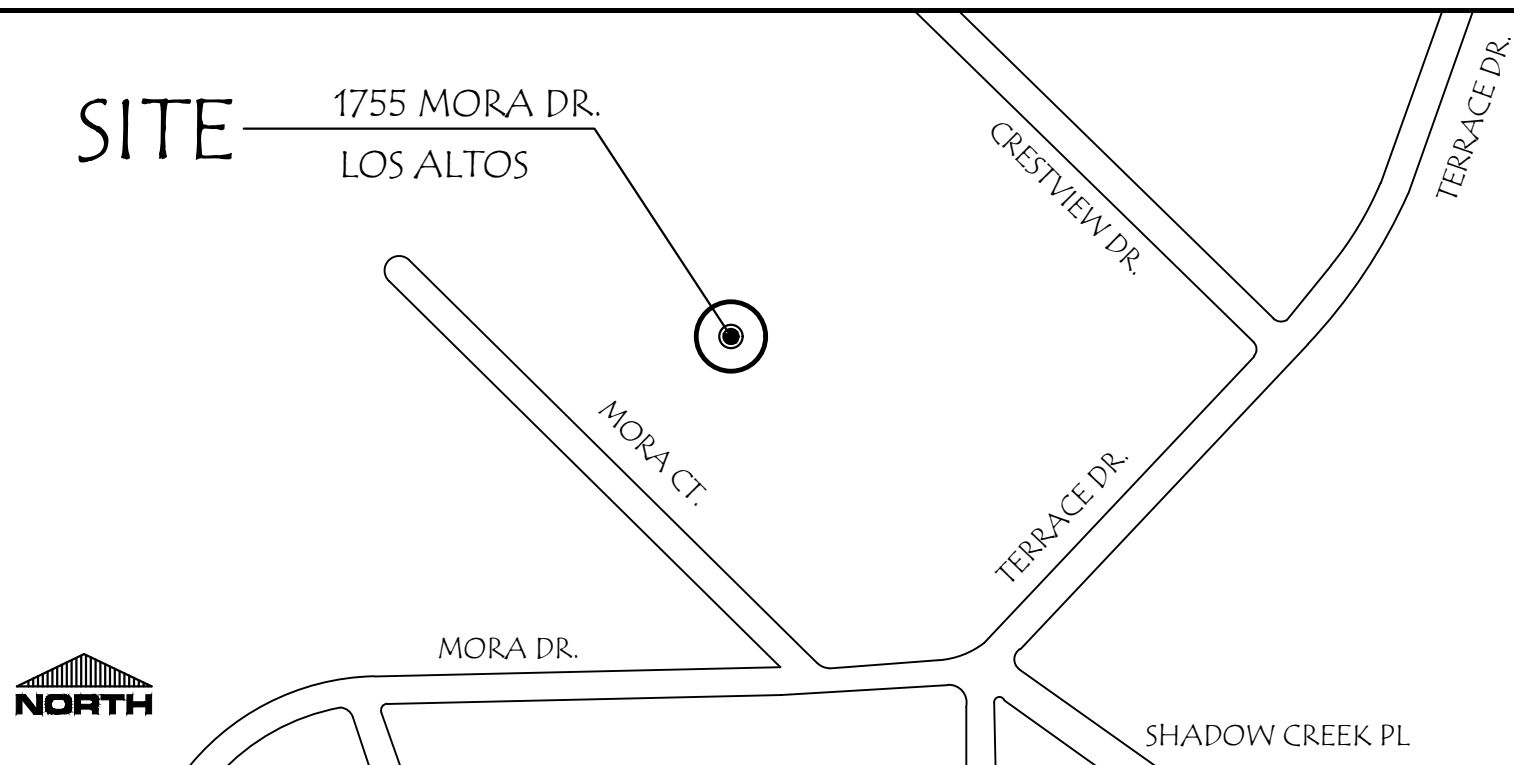
ASSESSOR'S PARCEL NUMBER	311-11-137
TYPE OF CONSTRUCTION:	Ⅴ-B
ZONE:	R1-10
LOT AREA:	19,836.8 SF.
HISTORICAL:	NO
OCCUPANCY GROUP:	R3/U
LOT AREA:	19,836.8 SF.
FLOOR PLAN	
LIVING AREA:	4,048 SF.
GARAGE:	435 SF.
TOTAL STRUCTURE:	<u>4,483 SF.</u>

FAR: 4,483 / 19,836.8 = 0.226 (22.6%)

COVERED PATIO: 415 SF

LOT COVERAGE:
(4,483 + 415) / 19,836.8 = 0.247 (24.7%)

VICINITY MAP



SCOPE OF WORK

NEW CONSTRUCTION OF 4,048 SF. SINGLE FAMILY HOUSE WITH 2 CAR ATTACHED GARAGE

CONTACT INFO.

OWNER:	TIANLU ZHU 175 BEVERLY AVE LOS ALTOS, CA
DESIGNER:	08 DESIGN STUDIO 4180 WATKINS WAY SAN JOSE, CA 95135 408-375-0041

BUILDING CODES

THIS PROJECT SHALL COMPLY WITH
2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING CODE
LOCAL COUNTY ORDINANCE

COUNTY STAMP



ENERGY CONSULTANT

CARSTAIRS ENERGY INC.
2238 BAYVIEW HEIGHTS, SUITE E
LOS OSOS, CA
805-904-9048

CONSUL. LANDSCAPE

CONSUL. SURVEY ENGINEERS

ROBERT J CRAIG
966 ELSIE MAE DRIVE
BOULDER CREEK, CA
831-359-1750

CONSUL. CIVIL ENGINEERS

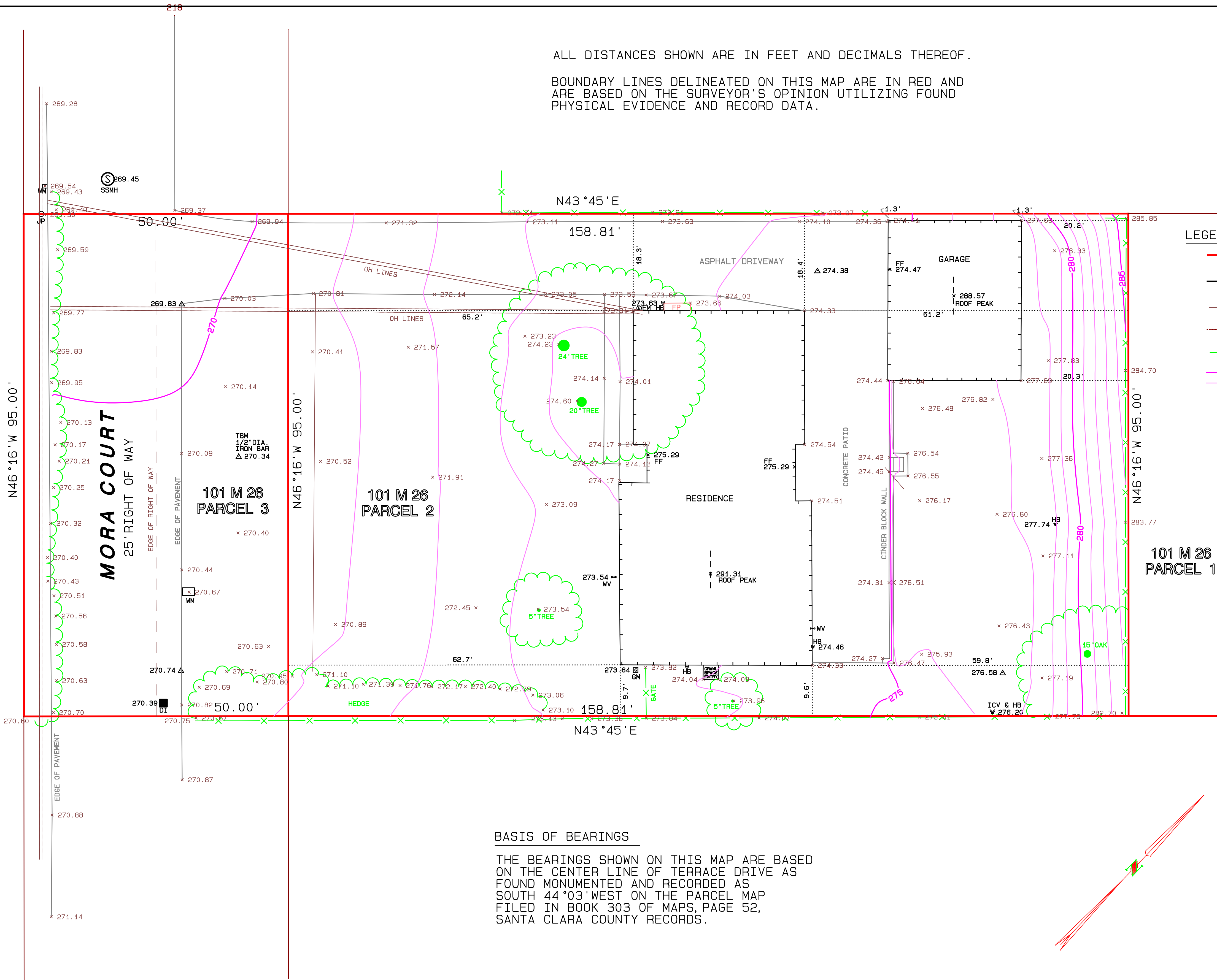
LC ENGINEERING
598 E SANTA CLARA ST #270
SAN JOSE, CA
408-806-7187

ENGINEERS CONSULTING STRUCTURAL

WESLEY LIU ENGINEERING
7246 SHARON DR #0
SAN JOSE, CA
408-973-1839

Thu Jun 27 14:22:36 2024

K:\AAA RJC\2024\24050 - 24099\C-24052 - Zhu\C-24052.pro



ATTENTION

THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. I SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTER LINE OF TERRACE DRIVE AS FOUND MONUMENTED AND RECORDED AS SOUTH 44°03' WEST ON THE PARCEL MAP FILED IN BOOK 303 OF MAPS, PAGE 52, SANTA CLARA COUNTY RECORDS.

BASIS OF ELEVATIONS

ELEVATIONS SHOWN ON THIS MAP ARE BASED ON THE NAVD 88 DATUM UTILIZING TRIMBLE RTX HIGH PRECISION CORRECTION SERVICES.

NOTES

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A REQUESTED TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY. APPURTENANT EASEMENTS, IF ANY, MAY NOT BE SHOWN ON THIS MAP.

TECHNICAL INFORMATION

ASSESSOR'S PARCEL NUMBER: 331-11-137
ADDRESS OF PROJECT: 1755 MORA COURT
LOS ALTOS, CA
CLIENT'S NAME: TIANLU ZHU

AB AGGREGATE BASE
AC ASPHALT CONCRETE
AD AREA DRAIN
AE ANCHOR EASEMENT
BB BUBBLER BOX
BLDG BUILDING
BSL BUILDING SETBACK LINE
BW BOTTOM OF WALL
CG /BACK OF WALK
CURB & GUTTER
CLF CENTERLINE
CHAIN LINK FENCE
CO SANITARY SEWER CLEANOUT

GM GAS METER
HP HI POINT
INGR INGRESS
INV INVERT
LIP LIP OF GUTTER
LS LANDSCAPED AREA
MAX MAXIMUM
MH MANHOLE
MIN MINIMUM
N&S NAIL AND SHINER
NTS NOT TO SCALE
OH OVERHEAD
OG ORIGINAL GROUND
OG PAVEMENT FINISH GRADE
PA PATIO
PAD PAD ELEVATION
P PROPERTY LINE
PEE PEDESTRIAN EQUESTRIAN EASEMENT

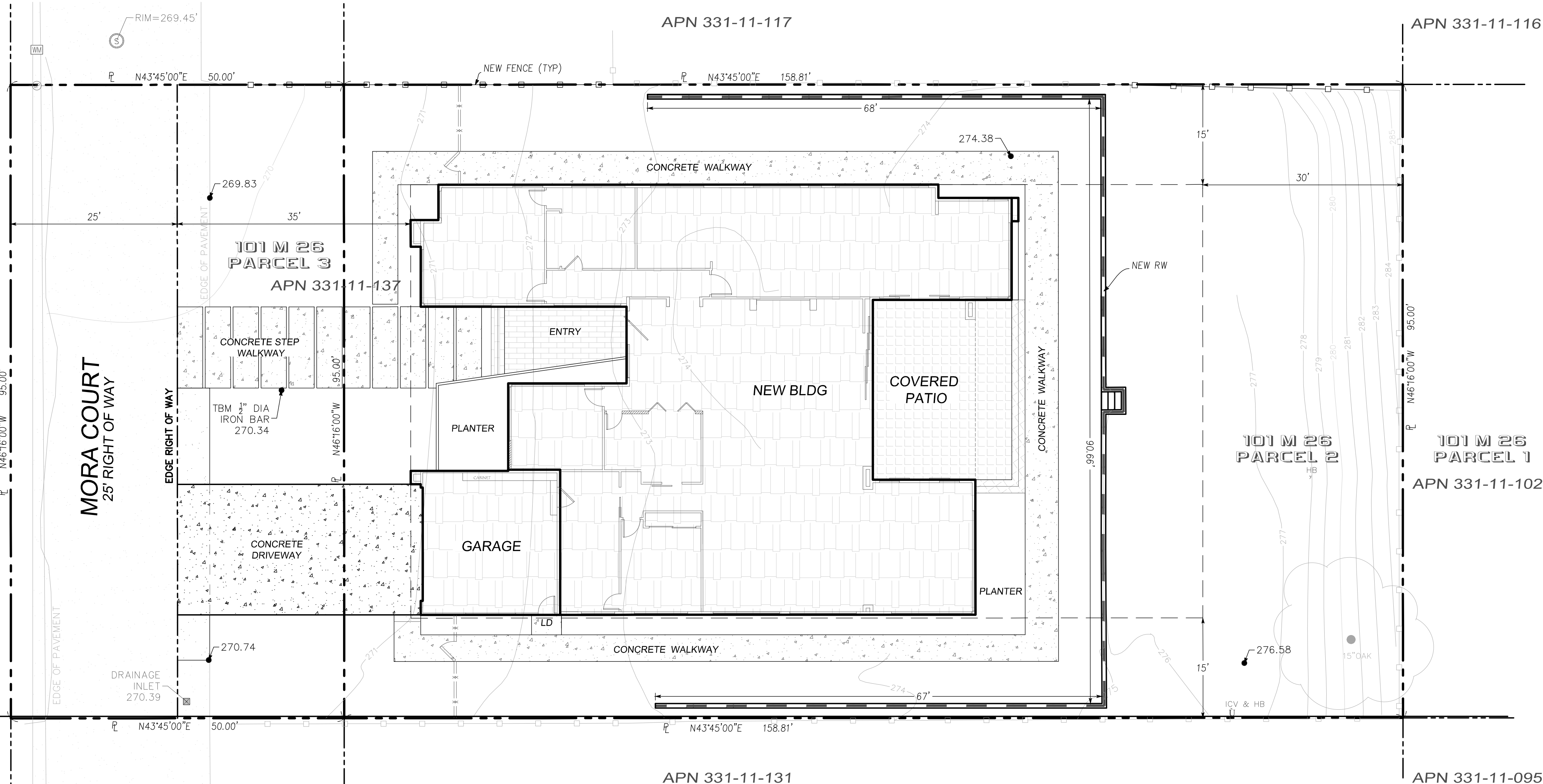
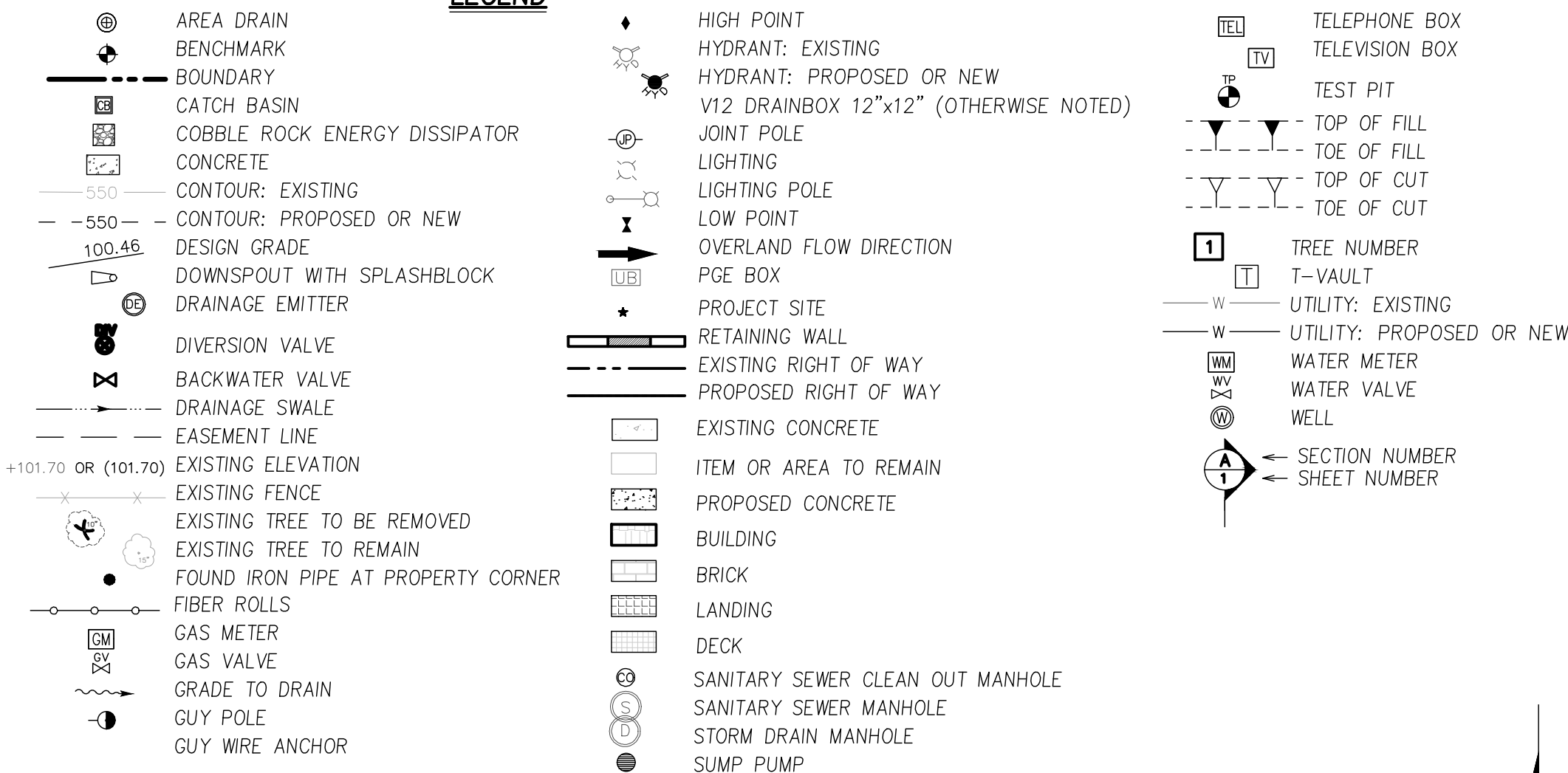
COP CURB OPENING
CONC CONCRETE
CSD COUNTY STANDARD DETAIL
DE DRAINAGE EMITTER
DI DRAINAGE INLET
DS DOWNSPOUT
DWY DRIVEWAY
EA EASEMENT
ELEV ELEVATION
EGR EGRESS
EM ELECTRIC METER
E(OH) ELECTRIC OVERHEAD

PERF PERFORATED
PORCH PORCH
PP POWER POLE PROP. PROPOSED
PSE PRIVATE STORM DRAINAGE EASEMENT
PSE PUBLIC SERVICE EASEMENT
PUE PUBLIC UTILITY EASEMENT
PVMT PAVEMENT
PVC POLYVINYL CHLORIDE
R RADIUS
RW RETAINING WALL
REMOVE REMOVE
R/W RIGHT OF WAY
SD STORM DRAIN
SD STORM DRAIN EASEMENT
SDE SLOPE EASEMENT
SE SLOPE EASEMENT PRIVATE
SEP SANITARY SEWER/LATERAL
SS SANITARY SEWER EASEMENT
SSE SANITARY SEWER EASEMENT

E(UG) ELECTRIC UNDERGROUND
EP EDGE OF PAVEMENT
EX EXISTING
FC FACE OF CURB
FD FOUND
FF FINISH ELEVATION OF SUBFLOOR
FG GROUND FINISH GRADE
FH FIRE HYDRANT
FL FLOW LINE
FP FIREPLACE
G GARAGE SLAB ELEVATION/GAS LINE
GPE GENERAL PUBLIC EASEMENT
GSB GRADING SETBACK
HOSE BIB
ICV IRRIGATION CONTROL VALVES
STA STATION
STD STANDARD COUNTY DETAIL
SW SIDEWALK
TB TOP OF BANK
TC TOP OF CURB
TEMP TEMPORARY
TOC TOP OF COVER
TOE TOP OF BANK
TG TOP OF GRATE
TPF TREE PROTECTION FENCE
TW TOP OF WALL
TYP TYPICAL
SD STORM DRAIN
VG VALLEY GUTTER
W WATER
WCE WIRE CLEARANCE EASEMENT
WLK WALKWAY
WM WATER METER
WOE WIRE OVERHANG EASEMENT
WV WATER VALVE

ABBREVIATIONS

LEGEND



PRE DEVELOPMENT IMPERVIOUS AREA

ROAD WAY	2,547	SF
EX BLDG	2,274	SF
GARAGE	764	SF
PATIO	1,035	SF
WALKWAY	132	SF
DRIVEWAY	1,931	SF
TOTAL:	8,683	SF

POST DEVELOPMENT IMPERVIOUS AREA

ROAD WAY	2,393	SF
BLDG	4,503	SF
PATIO	630	SF
LANDING	14	SF
DRIVEWAY	719	SF
WALKWAY	2,014	SF
TOTAL:	10,273	SF

BASIS OF ELEVATIONS

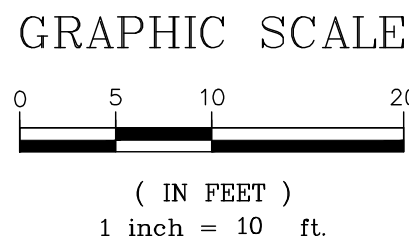
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BASIS OF BEARINGS

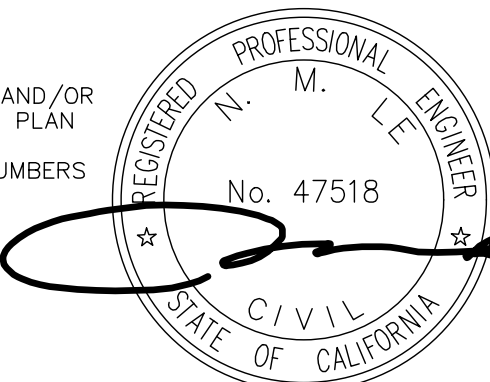
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APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS



APPLICANT : TIANLU ZHU

ROAD NAME : MORA COURT

COUNTY FILE NO :

FILE NO.	2	OF	9	Los Altos	CONTRACT NO.	PROJECT NO.	California	OVERALL SITE PLAN LANDS OF ZHU 1755 MORA COURT APN 331-11-137	ENGINEERING 598 E Santa Clara St, Ste270 San Jose, CA 95121 Phone: (408) 806-7187 Fax: (408) 583-4006	DESIGNED HP	CHECKED HW	DATE 11/29/2024	DATE 11/29/2024	DATE 11/29/2024	DATE 11/29/2024	BY	DATE	AP'D	REVISIONS	NO.
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AB AGGREGATE BASE
AC ASPHALT CONCRETE
AD AREA DRAIN
AE ANCHOR EASEMENT
BB BUBBLER BOX
BLDG BUILDING
BSL BUILDING SETBACK LINE
BW BOTTOM OF WALL
CG CURB & GUTTER
CLF CENTERLINE
CO CHAIN LINK FENCE
SANITARY SEWER CLEANOUT

GM GAS METER
HP HI POINT
INGR INGRESS
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MH MANHOLE
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N&S NAIL AND SHINER
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OG PAVEMENT FINISH GRADE
PA PATIO
PAD PAD ELEVATION
P PROPERTY LINE
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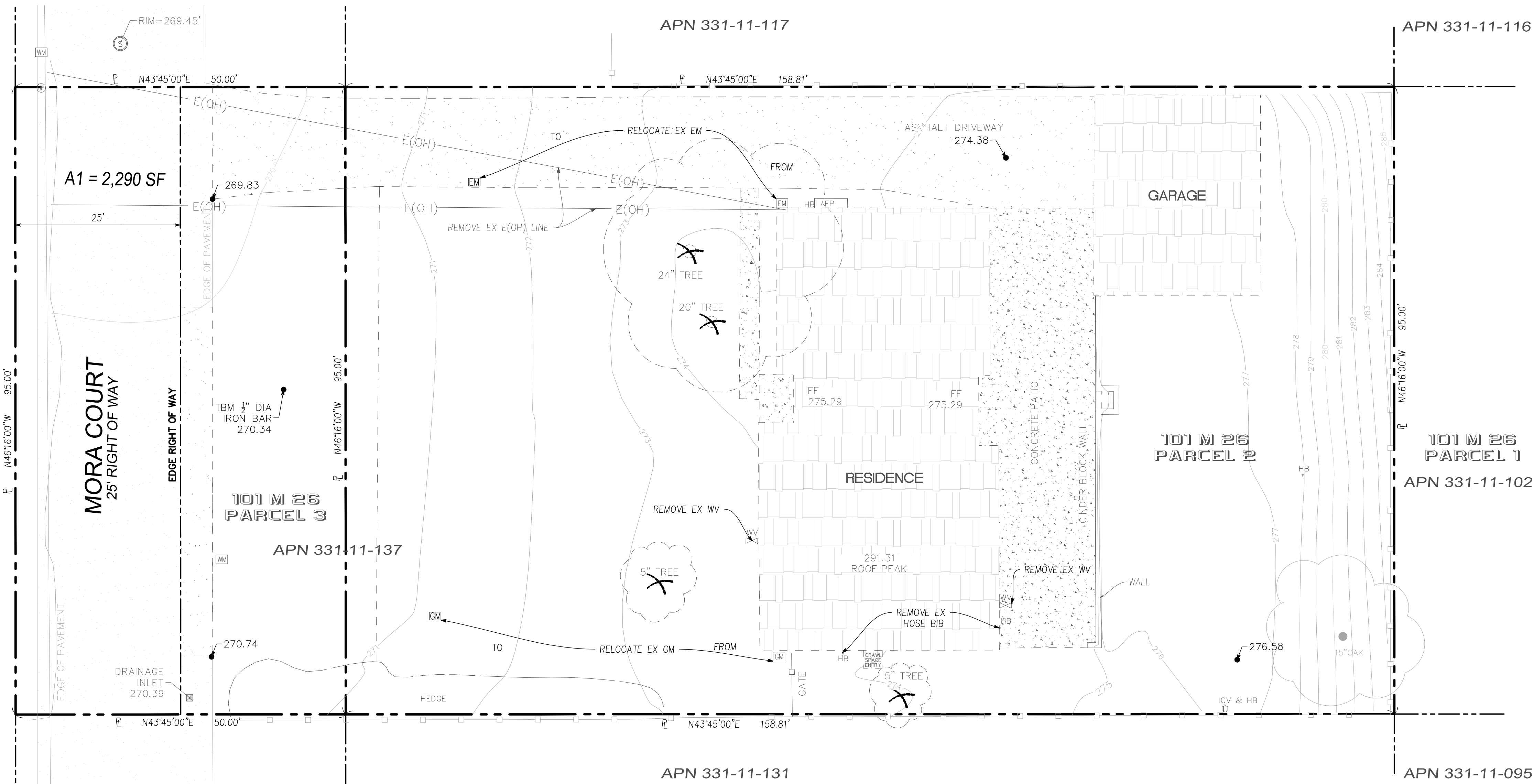
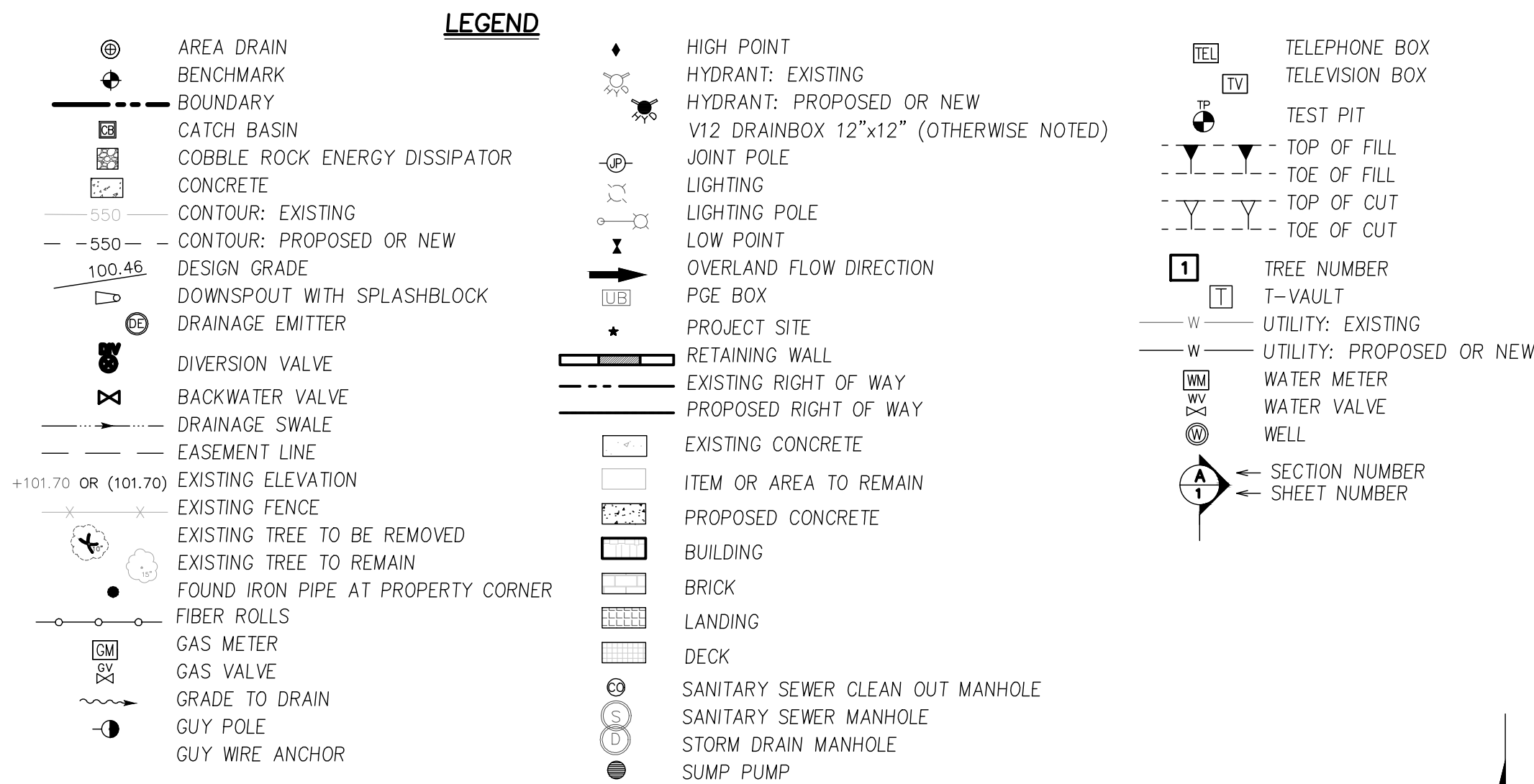
COP CURB OPENING
CONC CONCRETE
CSD COUNTY STANDARD DETAIL
DE DRAINAGE Emitter
DI DRAINAGE INLET
DS DOWNSPOUT
DWY DRIVEWAY
EA EASEMENT
ELEV ELEVATION
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PUE PUBLIC UTILITY EASEMENT
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PVC POLYVINYL CHLORIDE
R RADIUS
RW RETAINING WALL
REM REMOVE
R/W RIGHT OF WAY
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SDE STORM DRAIN EASEMENT
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WLK WALKWAY
WM WATER METER
WOE WIRE OVERHANG EASEMENT
WV WATER VALVE

ABBREVIATIONS

LEGEND



BASIS OF ELEVATIONS

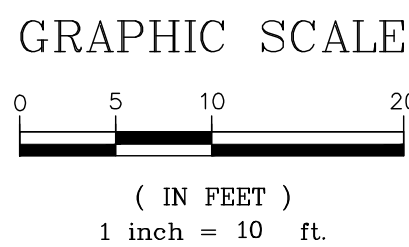
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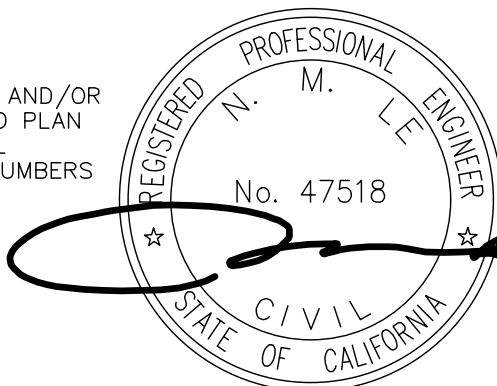
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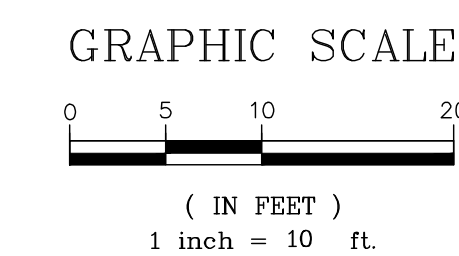
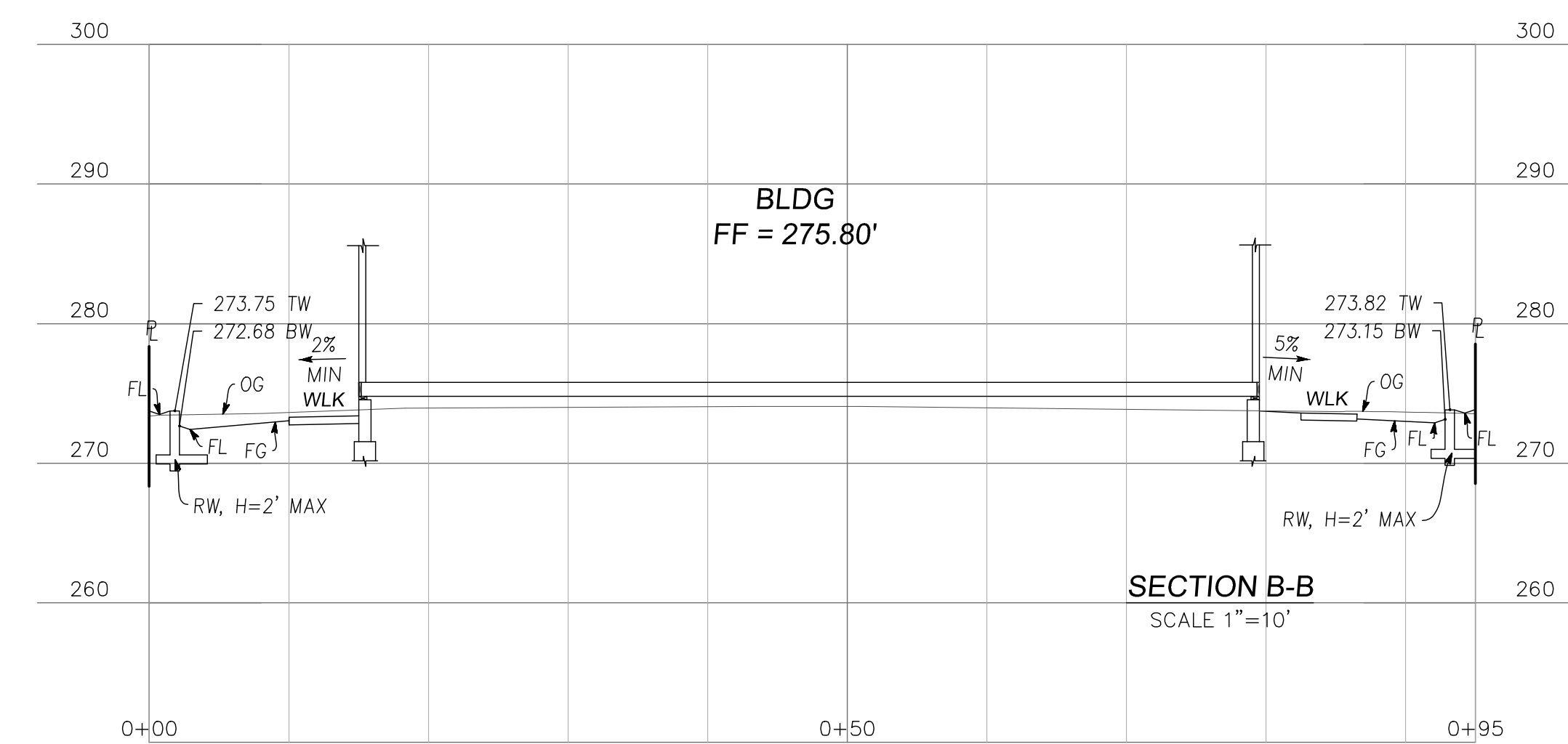


APPLICANT : TIANLU ZHU

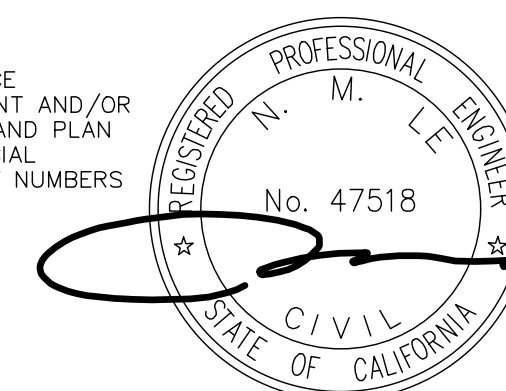
ROAD NAME : MORA COURT

COUNTY FILE NO :

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HP		DESIGNED		DATE		11/29/2024		HP		DRAWN		DATE		11/29/2024		SCALE		CHECKED		BY		DATE		APP'D		REVISIONS		NO.	



APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
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HP	DRAWN	11/29/2024
SCALE		
HV	CHECKED	11/29/2024

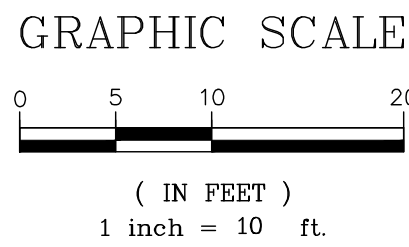
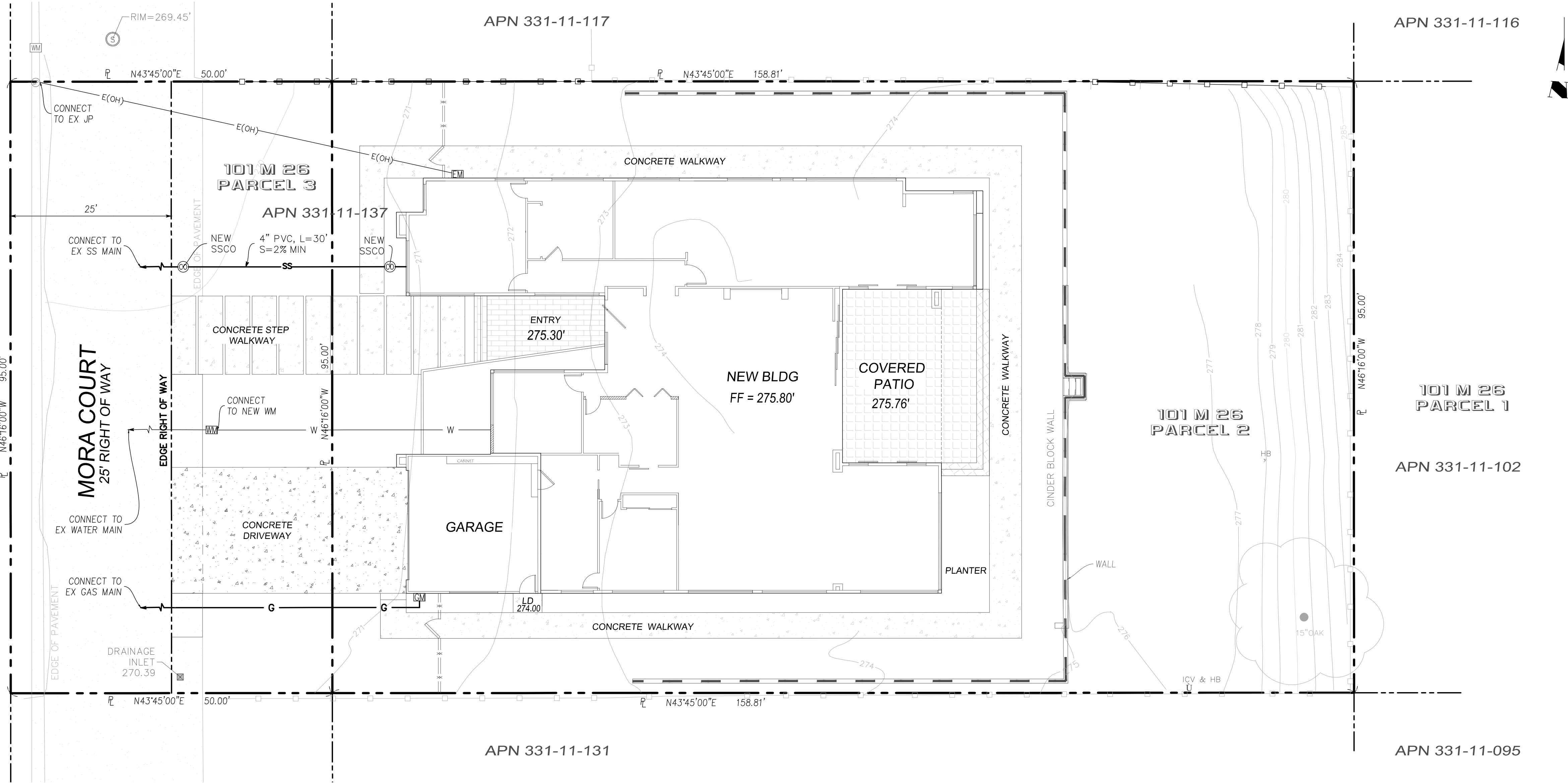
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ENGINEERING

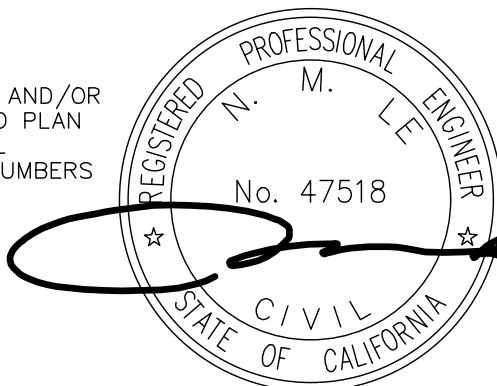
598 E Santa Clara St, Ste270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

DRAWING NO.	C7	BUILDING CROSSCTIONS LANDS OF ZHU 1755 MORA COURT APN 331-II-137	Los Altos	California	PROJECT NO.
SHEET NO. 5 OF 9		CONTRACT NO.			

COUNTY FILE NO :



APPROVED FOR ISSUANCE.
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS



APPLICANT : TIANLU ZHU

ROAD NAME : MORA COURT

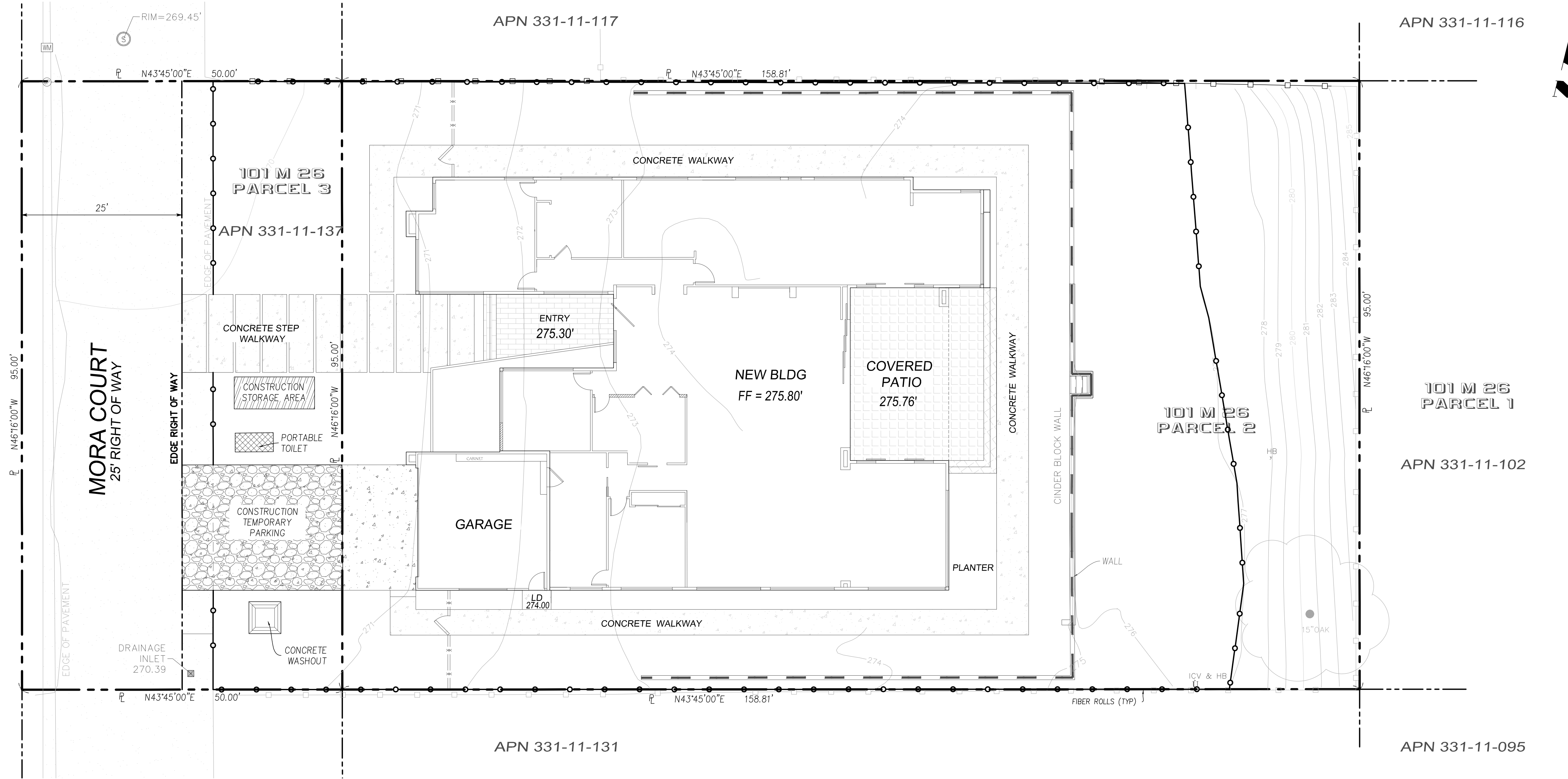
COUNTY FILE NO :

DRAWING NO.		PROJECT NO.		CONTRACT NO.		FILE NO.	
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SHEET NO.		6 OF 9		DATE		NO.	
HP		DESIGNED		11/29/2024		NO.	
HP		DRAWN		11/29/2024		NO.	
HW		CHECKED		11/29/2024		NO.	
BY		DATE		APPROVED		REVISIONS	

LC

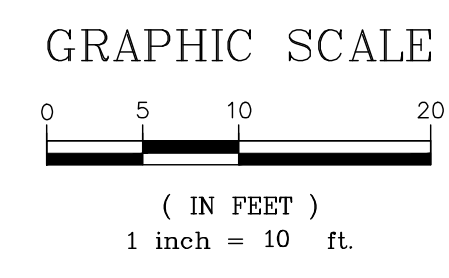
ENGINEERING

598 E Santa Clara St, Ste270
San Jose, CA 95121
Phone: (408) 806-7187
Fax: (408) 583-4006

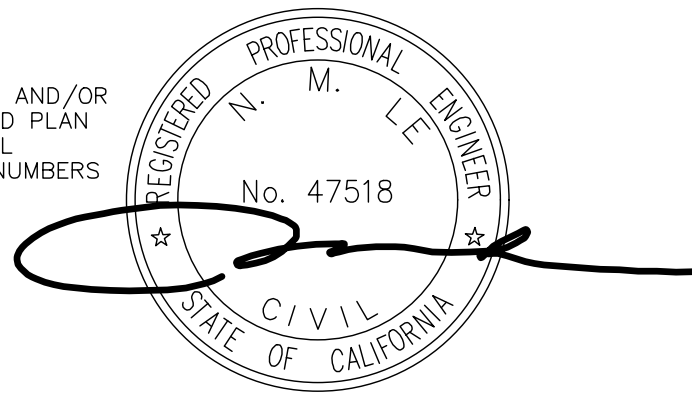


LEGEND

- CONCRETE WASHOUT
- CONSTRUCTION STORAGE AREA
- FIBER ROLLS
- PORTABLE TOILET
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIST



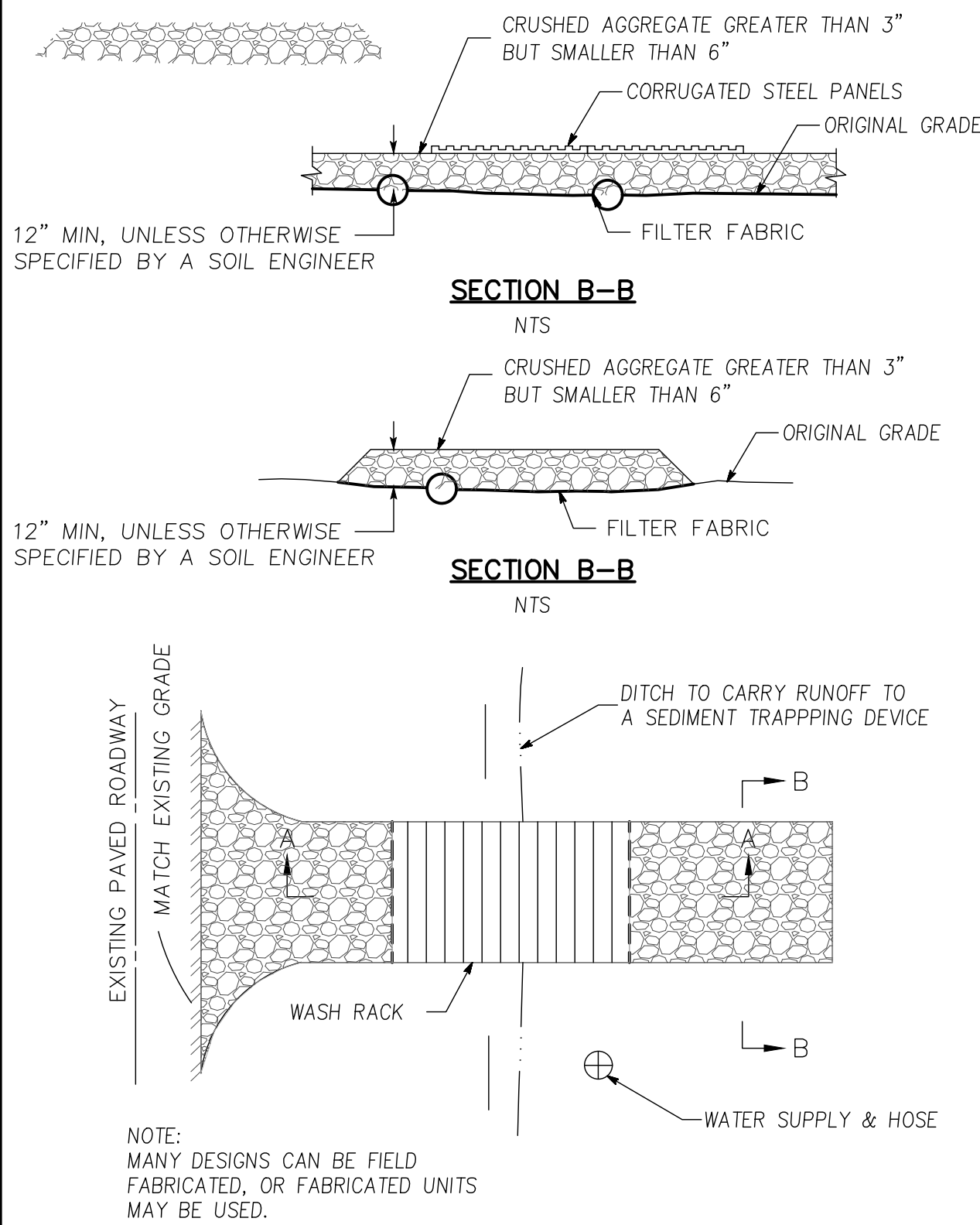
APPROVED FOR ISSUANCE.
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS



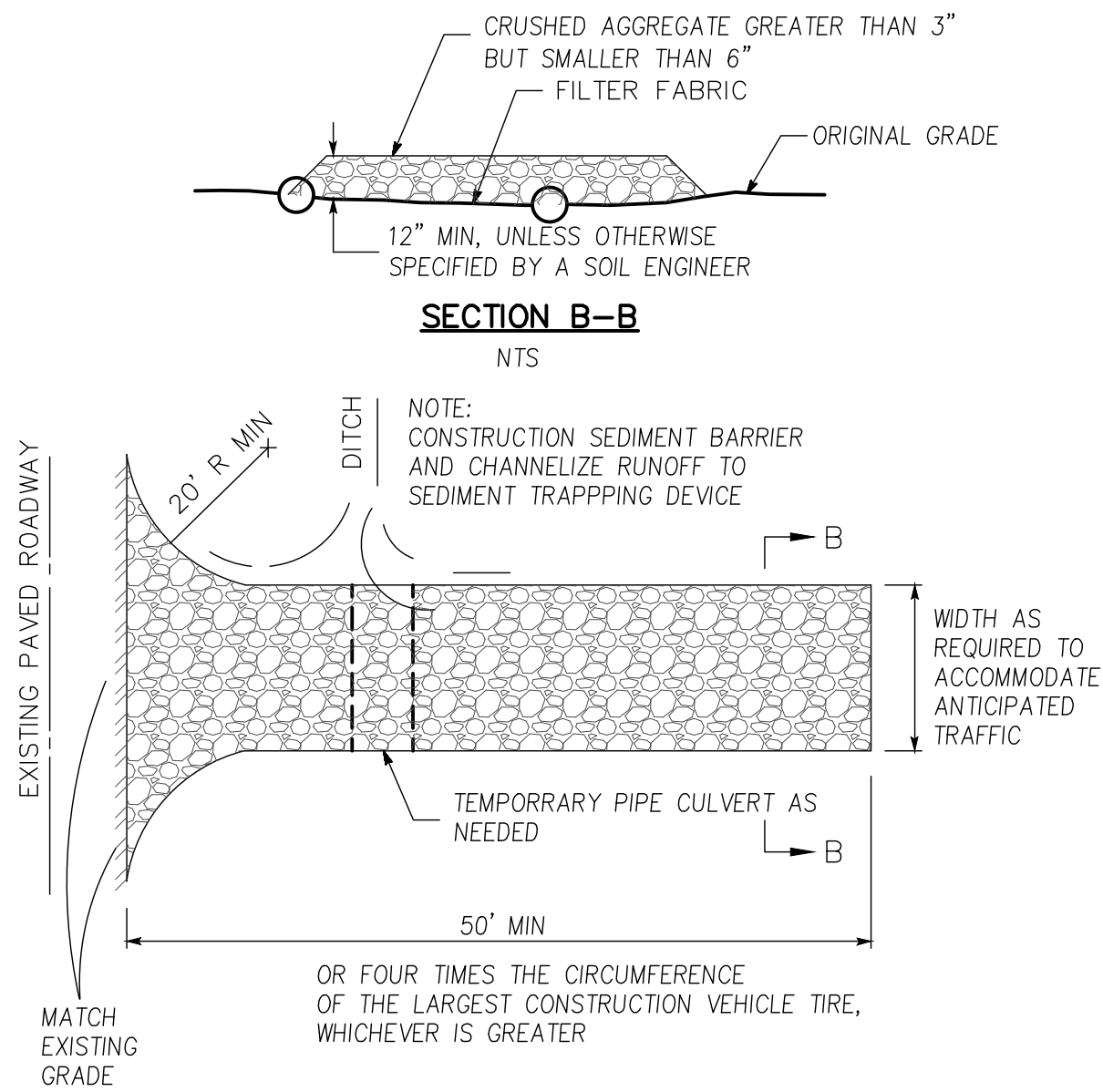
DRAWING NO. 7		PROJECT NO.		CONTRACT NO.		FILE NO.	
EROSION CONTROL PLAN		LANDS OF ZHU		1755 MORA COURT		APN 331-11-137	
Los Altos		California		APN 331-11-137		APN 331-11-137	
7 OF 9		11/29/2024		11/29/2024		11/29/2024	
DESIGNED		DATE		DATE		DATE	
HP		HP		HP		HP	
DRAWN		DATE		DATE		DATE	
SCALE		HW		CHECKED		BY	
11/29/2024		11/29/2024		11/29/2024		11/29/2024	
REVISIONS		DATE		DATE		DATE	
BY		DATE		DATE		DATE	
NO.		NO.		NO.		NO.	

LC ENGINEERING
598 E Santa Clara St, Ste270
San Jose, CA 95121
Phone: (408) 806-7187
Fax: (408) 583-4006

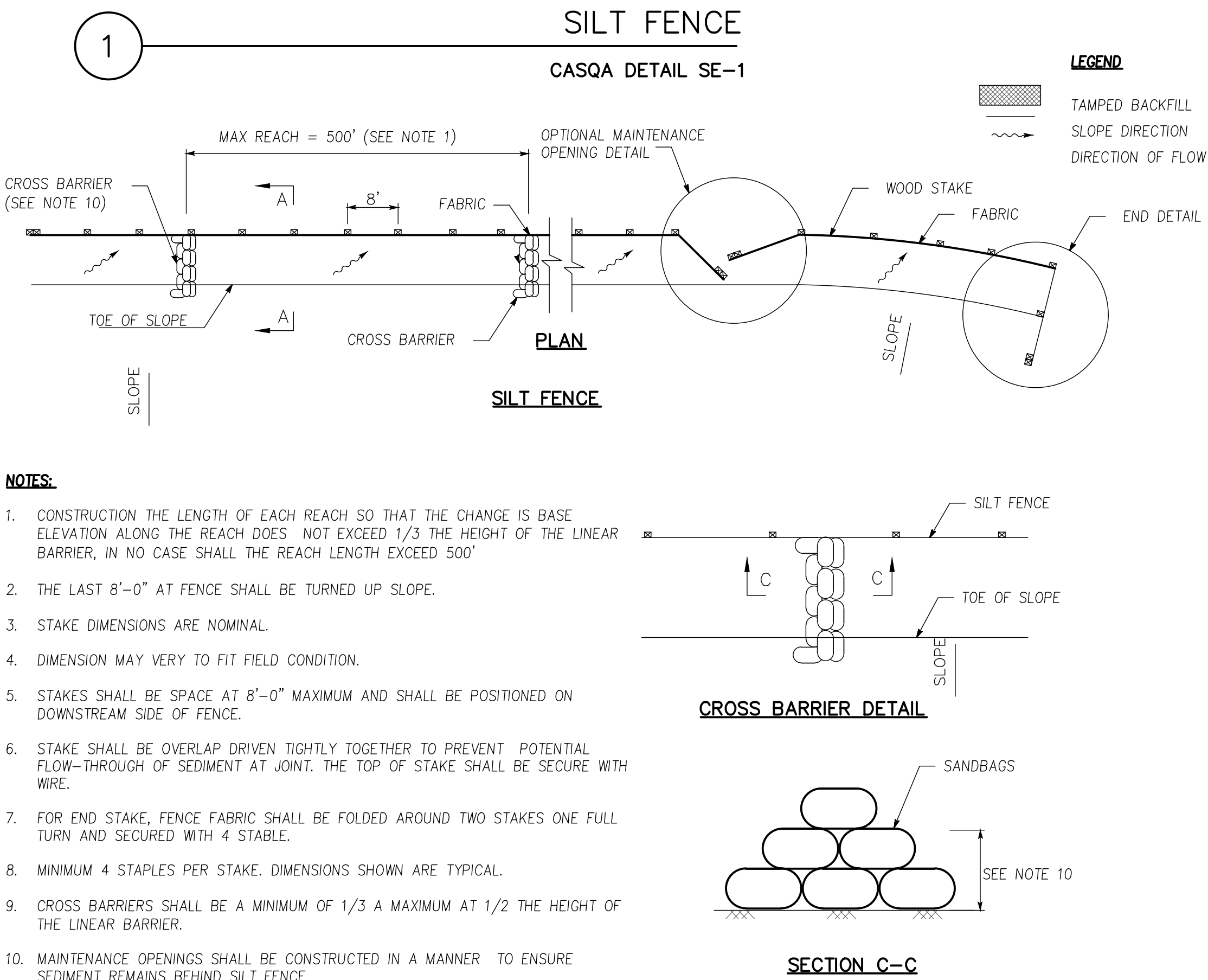
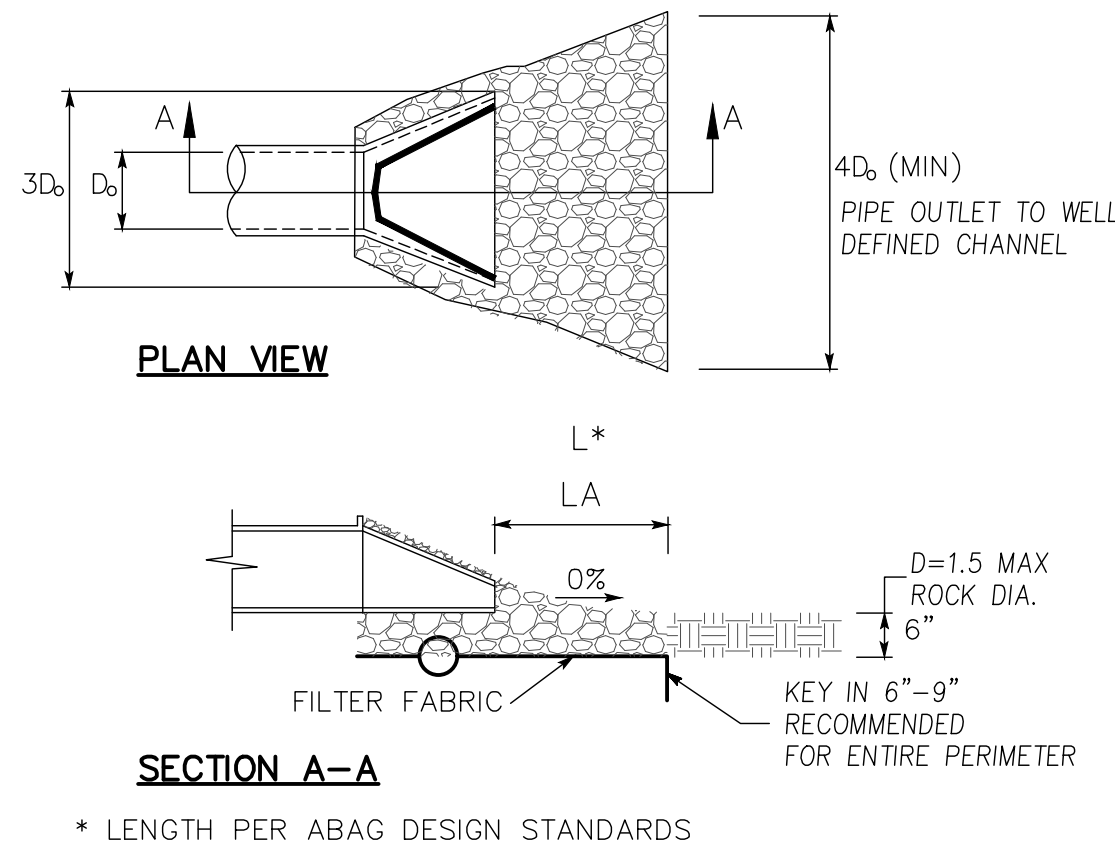
5 ENTRANCE/OUTLET TIRE WASH
CASQA DETAIL TC-3



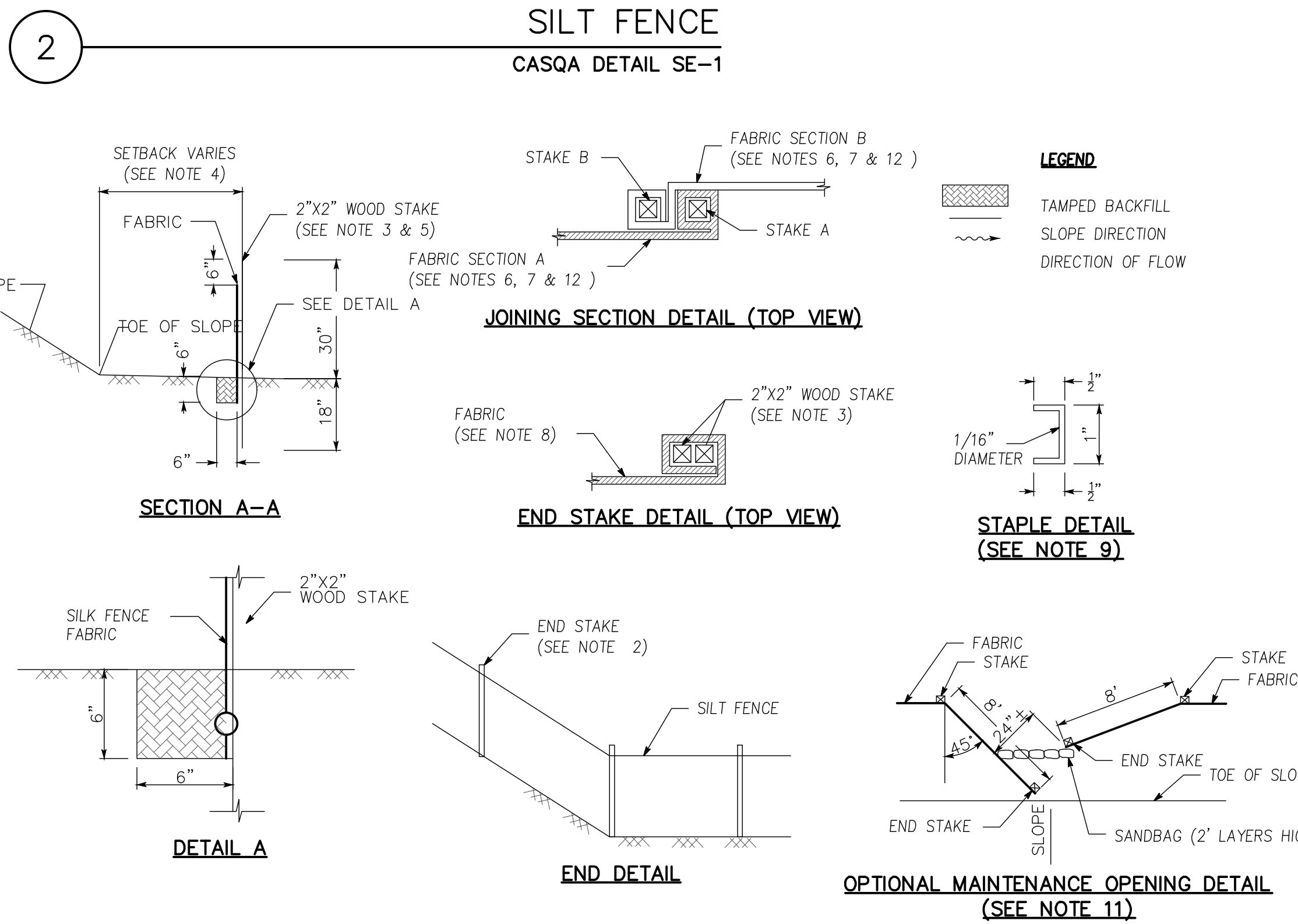
3 STABILIZED CONSTRUCTION ENTRANCE/EXIT
CASQA DETAIL TC-1



4 VELOCITY DISSIPATION DEVICES
CASQA DETAIL EC-10



- NOTES:**
- CONSTRUCTION THE LENGTH OF EACH REACH SO THAT THE CHANGE IS BASE ELEVATION ALONG THE REACH DOES NOT EXCEED 1/3 THE HEIGHT OF THE LINEAR BARRIER, IN NO CASE SHALL THE REACH LENGTH EXCEED 500'
 - THE LAST 8'-0" AT FENCE SHALL BE TURNED UP SLOPE.
 - STAKE DIMENSIONS ARE NOMINAL.
 - DIMENSION MAY VARY TO FIT FIELD CONDITION.
 - STAKES SHALL BE SPACE AT 8'-0" MAXIMUM AND SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
 - STAKE SHALL BE OVERLAP DRIVEN TIGHTLY TOGETHER TO PREVENT POTENTIAL FLOW-THROUGH OF SEDIMENT AT JOINT. THE TOP OF STAKE SHALL BE SECURE WITH WIRE.
 - FOR END STAKE, FENCE FABRIC SHALL BE FOLDED AROUND TWO STAKES ONE FULL TURN AND SECURED WITH 4 STABLE.
 - MINIMUM 4 STAPLES PER STAKE. DIMENSIONS SHOWN ARE TYPICAL.
 - CROSS BARRIERS SHALL BE A MINIMUM OF 1/3 A MAXIMUM AT 1/2 THE HEIGHT OF THE LINEAR BARRIER.
 - MAINTENANCE OPENINGS SHALL BE CONSTRUCTED IN A MANNER TO ENSURE SEDIMENT REMAINS BEHIND SILT FENCE.
 - JOINING SECTIONS SHALL NOT BE PLACED AT SUMP LOCATIONS.
 - SANDBAG ROWS AND LAYERS SHALL BE OFFSET TO ELIMINATE GAPS.



Best Management Practices and Erosion Control Details Sheet 1
County of Santa Clara

SOURCE FOR GRAPHICS: CALIFORNIA STORMWATER BMP HANDBOOK, CALIFORNIA STORMWATER QUALITY ASSOCIATION, JANUARY 2003.
AVAILABLE FROM WWW.CABMPHANDBOOKS.COM.

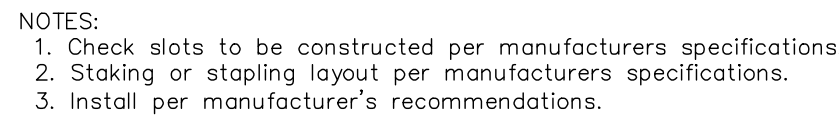
- STANDARD BEST MANAGEMENT PRACTICE NOTES**
- SOLID AND DEMOLITION WASTE MANAGEMENT: PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS ON SITE AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS, AND ARRANGE FOR REGULAR DISPOSAL. WASTE CONTAINERS MUST BE WATERTIGHT AND COVERED AT ALL TIMES EXCEPT WHEN WASTE IS DEPOSITED. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C3) OR LATEST. HAZARDOUS WASTE MANAGEMENT: PROVIDE PROPER HANDLING AND
 - DISPOSAL OF HAZARDOUS WASTES BY A LICENSED HAZARDOUS WASTE MATERIAL HAULER. HAZARDOUS WASTES SHALL BE STORED AND PROPERLY LABELED IN SEALED CONTAINERS CONSTRUCTED OF SUITABLE MATERIALS. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-5 TO C-6) OR LATEST.
 - SPILL PREVENTION AND CONTROL: PROVIDE PROPER STORAGE AREAS FOR LIQUID AND SOLID MATERIALS, INCLUDING CHEMICALS AND HAZARDOUS SUBSTANCES, AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS. SPILL CONTROL MATERIALS MUST BE KEPT ON SITE WHERE READILY ACCESSIBLE. SPILLS MUST BE CLEANED UP IMMEDIATELY AND CONTAMINATED SOIL DISPOSED PROPERLY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-7 TO C-8, C-13 TO C-14) OR LATEST. VEHICLE AND CONSTRUCTION EQUIPMENT SERVICE AND STORAGE:
 - AN AREA SHALL BE DESIGNATED FOR THE MAINTENANCE, WHERE ON-SITE MAINTENANCE IS REQUIRED, AND STORAGE OF EQUIPMENT THAT IS PROTECTED FROM STORMWATER RUN-ON AND RUNOFF. MEASURES SHALL BE PROVIDED TO CAPTURE ANY WASTE OILS, LUBRICANTS, OR OTHER POTENTIAL POLLUTANTS AND THESE WASTES SHALL BE PROPERLY DISPOSED OF OFF SITE. FUELING AND MAJOR MAINTENANCE/REPAIR, AND WASHING SHALL BE CONDUCTED OFF-SITE WHENEVER FEASIBLE. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C9) OR LATEST.
 - MATERIAL DELIVERY, HANDLING AND STORAGE: IN GENERAL, MATERIALS SHOULD NOT BE STOCKPILED ON SITE. WHERE TEMPORARY STOCKPILES ARE NECESSARY AND APPROVED BY THE COUNTY, THEY SHALL BE COVERED WITH SECURED PLASTIC SHEETING OR TARP AND LOCATED IN DESIGNATED AREAS NEAR CONSTRUCTION ENTRANCES AND AWAY FROM DRAINAGE PATHS AND WATERWAYS. BARRIERS SHALL BE PROVIDED AROUND STORAGE AREAS WHERE MATERIALS ARE POTENTIALLY IN CONTACT WITH RUNOFF. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-11 TO C-12) OR LATEST.
 - HANDLING AND DISPOSAL OF CONCRETE AND CEMENT: WHEN CONCRETE TRUCKS AND EQUIPMENT ARE WASHED ON-SITE, CONCRETE WASTEWATER SHALL BE CONTAINED IN DESIGNATED CONTAINERS OR IN A TEMPORARY LINED AND WATERTIGHT PIT WHERE WASTED CONCRETE CAN HARDEN FOR LATER REMOVAL. IF POSSIBLE HAVE CONCRETE CONTRACTOR REMOVE CONCRETE WASH WATER FROM SITE. IN NO CASE SHALL FRESH CONCRETE BE WASHED INTO THE ROAD RIGHT-OF-WAY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-15 TO C-16) OR LATEST.
 - PAVEMENT CONSTRUCTION MANAGEMENT: PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS FROM PAVING OPERATIONS, USING MEASURES TO PREVENT RUN-ON AND RUNOFF POLLUTION AND PROPERLY DISPOSING OF WASTES. AVOID PAVING IN THE WET SEASON AND RESCHEDULE PAVING WHEN RAIN IS IN THE FORECAST. RESIDUE FROM SAW-CUTTING SHALL BE VACUUMED FOR PROPER DISPOSAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-17 TO C-18) OR LATEST.
 - CONTAMINATED SOIL AND WATER MANAGEMENT: INSPECTIONS TO IDENTIFY CONTAMINATED SOILS SHOULD OCCUR PRIOR TO CONSTRUCTION AND AT REGULAR INTERVALS DURING CONSTRUCTION. REMEDIATING CONTAMINATED SOIL SHOULD OCCUR PROMPTLY AFTER IDENTIFICATION AND BE SPECIFIC TO THE CONTAMINANT IDENTIFIED, WHICH MAY INCLUDE HAZARDOUS WASTE REMOVAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-19 TO C-20) OR LATEST.
 - SANITARY/SEPTIC WATER MANAGEMENT: TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE PATHS, WATERWAYS, AND TRAFFIC AREAS. ONLY LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE USED. SECONDARY CONTAINMENT SHOULD BE PROVIDED FOR ALL SANITARY FACILITIES. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C-21) OR LATEST.
 - INSPECTION & MAINTENANCE: AREAS OF MATERIAL AND EQUIPMENT STORAGE SITES AND TEMPORARY SANITARY FACILITIES MUST BE INSPECTED WEEKLY. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.

- STANDARD EROSION CONTROL NOTES**
- SEDIMENT CONTROL MANAGEMENT: TRACKING PREVENTION & CLEAN UP: ACTIVITIES SHALL BE ORGANIZED AND MEASURES TAKEN AS NEEDED TO PREVENT OR MINIMIZE TRACKING OF SOIL ONTO THE PUBLIC STREET SYSTEM. A GRAVEL OR PROPRIETARY DEVICE CONSTRUCTION ENTRANCE/EXIT IS REQUIRED FOR ALL SITES. CLEAN UP OF TRACKED MATERIAL SHALL BE PROVIDED BY MEANS OF A STREET SWEEPER PRIOR TO AN APPROACHING RAIN EVENT, OR AT LEAST ONCE AT THE END OF EACH WORKDAY THAT MATERIAL IS TRACKED, OR MORE FREQUENTLY AS DETERMINED BY THE COUNTY INSPECTOR. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-31 TO B-33) OR LATEST.
 - STORM DRAIN INLET AND CATCH BASIN INLET PROTECTION: ALL INLETS WITHIN THE VICINITY OF THE PROJECT AND WITHIN THE PROJECT LIMITS SHALL BE PROTECTED WITH GRAVEL BAGS PLACED AROUND INLETS OR OTHER INLET PROTECTION. AT LOCATIONS WHERE EXPOSED SOILS ARE PRESENT, STAKED FIBER ROLLS OR STAKED SILT FENCES CAN BE USED. INLET FILTERS ARE NOT ALLOWED DUE TO CLOGGING AND SUBSEQUENT FLOODING. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-49 TO B-51) OR LATEST. STORM WATER RUNOFF: NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN IN TO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM DRAIN SYSTEM OR OTHER ABOVE GROUND WATERCOURSES UNTIL APPROPRIATE EROSION CONTROL MEASURES ARE FULLY INSTALLED. DUST CONTROL: THE CONTRACTOR SHALL PROVIDE DUST CONTROL IN GRADED AREAS AS REQUIRED BY PROVIDING WET SUPPRESSION OR CHEMICAL STABILIZATION OF EXPOSED SOILS, PROVIDING FOR RAPID CLEAN UP OF SEDIMENTS DEPOSITED ON PAVED ROADS, FURNISHING CONSTRUCTION ROAD ENTRANCES AND VEHICLE WASH DOWN AREAS, AND LIMITING THE AMOUNT OF AREAS DISTURBED BY CLEARING AND EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES. STOCKPILING: EXCAVATED SOILS SHALL NOT BE PLACED IN STREETS OR ON PAVED AREAS. BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES(TARPS, STRAW BALES, SILT FENCES, ETC.) TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM OR NEIGHBORING WATERCOURSE.
 - EROSION CONTROL: DURING THE RAINY SEASON, ALL DISTURBED AREAS MUST INCLUDE AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL. IT IS REQUIRED THAT TEMPORARY EROSION CONTROL MEASURES ARE APPLIED TO ALL DISTURBED SOIL AREAS PRIOR TO A RAIN EVENT. DURING THE NON-RAINY SEASON, EROSION CONTROL MEASURES MUST BE APPLIED SUFFICIENT TO CONTROL WIND EROSION AT THE SITE.
 - INSPECTION & MAINTENANCE: DISTURBED AREAS OF THE PROJECT'S SITE, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ALL EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THE EROSION CONTROL PLANS MUST BE INSPECTED BY THE CONTRACTOR BEFORE, DURING, AND AFTER STORM EVENTS, AND AT LEAST WEEKLY DURING SEASONAL WET PERIODS. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.
 - PROJECT COMPLETION: PRIOR TO PROJECT COMPLETION AND SIGNOFF BY THE COUNTY INSPECTOR, ALL DISTURBED AREAS SHALL BE RESEDED, PLANTED, OR LANDSCAPED TO MINIMIZE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
 - IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE EROSION CONTROL PLAN.
 - EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE OPERABLE YEAR ROUND OR UNTIL VEGETATION IS FULLY ESTABLISHED ON LANDSCAPED SURFACES.
 - GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF SANTA CLARA COUNTY BUILDING OFFICIAL.
 - EXPOSED SLOPE SHALL BE PROTECTED WITH JUTE NET AND/OR HYDROSEED. HYDROSEED SHALL BE A HOMOGENEOUSLY MIX OF SLURRY CONTAINING NOT LESS THAN 44 LBS ORGANIC MULCHING AMENDMENT PLUS FERTILIZER, CHEMICAL ADDITIVES AND SOILS FOR EACH 100 GALLONS OF WATER.

APPROVED FOR ISSUANCE.
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS



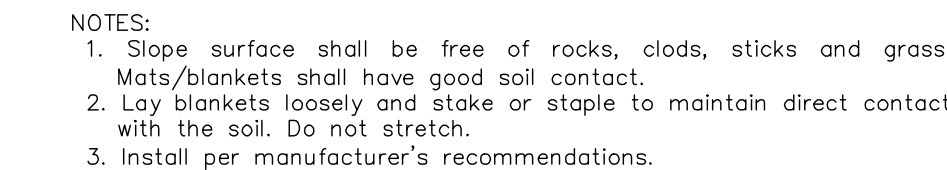
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LANDS OF ZHU 1755 MORA COURT APN 331-11-137				PROJECT NO.			
DRAWING NO.				CONTRACT NO.			
8 OF 9				Los Altos			
SHEET NO.				FILE NO.			
11/29/2024				11/29/2024			
DESIGNED				DATE			
HP				BY			
11/29/2024				DATE			
DRAWN				APPROVED			
HP				REVISIONS			
11/29/2024				NO.			



CASQA Detail SE-10



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CASQA Detail SE-10



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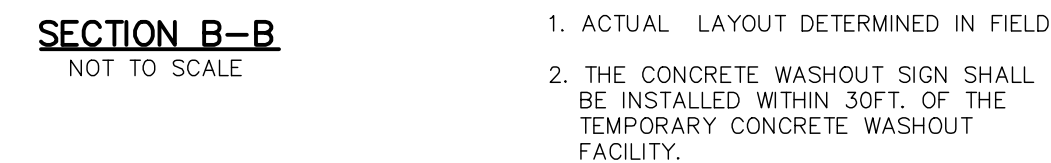
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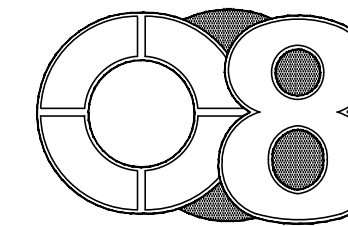
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CASQA Detail WM-8



- REGISTERED PROFESSIONAL ENGINEER
N. M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA



DESIGN STUDIO

4180 WATKINS WAY
SAN JOSE, CA 95135
408.375.0041

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Chad Nguyen

PROJECT

NEW SINGLE FAMILY HOUSE

ZHU
RESIDENCE

1755 MORA CT.
LOS ALTOS, CALIFORNIA

SHEET CONTENTS

DEMOLITION
PLAN

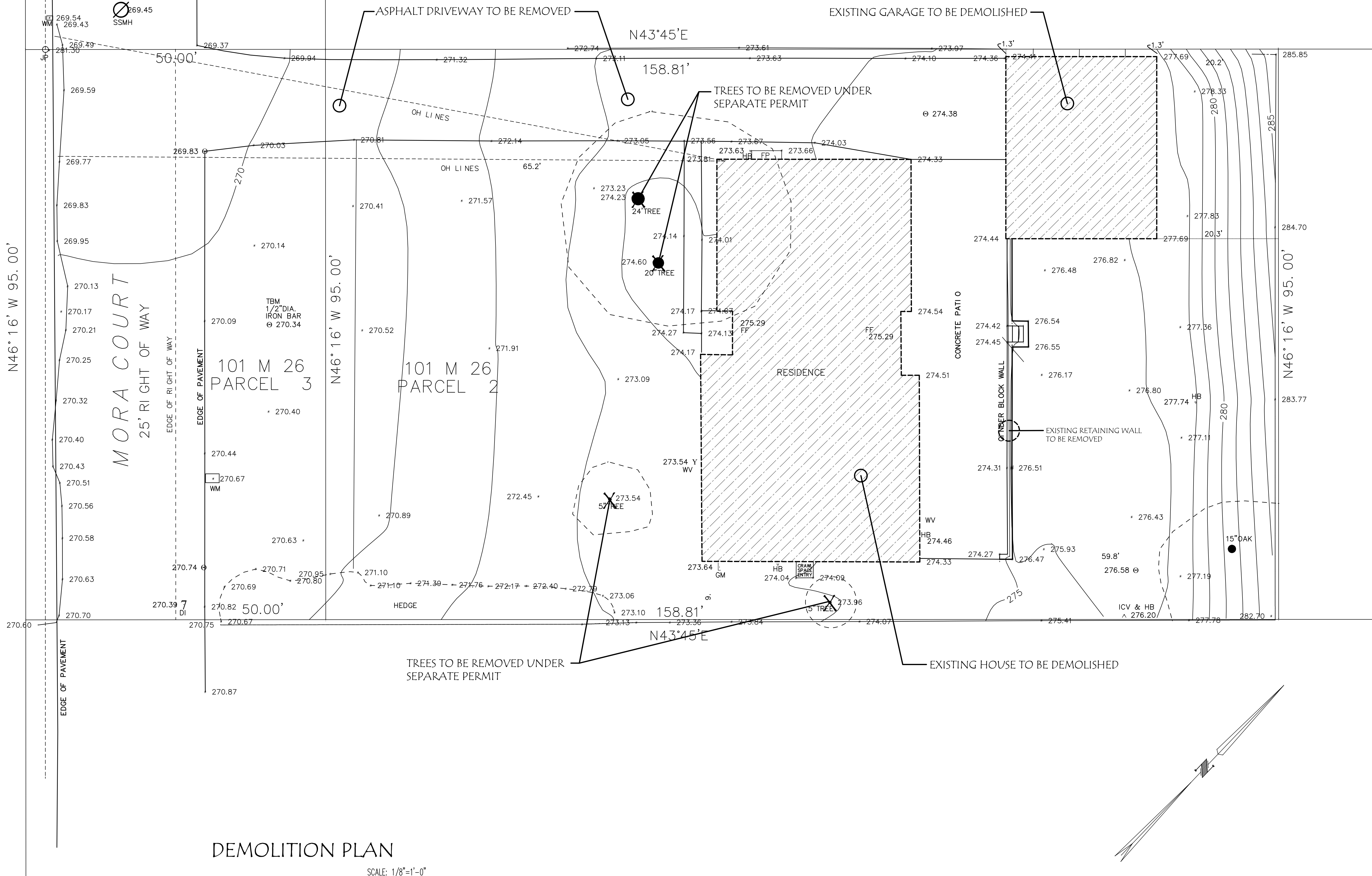
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NEW SINGLE FAMILY HOUSE

ZHU
RESIDENCE

1755 MORA CT.
LOS ALTOS, CALIFORNIA

SHEET CONTENTS

FLOOR AREA CALCULATIONS

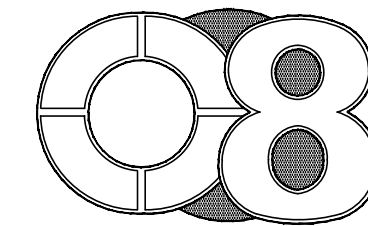
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408.375.0041

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Chad Nguyen

PROJECT

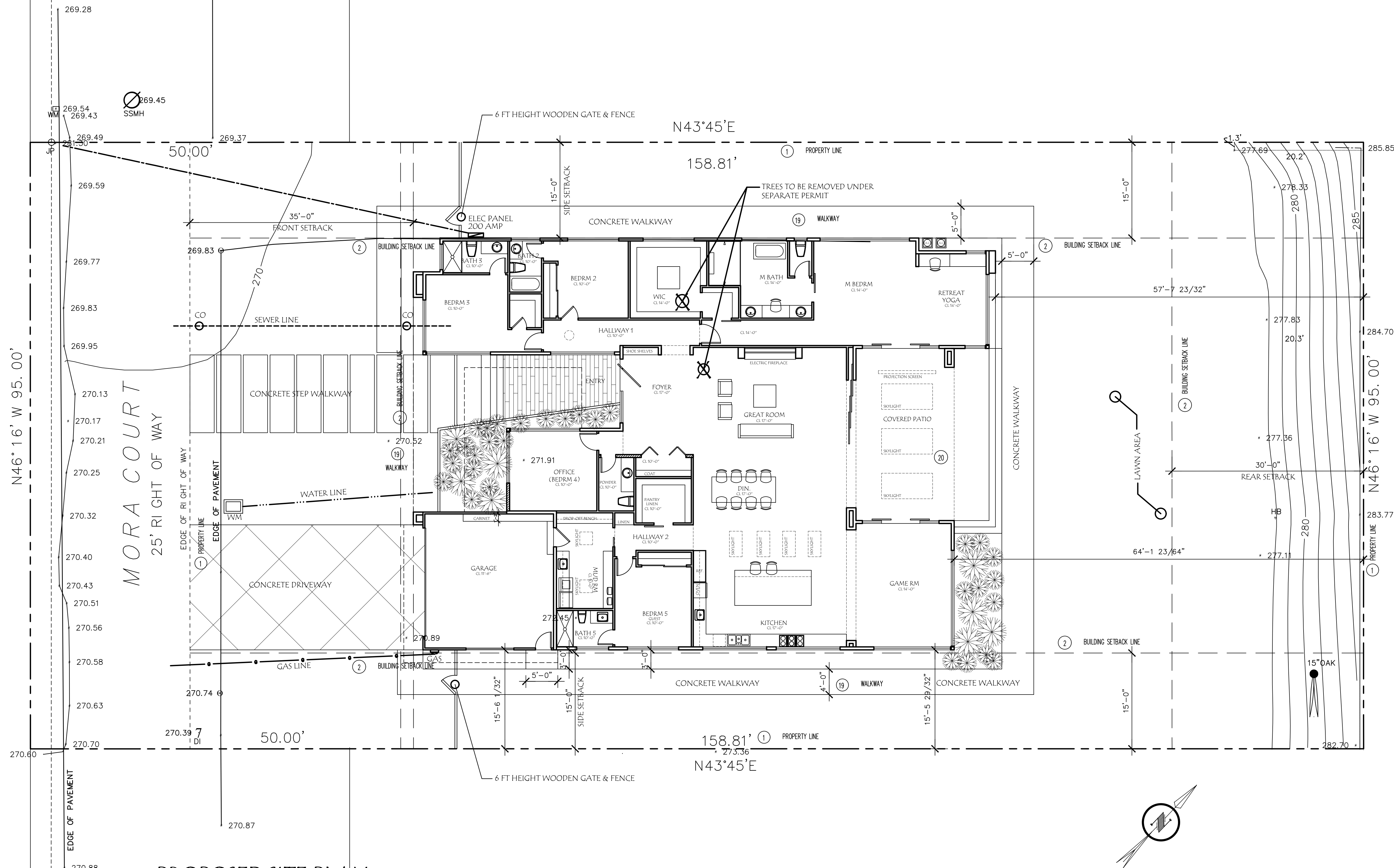
NEW SINGLE FAMILY HOUSE

ZHU
RESIDENCE

1755 MORA CT.
LOS ALTOS, CALIFORNIA

SHEET CONTENTS

PROPOSED
SITE PLAN



PUBLIC WORK NOTES

SIDEWALK, CURB & GUTTER:

OWNER MUST REPLACE THOSE PORTIONS OF THE EXISTING SIDEWALKS, CURBS, GUTTERS OR DRIVEWAY APPROACHES IN THE PUBLIC RIGHT-OF-WAY ALONG THE FRONTAGE OF THE PROPERTY THAT ARE BROKEN, BADLY CRACKED, DISPLACED, OR NON-STANDARD, AND MUST REMOVE ANY UNPERMITTED PAVEMENT IN THE PLANTER STRIP. CONTACT PUBLIC WORKS' INSPECTOR TO ARRANGE A VISIT SO THE INSPECTOR CAN DETERMINE THE EXTENT OF REPLACEMENT WORK.

ANY WORK IN THE RIGHT-OF-WAY MUST BE DONE PER PUBLIC WORKS' STANDARDS BY A LICENSED CONTRACTOR WHO MUST FIRST OBTAIN A STREET-WORK PERMIT FROM PUBLIC WORKS AT THE DEVELOPMENT CENTER.

THE OWNER MY BE REQUIRED TO REPLACE EXISTING AND OR ADD NEW STREET TREES IN THE PUBLIC RIGHT-OF-WAY ALONG THE PROPERTY'S FRONTAGE. CALL THE PUBLIC WORKS' ARBORIST TO ARRANGE A SITE VISIT SO HE/SHE CAN DETERMINE WHAT STREET TREE WORK, IF ANY, WILL BE REQUIRED FOR THIS PROJECT.

GENERAL NOTES

HOUSES, INCLUDING ATTACHED GARAGES, ON THE GIVEN LOT SHALL BE PROVIDED WITH AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13D. THE DEVELOPER AND CONTRACTOR SHALL ENSURE THAT THE UNDERGROUND WATER LINS AND WATER METERS ARE SIZED TO ACCOMMODATE THE AUTOMATIC FIRE SPRINKLER SYSTEMS. COORDINATE WITH THE FIRE SPRINKLER SYSTEM CONTRACTOR.

THE FIRE SERVICES, INCLUDING WATER SERVICES SUPPLYING NFPA 13D FIRE SPRINKLERS, SHOWN ON THESE PLANS ARE PRELIMINARY AND SHALL NOT BE INSTALLED UNTIL AFTER THE FIRE SPRINKLER PLANS HAVE BEEN APPROVED BY THE CITY. IF THE FIRE SPRINKLER PLANS REQUIRE CHANGES TO THE UTILITIES SHOWN ON THESE PLANS, REVISIONS TO THESE PLANS MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO THE INSTALLATION OF THE FIRE UTILITIES.

ALL EXTERIOR LANDING SHALL BE MAX. OF 7.75" IF DOOR OPEN TOWARD INSIDE AND MAX. OF 1" IF DOOR OPEN TOWARD LANDING.

ROOF DRAINAGE: RAIN RUNOFF WILL NOT DRAIN INTO NEIGHBORING LOTS, SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION

KEYNOTES

- | | | | |
|---------------------------------|-------------------------|----|-----------------------|
| 1 | PROPERTY LINE | 2 | BUILDING SETBACK LINE |
| 3 | PUBLIC UTILITY EASEMENT | 4 | STREET TREE EASEMENT |
| 5 | EASEMENT - | 6 | STEPPING STONE |
| STRUCTURES/ MISCELLANEOUS ITEMS | | | |
| 7 | TERRACE | 8 | PAVERS (PERVIOUS) |
| 9 | PORCH/ STOOP | 10 | TRELLIS |
| 11 | FENCE | 12 | DOOR FENCE |
| 13 | RETAINING WALL | 14 | PLANTER AREA |
| 15 | TREE | 16 | GATE |
| PAVING (E=EXISTING, N=NEW) | | | |
| 17 | PARKING AREA | 18 | DRIVEWAY |
| 19 | WALKWAY | 20 | PATIO |

DATE 10-12-24

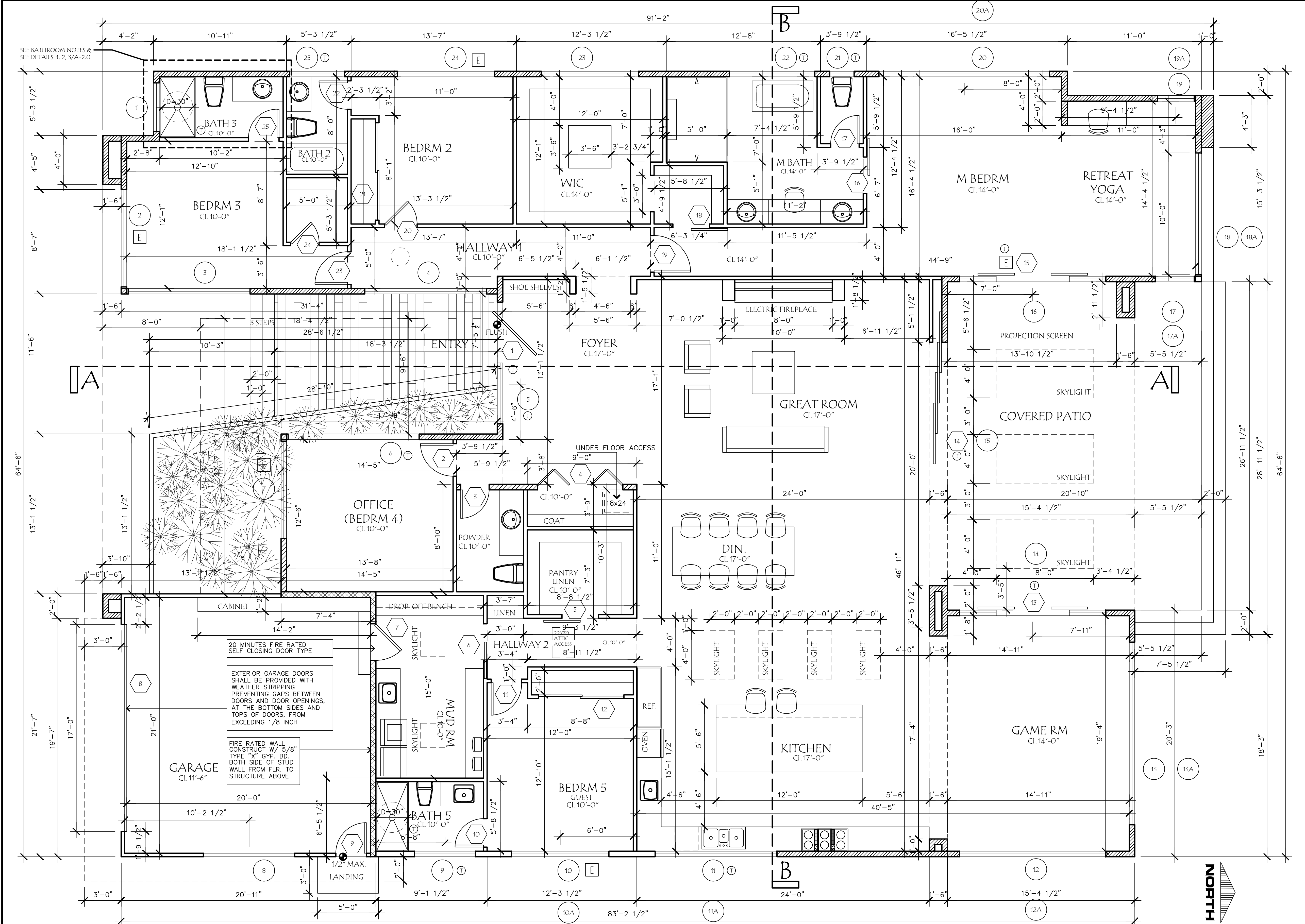
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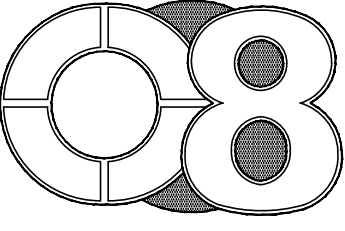
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GENERAL NOTES	PLUMBING NOTES	UNDERFLOOR VENT CAL.	NOTES	LEGEND	BATHROOM NOTES
<div>1. THE VENEERS INSTALLED OVER A BACKING OF WOOD OR COLD-FORMED STEEL SHALL BE LIMITED TO THE FIRST STORY ABOVE GRADE PLANE AND SHALL NOT EXCEED 5 INCHES</div> <div>2. EXTERIOR MASONRY VENEERS HAVING A INSTALLED HEIGHT OF 40 POUNDS PER SQUARE FOOT OR LESS SHALL BE PERMITTED TO BE SUPPORTED ON WOOD OR COLD-FORMED STEEL CONSTRUCTION</div> <div>3. PROVIDE 26G GALVANIZED METAL FLASHING BETWEEN FOUNDATION WALL AND ANY WOOD FRAMING</div> <div>4. ALL FLASHING SHALL BE GALVANIZED</div>	<div>FIXTURE TYPE</div> <div>URINAL</div> <div>SHOWERHEADS</div> <div>LAVATORY FAUCETS</div> <div>KITCHEN FAUCETS</div> <div>TOILET GRAVITY TANK</div> <div>MAXIMUM FLOW RATE AT > 20% REDUCTION</div> <div>0.5 GALLONS/FLUSH</div> <div>1.8 GPM @ 80 PSI</div> <div>1.2 GPM @ 60 PSI</div> <div>1.8 GPM @ 60 PSI</div> <div>1.28 GALLONS/FLUSH</div> <div>MIN. FLOW RATE</div> <div>-</div> <div>-</div> <div>0.8 GPM @ 20 PSI</div> <div>-</div> <div>SHOWER AND TUB/SHOWER WALLS SHALL BE SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. WATER-RESISTANT BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS</div> <div>PLUMBING VENTS TO BE MINIMUM 3 FEET ABOVE OR 10 FEET AWAY FROM ALL OPERABLE SKYLIGHTS.</div> <div>PROVIDE BACKFLOW PREVENTION FOR ALL EXTERIOR HOSE BIBS</div> <div>TANKLESS WATER HEATER NOTE:</div> <div>AMERICAN HEAT MODEL AHA-215X - 21KW</div> <div>NOTE: 21 KW AT 240V - 2 DOUBLE POLE 60 AM REQUIRE</div>	<div>LIVING AREA:</div> <div>AREA TO BE VENTED: 4032 SF.</div> <div>TOTAL AREA OF VENT REQUIRE: 26.88 SF.</div> <div>TOTAL VENT REQUIRE:</div> <div>VENT TYPE: 8"x14" = .75 SF.</div> <div>.02 / .75 = 36 VENTS</div> <div>TOTAL VENT PROVIDE: 36 VENTS</div> <div>NOTES: PROVIDE 1/4" WIRE MESH COVER EACH VENT</div> <div>SEE ELEVATIONS SHEET A3.1 AND A3.2 FOR VENT LOCATIONS.</div>	<div>ELECTRIC FIREPLACE NOTES:</div> <div>MANUFACTURE: TOUCHSTONE</div> <div>MODEL: 80037 - SIDELINE ELITE</div> <div>ELECTRIC FIREPLACE - 96" WIDE</div> <div>FIREPLACE SHALL BE FACTORY-BUILT AND SHALL BE LISTED, LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH ITS LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. NO OPEN FLAME IN SLEEPING ROOMS</div> <div>EXTERIOR LANDING NOTE:</div> <div>ALL EXTERIOR THRESHOLD HEIGHT AT ALL EXTERIOR DOORS. A DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL IF THE DOOR DOES NOT SWING OVER THE LANDING. IF DOOR OPEN TOWARD LANDING, IT IS NOT MORE THAN 1-1/2" LOWER THAN THE FLOOR LEVEL.</div> <div>SHOWER DOOR NOTES:</div> <div>PROVIDE TEMPER GLASS SHOWER DOOR WITH MIN. OF 22" IN WIDTH</div>	<div><div><div></div></div><div>BUILT-OUT WALL</div><div><div></div></div><div>1 HR. FIRE RATED WALL</div><div><div></div></div><div>NEW 2X4 STUD WALL</div><div><div></div></div><div>NEW 2X6 STUD WALL</div><div><div></div></div><div>SHUTOFF VALVE FOR GAS LOCATED OUTSIDE THE FIREBOX AND WITHIN 3 FT. OF THE APPLIANCE.</div><div><div>E</div></div><div>EMERGENCY EGRESS WINDOW OR DOOR</div><div><div>F</div></div><div>FIXED WINDOW</div><div><div>T</div></div><div>TEMPER GLASS</div><div><div>1</div></div><div>DOOR NUMBER</div><div><div>1</div></div><div>WINDOW NUMBER</div></div>	<div>REINFORCEMENT FOR GRAB BAR OF BATHROOM</div> <div>- AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT FOR GRAB BAR INSTALLED IN ACCORDANCE WITH THIS CRC-R327.1.1 REINFORCEMENT FOR GRAB BARS SECTION.</div> <div>- THE DETAIL OF THE REINFORCEMENT FOR GRAB BARS SHALL MEET THE REQUIREMENTS OF CRC- R327.1.1</div> <div>1- REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.</div> <div>2- REINFORCEMENT SHALL NOT BE LESS THAN 2 BY 8 INCH NORMAL LUMBER, [11/2 INCH BY 71/4 INCH (38 MM BY 184 MM) ACTUAL DIMENSION] OR OTHER CONSTRUCTION MATERIAL PROVIDING EQUAL HEIGHT AND LOAD CAPACITY. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES AND 39 1/4 INCHES THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING.</div> <div>3- WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE OR ONE SIDE WALL AND THE BACK WALL.</div> <div>4- SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED</div> <div>5- BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES (152.4 MM) ABOVE THE BATHTUB RIM.</div> <div>GARAGE DOOR NOTES:</div> <div>EXTERIOR GARAGE DOORS SHALL BE PROVIDED WITH WEATHER STRIPPING PREVENTING GAPS BETWEEN DOORS AND DOOR OPENINGS. AT THE BOTTOM, SIDES AND TOPS OF DOORS, FROM EXCEEDING 1/8 INCH PER CRC R337.8.4.</div> <div>RAISED DECKS, BALCONIES, EXTERIOR ELEVATED WALKING SURFACE NOTES:</div> <div>WALKING SURFACES SHALL NOT BE CONSIDERED UNTIL INSPECTED AND APPROVED PER CBC 110.3.8.1.</div> <div>ALTERNATIVELY, SPECIAL INSPECTIONS MAY BE PROVIDED FOR THESE ELEMENTS</div>
MECHANICAL NOTES					
<div>1. ALL EXHAUST DUCTS SHALL TERMINATE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH</div> <div>2. ALL EXHAUST DUCTS SHALL TERMINATE NOT LESS THAN 3 FT. FROM A PROPERTY LINE AND 3 FT.</div> <div>3. FIREPLACE SHALL BE INSTALLED AND TERMINATED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. FIREPLACE UNITS SHALL BE EQUIPPED WITH AN OUTSIDE AIR SUPPLY.</div>					



FLOOR PLAN




DESIGN STUDIO

4180 WATKINS WAY
SAN JOSE, CA 95135
408.375.0041

REVISIONS

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DESIGN BY: CHAD NGUYEN



PROJECT

NEW SINGLE FAMILY HOUSE

ZHU
RESIDENCE

1755 MORA CT.
LOS ALTOS, CALIFORNIA

SHEET CONTENTS

FLOOR PLAN

DATE10-12-24

SCALEAS SHOWN

JOB2024

SHEET

A-2.0

SCALE: 1/4" = 1'-0"

1/2" GYPSUM BOARD

2X8 WOOD BLOCKING

2X STUD WALL

GRAB BAR

NOTE: GRAB BAR ATTACHMENT PER MANUFACTURE WRITTEN RECOMMENDATIONS SEE BATHROOM NOTES ABOVE

32"

32"

HORIZONTAL

VERTICAL

4"

[100mm]

24"

[610mm]

39 5/8"

[1005mm]

27 5/8"

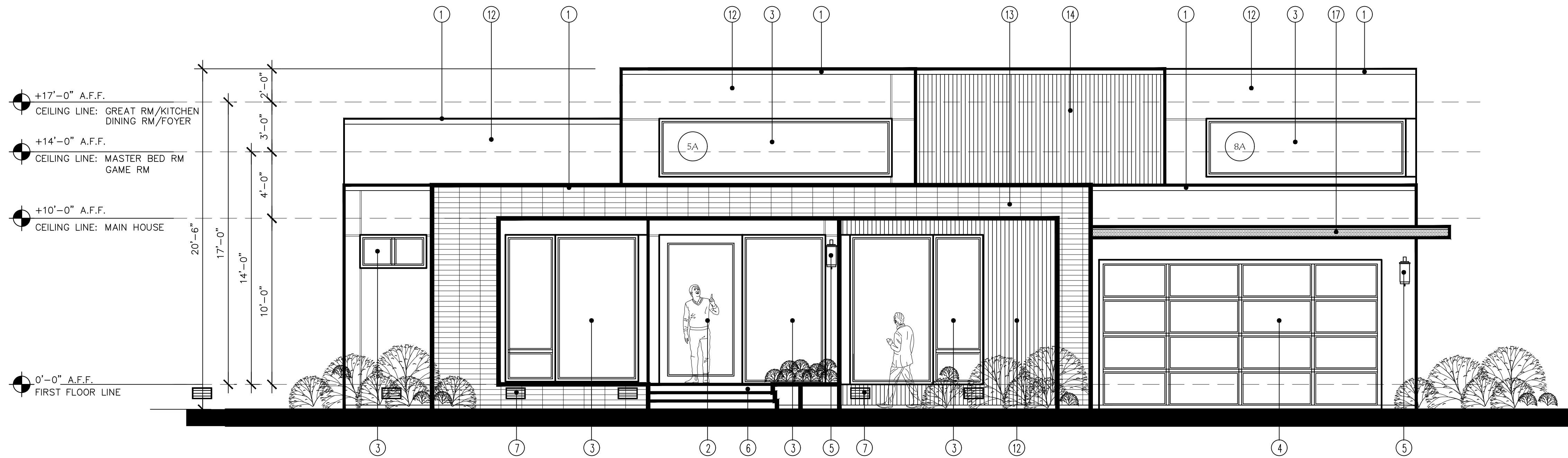
[705mm]

Edge of Flange to Wall

Edge of Flange to Wall

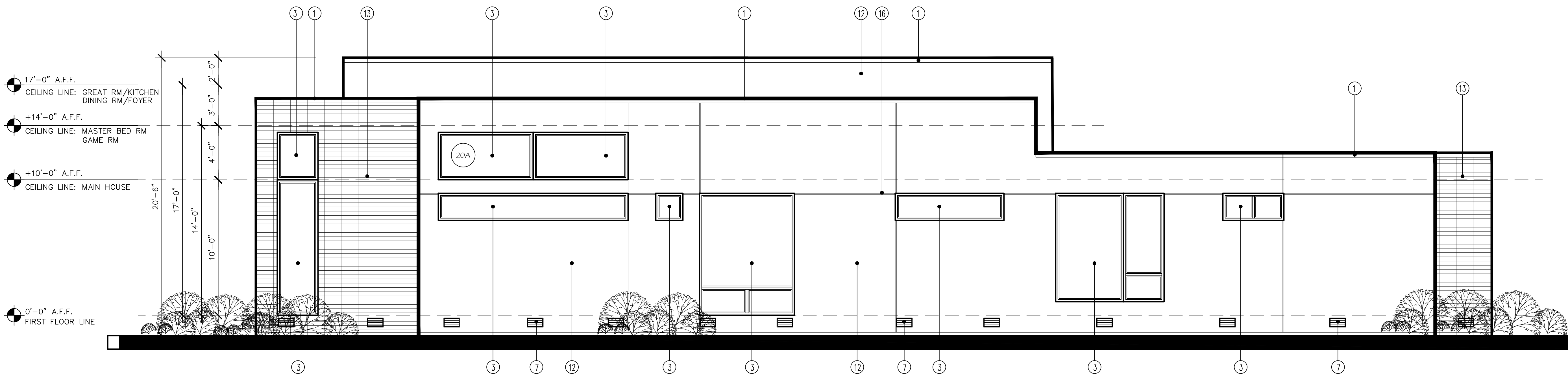
HORIZONTAL TUB/SHOWER/TOILET COMPARTMENT BAR 24 x 36

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

KEYNOTES

- | | |
|-----------------------|----------------------------------|
| 1 ROOFING - FLAT ROOF | 10 SEAT WALL |
| 2 DOOR | 11 HOUSE ADDRESS |
| 3 WINDOW | 12 SMOOTH STUCCO, SEE NOTE BELOW |
| 4 GARAGE DOOR | 13 CULTURED STONE VENEER |
| 5 EXTERIOR LIGHT | 14 WOOD SIDING |
| 6 CONCRETE STEPS | 15 STEEL CABLE |
| 7 UNDER FLOOR VENT | 16 1/2" ALUMINUM REVEAL |
| 8 ATTIC VENT | 17 METAL OVERHANG |
| 9 CHIMNEY ARRESTOR | 4 WINDOW NUMBER |

GENERAL NOTES

HOUSE ADDRESS:
THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN POSITION THAT IS READILY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE ADDRESS NEEDS TO BE MINIMUM 4" HIGH AND 1/2" THICK.

EXTERIOR LANDING NOTE:
ALL EXTERIOR THRESHOLD HEIGHT AT ALL EXTERIOR DOORS. A DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL IF THE DOOR DOES NOT SWING OVER THE LANDING.

PROVIDE EXTERIOR STEPS CONTINUOUS HANDRAILS FOR ALL STAIRS WITH 4 OR MORE RISERS

EXTERIOR STUCCO FINISH:
3 COAT STUCCO SYSTEM, 7/8" MIN. THICK, HAS TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING, AND HAS 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING, WITH CONTINUOUS WEEP SCREED.

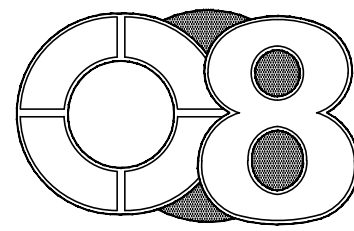
MATERIAL NOTES

ROOFING:
MANUFACTURE: STANDING SEAM METAL ROOFING (SLOPED ROOF)
MANUFACTURE: WHITE REFLECTIVE TPO ROOFING MEMBRANE (FLAT ROOF)

WINDOWS AND DOORS:
MANUFACTURE: ANDERSEN WINDOWS AND DOORS
TYPE: DARK BRONZE COLOR FRAME AND TEMPER GLASS

FASCIA BOARD:
MANUFACTURE: PER CONTRACTOR
TYPE: 2X WOOD WITH SMOOTH FINISH, PAINTED GRADE

GARAGE DOOR:
ALUMINUM FRAME WITH TINTED TEMPER GLASS
COLOR: MATT BLACK



DESIGN STUDIO

4180 WATKINS WAY
SAN JOSE, CA 95135
408.375.0041

REVISIONS

DESIGN BY: CHAD NGUYEN

PROJECT

NEW SINGLE FAMILY HOUSE

ZHU
RESIDENCE

1755 MORA CT.
LOS ALTOS, CALIFORNIA

SHEET CONTENTS

ELEVATIONS

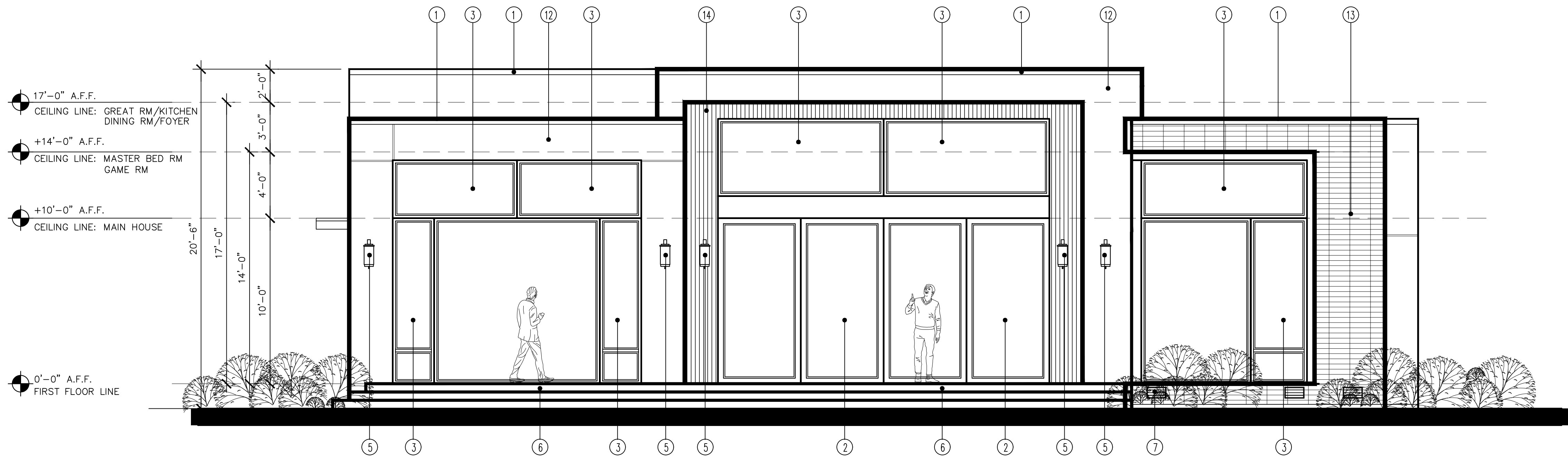
DATE 10-12-24

SCALE AS SHOWN

JOB 2024

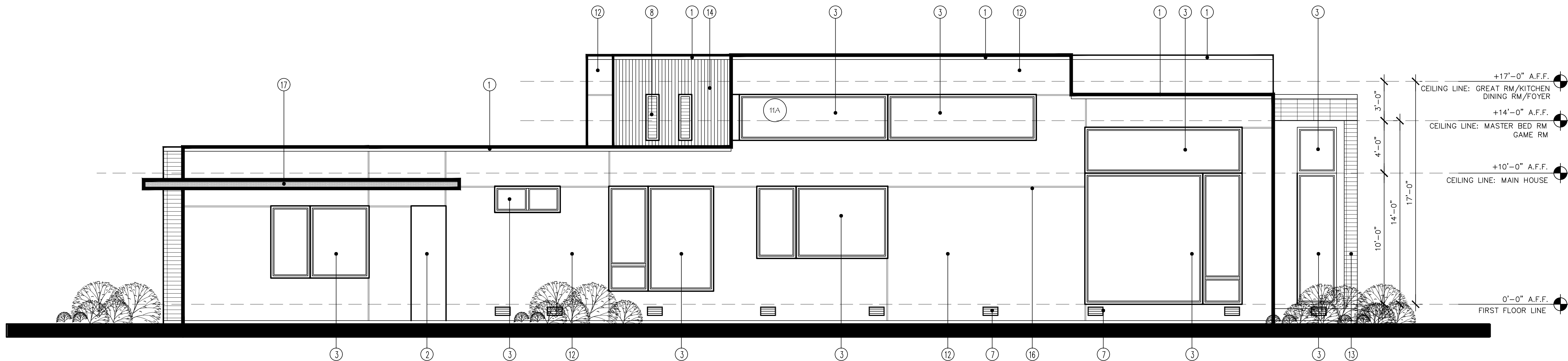
SHEET

A-3.1



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

KEYNOTES

- | | |
|-----------------------|---------------------------------|
| ① ROOFING – FLAT ROOF | ⑩ SEAT WALL |
| ② DOOR | ⑪ HOUSE ADDRESS |
| ③ WINDOW | ⑫ SMOOTH STUCCO, SEE NOTE BELOW |
| ④ GARAGE DOOR | ⑬ CULTURED STONE VENEER |
| ⑤ EXTERIOR LIGHT | ⑭ WOOD SIDING |
| ⑥ CONCRETE STEPS | ⑮ STEEL CABLE |
| ⑦ UNDER FLOOR VENT | ⑯ 1/2" ALUMINUM REVEAL |
| ⑧ ATTIC VENT | ⑰ METAL OVERHANG |
| ⑨ CHIMNEY ARRESTOR | ④ WINDOW NUMBER |

GENERAL NOTES

HOUSE ADDRESS:
.THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN POSITION THAT IS READILY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE ADDRESS NEEDS TO BE MINIMUM 4" HIGH AND 1/2" THICK.

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PROVIDE EXTERIOR STEPS CONTINUOUS HANDRAILS FOR ALL STAIRS WITH 4 OR MORE RISERS

EXTERIOR STUCCO FINISH:
3 COAT STUCCO SYSTEM, 7/8" MIN. THICK, HAS TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING, AND HAS 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING, WITH CONTINUOUS WEEP SCREED.

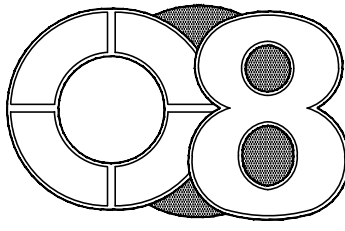
MATERIAL NOTES

ROOFING:
MANUFACTURE: STANDING SEAM METAL ROOFING (SLOPED ROOF)
MANUFACTURE: WHITE REFLECTIVE TPO ROOFING MEMBRANE (FLAT ROOF)

WINDOWS AND DOORS:
MANUFACTURE: ANDERSEN WINDOWS AND DOORS
TYPE: DARK BRONZE COLOR FRAME AND TEMPER GLASS

FASCIA BOARD
MANUFACTURE: PER CONTRACTOR
TYPE: 2X WOOD WITH SMOOTH FINISH, PAINTED GRADE

GARAGE DOOR:
ALUMINUM FRAME WITH TINTED TEMPER GLASS
COLOR: MATT BLACK



DESIGN STUDIO

4180 WATKINS WAY
SAN JOSE, CA 95135
408.375.0041

REVISIONS

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PROJECT

NEW SINGLE FAMILY HOUSE

ZHU
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1755 MORA CT.
LOS ALTOS, CALIFORNIA

SHEET CONTENTS

ELEVATIONS

DATE 10-12-24

SCALE AS SHOWN

JOB 2024

SHEET

A-3.2

KEYNOTES

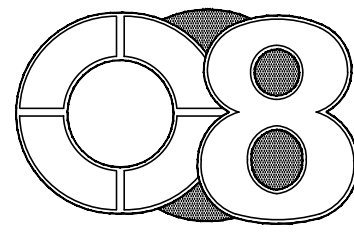
- 1 FLAT ROOF
- 2 ROOF BELOW
- 3 STANDING SEAM METAL ROOFING
- 4 BUILDING PARAPET
- 5 RIDGE
- 6 CRICKET
- 7 2'x2' SKYLIGHT
- 8 2'x4' SKYLIGHT
- 9 4'x8' SKYLIGHT
- 10 2'x4' SOLAR PANEL
- 11 DOWNSPOUT
- 12 CHIMNEY

SKYLIGHT NOTES

VELUX GLASS SKYLIGHT OR EQUAL
MODEL NUMBER: FCM 2234 & FCM 2230
NOTE: LAMINATED GLASS SHALL BE MINIMUM 30 MIL

UNDERSIDE OVERHANG NOTES

PROVIDE EXTERIOR WOOD VENEER UNDERSIDE OF ALL THE OVERHANGS @ COVERED PATIOS
PROVIDE WATER SEAL OVER WOOD VENEER
PROVIDE 2" STRIP VENT AROUND OVERHANG



DESIGN STUDIO

4180 WATKINS WAY
SAN JOSE, CA 95155
408.375.0041

REVISIONS

NO.	DESCRIPTION

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DESIGN BY: CHAD NGUYEN

Chad Nguyen

PROJECT

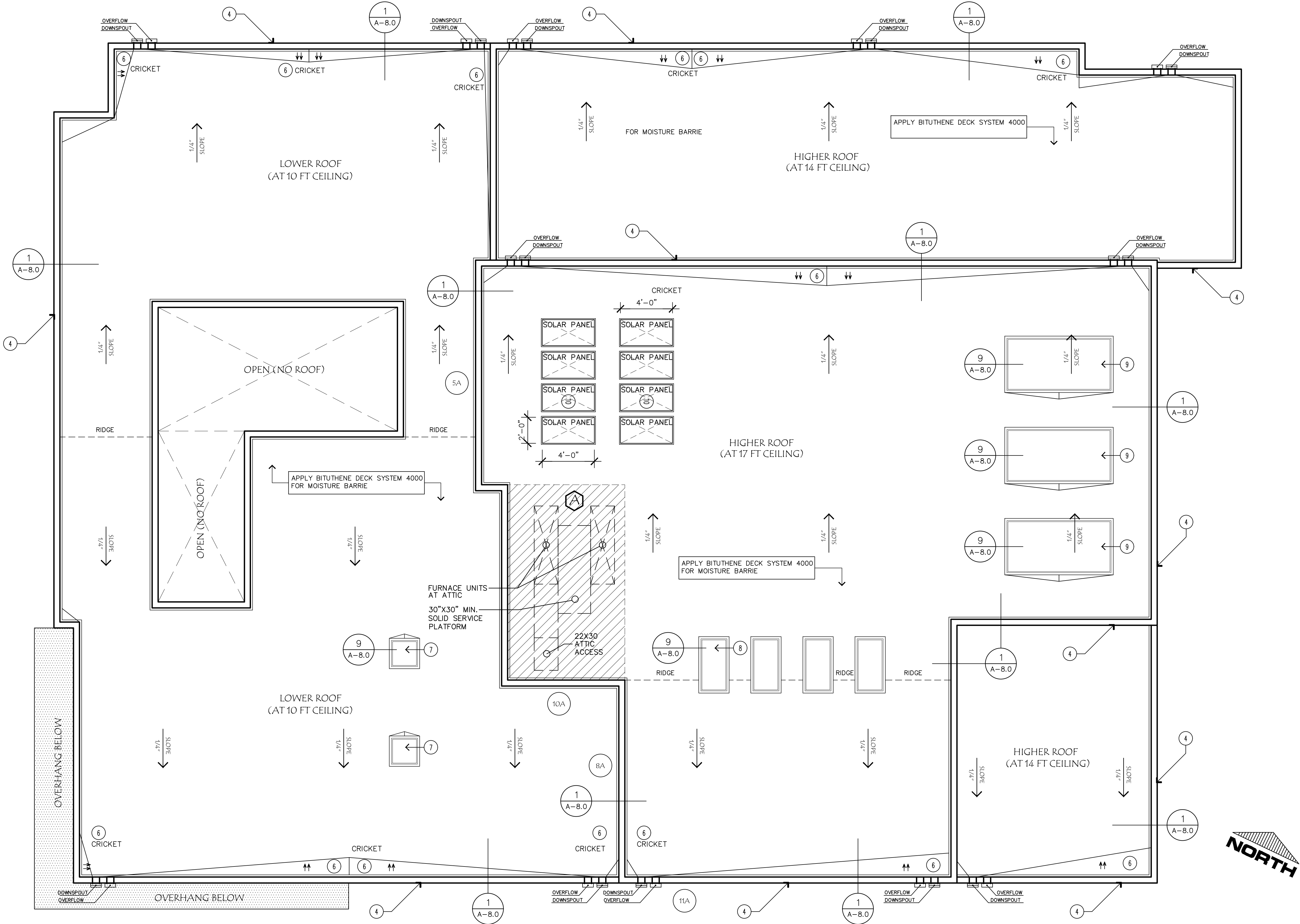
NEW SINGLE FAMILY HOUSE

ZHU
RESIDENCE

1755 MORA CT.
LOS ALTOS, CALIFORNIA

SHEET CONTENTS

ROOF PLAN



ROOF PLAN

SCALE: 1/4" = 1'-0"

ATTIC VENT CALCULATION

ATTIC SPACE	ATTIC AREA	$\times \frac{1}{150}$ REQ'D. FREE VENT	10"x36" ATTIC VENT = 2.5 SF 50% OPENING = 1.25 SF
A	135 S.F.	0.9 S.F.	2 = 2.5 SQFT.

SUMMARY:
AREA A: AREA VENT PROVIDE: 2.5 SF. > AREA REQUIRE 0.9 SF.

SEAMLESS METAL ROOF NOTES

MINIMUM SLOPES FOR METAL ROOF PANELS SHALL COMPLY WITH THE FOLLOWING:

- THE MINIMUM SLOPE FOR LAPPED, NONSOLDERED-SEAM METAL ROOFS WITHOUT APPLIED LAP SEALANT SHALL BE THREE UNITS VERTICAL IN 12 UNITS HORIZONTAL (25-PERCENT SLOPE).
- THE MINIMUM SLOPE FOR LAPPED, NONSOLDERED-SEAM METAL ROOFS WITH APPLIED LAP SEALANT SHALL BE ONE-HALF UNIT VERTICAL IN 12 UNITS HORIZONTAL (4-PERCENT SLOPE). LAP SEALANTS SHALL BE APPLIED IN ACCORDANCE WITH THE APPROVED MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- THE MINIMUM SLOPE FOR STANDING-SEAM ROOF SYSTEMS SHALL BE ONE-QUARTER UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE).
- ALL FLASHING SHALL BE GALVANIZED.

ROOF NOTES

- PROVIDE MINIMUM CLASS C FIRE RATING ROOFING MATERIAL
- PROVIDE MINIMUM OF TWO-LAYERS OF #15 FELT UNDER ALL ROOFING MATERIALS WHEN THE ROOF SLOPE IS LESS THAN 4:12
- ALL FLAT CEILING AND VAULTED CEILING AREAS SHALL BE PROVIDED WITH CONCEALED SPRAY FOAM WITH NO AIR GAP
- PROVIDE 4"x4" OPENING OF SCUPPER AND OVERFLOW
- FINISHED ROOF MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION AS REFERENCED IN THE LOS ALTOS RESIDENTIAL SUBMITTAL REQUIREMENTS
- SKYLIGHT: VELUX GLASS SKYLIGHT OR EQUAL
ICBO NUMBER: NER-216
NOTE: LAMINATED GLASS SHALL BE MINIMUM 30 MIL POLYVINYL INTERLAYER OR EQUIVALENT.

INSULATION NOTES

CONTRACTOR TO PROVIDE INSULATION AS LISTED BELOW:

.ROOF ATTICS: R-38 INSULATION
ATTIC INSULATION ATTACHMENT AT CEILING
AT FLAT CEILING AREA: CONCEALED SPRAY FOAM R-38 INSULATION (NO AIR GAP)
NOTE: FLAT ROOF/VAULTED CEILING INSULATION SHALL BE AIR-IMPERMEABLE INSULATION

.EXTERIOR WALLS: R-21 INSULATION
.INTERIOR WALL (AT GARAGE): R-21 INSULATION
.CRAWLSPACE (UNDERFLOOR): R-30 INSULATION
SEE TITLE 24 FOR ADDITIONAL INFORMATION

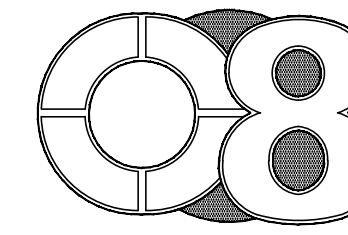
DATE 10-12-24

SCALE AS SHOWN

JOB 2024

SHEET

A-4.0



DESIGN STUDIO

4180 WATKINS WAY
SAN JOSE, CA 95135
408.375.0041

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Chad Nguyen

PROJECT

NEW SINGLE FAMILY HOUSE

ZHU
RESIDENCE

1755 MORA CT.
LOS ALTOS, CALIFORNIA

SHEET CONTENTS

SECTIONS A-A
SECTIONS B-B

DATE 10-12-24

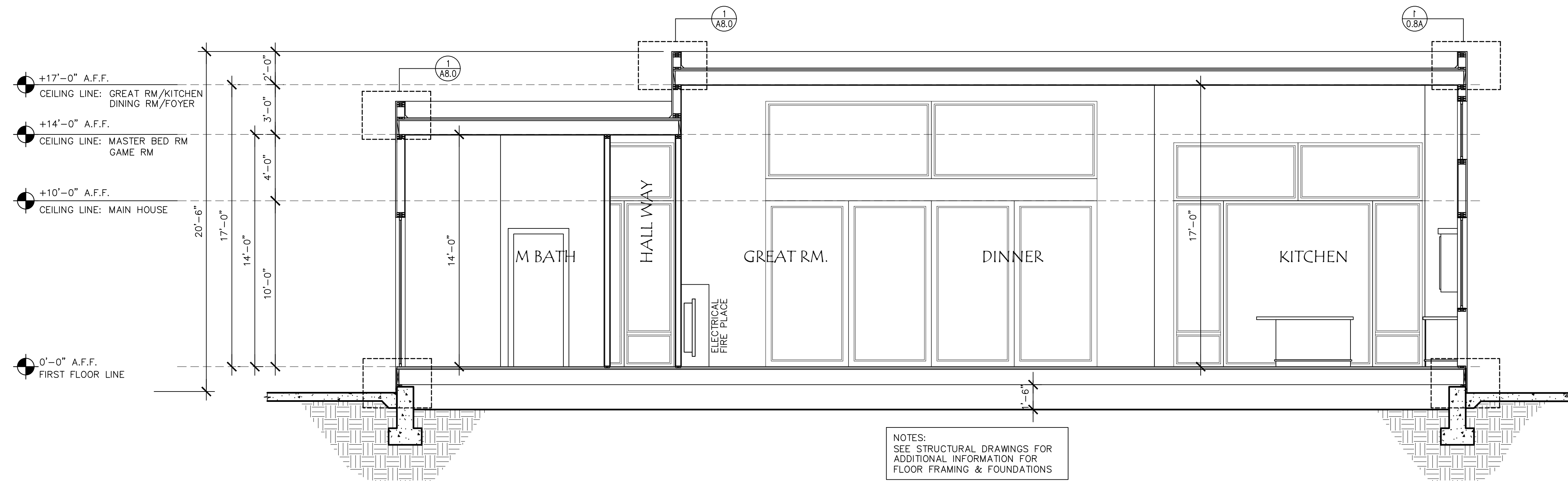
SCALE AS SHOWN

JOB 2024

SHEET

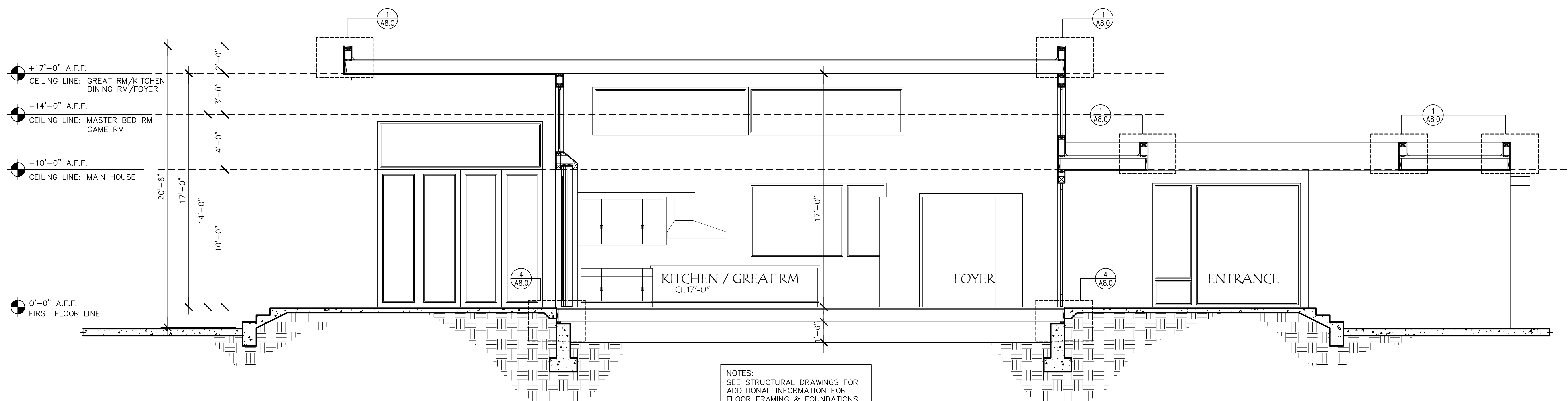
A-5.0

SECTION NOTES



SECTION B-B

SCALE: 1/4" = 1'-0"



SECTION A-A

SCALE: 1/4" = 1'-0"



COUNTY OF SANTA CLARA

2022 CALGREEN RESIDENTIAL CHECKLIST (MANDATORY+TIER 1)

County Amendments to CALGreen are in Italics.

- Designer to cross out items that are not applicable to the project.

- Installer or designer shall verify all applicable requirements have been satisfied and sign and date each row. County Inspectors will verify completion signatures and supporting documentation DURING CONSTRUCTION.

		APPLICANT TO COMPLETE		Installer or Designer	
		Plan Check Review Data		Verification	
ITEM #	CALGreen CODE SECTION	REFERENCE SHEET	Note or Detail No.	Date	Installer or Designer Signature
PLANNING AND DESIGN: MANDATORY REQUIREMENTS					
1	4.106.2	CG-3	NOTE 1		
2	4.106.3	CG-3	NOTE 2		
3	4.106.4.1	CG-3	NOTES 3 & 4		
PLANNING AND DESIGN: TIER 1 MANDATORY REQUIREMENTS					
4	A4.106.2.3	CG-4	NOTE 7		
5	A4.106.4	CG-4	NOTE 9		
PLANNING AND DESIGN: TIER 1 ELECTIVE REQUIREMENTS					
Comply with at least two Tier 1 elective measures - Cross out the rows not applicable	6	A4.103.1	CG-4	NOTE 1	
	7	A4.103.2	CG-4	NOTE 2	
	8	A4.104.1	CG-4	NOTE 3	
	9	A4.105.2	CG-4	NOTE 4	
	10	A4.106.2.1	CG-4	NOTE 5	
	11	A4.106.2.2	CG-4	NOTE 6	
	12	A4.106.3	CG-4	NOTE 8	
	13	A4.106.6	CG-4	NOTE 10	
	14	A4.106.7	CG-4	NOTE 11	
	15	4.201.1	T24 SHEETS		
ENERGY EFFICIENCY: MANDATORY REQUIREMENTS					
WATER EFFICIENCY & CONSERVATION: MANDATORY REQUIREMENTS					
16	4.303.1	CG-3	NOTE 5		
17	4.303.3	CG-3	Note 6		
18	4.304.1	CG-3	Note 7		

		APPLICANT TO COMPLETE		Installer or Designer	
		Plan Check Review Data		Verification	
ITEM #	CALGreen CODE SECTION	REFERENCE SHEET	Note or Detail No.	Date	Installer or Designer Signature
WATER EFFICIENCY & CONSERVATION: TIER 1 ELECTIVE REQUIREMENTS					
Comply with at least two Tier 1 elective measures - Cross out the rows not applicable	19	A4.303.1	CG-4	NOTE 14	
	20	A4.303.2	CG-4	NOTE 15	
	21	A4.303.3	CG-4	NOTE 16	
	22	A4.303.4	CG-4	NOTE 17	
	23	A4.303.5	CG-4	NOTE 18	
	24	A4.304.1	CG-4	NOTE 19	
	25	A4.304.2	CG-4	NOTE 20	
	26	A4.304.3	CG-4	NOTE 21	
	27	A4.305.1	CG-4	NOTE 22	
	28	A4.305.2	CG-4	NOTE 23	
	29	A4.305.3	CG-4	Note 24	
MATERIAL CONSERVATION & RESOURCE EFFICIENCY: MANDATORY REQUIREMENTS					
Comply with at least two Tier 1 elective measures - Cross out the rows not applicable	30	4.406.1	CG-3	Note 9	
	31	4.408.1	CG-3	Note 10	
	32	4.408.5	CG-2	Construction Waste Management Forms Note 11	
	33	4.410.1	CG-3	Note 12	
	34	A4.403.2	CG-4	Note 26	
	35	A4.405.3.1	CG-4	Note 33	
	36	A4.408.1	CG-2	Construction Waste Management Forms Note 41	
	37	A4.403.1	CG-4	NOTE 25	
	38	A4.404.1	CG-4	NOTE 27	
	39	A4.404.2	CG-4	NOTE 28	
Comply with at least two Tier 1 elective measures - Cross out the rows not applicable	40	A4.404.3	CG-4	NOTE 29	
	41	A4.404.4	CG-4	NOTE 30	
	42	A4.405.1	CG-4	NOTE 31	
	43	A4.405.2	CG-4	NOTE 32	
	44	A4.405.4	CG-4	NOTE 34	
	45	A4.407.1	CG-4	NOTE 35	
	46	A4.407.2	CG-4	NOTE 36	
	47	A4.407.3	CG-4	NOTE 37	
	48	A4.407.4	CG-4	NOTE 38	
	49	A4.407.6	CG-4	NOTE 39	
	50	A4.407.7	CG-4	Note 40	

		APPLICANT TO COMPLETE		Installer or Designer	
		Plan Check Review Data		Verification	
ITEM #	CALGreen CODE SECTION	REFERENCE SHEET	Note or Detail No.	Date	Installer or Designer Signature
ENVIRONMENTAL QUALITY: MANDATORY REQUIREMENTS					
51	4.503.1	CG-3	Note 13		
52	4.504.1	CG-3	Note 14		
53	4.504.2.1	CG-2	Table 4.504.1 Table 4.504.2 Note 15		
54	4.504.2.2	CG-2	Table 4.504.3		
55	4.504.2.3	CG-3	Note 16		
56	4.504.2.4	CG-3	Note 18		
57	4.504.3	CG-2	Table 4.504.1		
58	4.504.5	CG-1	Table 4.504.5		
59	4.504.5.1	CG-3	Note 21		
60	4.505.2	CG-3	Note 22		
61	4.505.3	CG-3	Note 23		
62	4.506.1	CG-3	Note 24		
63	4.507.2	CG-3	Note 25		
ENVIRONMENTAL QUALITY: TIER 1 MANDATORY REQUIREMENTS					
64	A4.504.2	CG-4	Note 26		
65	A4.504.3	CG-4	Note 27		
ENVIRONMENTAL QUALITY: TIER 1 ELECTIVE REQUIREMENTS					
Comply with at least one Tier 1 elective measure - Cross out the rows not applicable	66	A4.504.1	CG-4	Note 28	
	67	A4.506.2	CG-4	Note 29	
	68	A4.506.3	CG-4	Note 30	
	69	702.1	CG-3	Note 31	
	70	702.2	CG-3	Note 32	
	71	703.1	CG-3	Note 33	
	72	703.2	CG-3	Note 34	
	73	703.3	CG-3	Note 35	
	74	703.4	CG-3	Note 36	
	75	703.5	CG-3	Note 37	
INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS: MANDATORY REQUIREMENTS					
76	702.1	CG-3	Note 38		
77	702.2	CG-3	Note 39		
78	703.1	CG-3	Note 40		

TABLE 4.504.5 FORMALDEHYDE LIMITS ¹ Maximum Formaldehyde Emissions in Parts per Million	
PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard ²	0.13

1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E1333. For additional information, see California Code of Regulations, Title 17, Section 93120 through 93120.12.

2. Thin medium density fiberboard has a maximum thickness of 3/8" inch (8 mm).

TABLE A4.106.10 MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS ^{1,2}				
ALLOWABLE RATING	LIGHTING ZONE 1	LIGHTING ZONE 2	LIGHTING ZONE 3	LIGHTING ZONE 4
Maximum Allowable Backlight Rating ³				
Luminaire greater than 2 mounting heights (MH) from property line	No Limit	No Limit	No Limit	No Limit
Luminaire back hemisphere is 1 – 2 MH from property line	B2	B3	B4	B4
Luminaire back hemisphere is 0.5 – 1 MH from property line	B1	B2	B3	B3
Luminaire back hemisphere is less than 0.5 MH from property line	B0	B0	B1	B2
Maximum Allowable Uplight Rating				
For area lighting ⁴	U0	U0	U0	U0
For all other outdoor lighting, including decorative luminaires	U1	U2	U3	U4
Maximum Allowable Glare Rating ⁵				
Luminaire greater than 2 MH from property line	G1	G2	G3	G4
Luminaire front hemisphere is 1 – 2 MH from property line	G0	G1	G1	G2
Luminaire front hemisphere is 0.5 – 1 MH from property line	G0	G0	G1	G1
Luminaire back hemisphere is less than 0.5 MH from property line	G0	G0	G0	G1

1. IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the California Administrative Code.

2. For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purpose of determining compliance with this section. For property lines that abut public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section.

3. If the nearest property line is less than or equal to two mounting heights from the back hemisphere of the luminaire distribution, the applicable reduced Backlight rating shall be met.

4. General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaires located in these areas shall meet U-value limits for "all other outdoor lighting."

5. If the nearest property line is less than or equal to two mounting heights from the front hemisphere of the luminaire distribution, the applicable reduced Glare rating shall be met.

ZHU RESIDENCE

1755 MORA CT.
LOS ALTOS, CA

Project Information

CALGreen One or Two Family Residential Project Mandatory and Tier 1 Requirements
County of Santa Clara



CG-1

CALGREEN 2022 NOTES – MANDATORY REQUIREMENTS:

1. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. SEE CALGREEN 4.106.2 FOR FURTHER DETAILS.
2. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS, SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, WATER RETENTION GARDENS, AND OTHER MEASURES CAN BE USED. EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.
3. FOR ANY NEW DWELLING UNITS WITH ATTACHED GARAGES AND FOR REBUILDS OF EXISTING DWELLING UNITS THAT INCLUDE A PANEL UPGRADE OR CONSTRUCTION BETWEEN THE PANEL AND PARKING AREA, INSTALL A LEVEL 2 EV READY SPACE AND LEVEL 1 EV READY SPACE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "LEVEL 2 EV-READY."
- EXCEPTION: FOR EACH DWELLING UNIT WITH ONLY ONE PARKING SPACE, INSTALL A LEVEL 2 EV READY SPACE.
- LEVEL 1 EV READY SPACE IS A PARKING SPACE SERVED BY A COMPLETE ELECTRIC CIRCUIT WITH A MINIMUM OF 110/120 VOLT, 20-AMPERE CAPACITY, INCLUDING ELECTRICAL PANEL CAPACITY; AN OVERPROTECTION DEVICE; A MINIMUM 1" DIAMETER RACEWAY THAT MAY INCLUDE MULTIPLE CIRCUITS AS ALLOWED BY THE COUNTY ELECTRICAL CODE; PROPERLY SIZED CONDUCTORS; GROUNDING AND BONDING; AND EITHER (A) A RECEPTACLE LABELLED "ELECTRIC VEHICLE OUTLET" WITH AT LEAST A ½" FONT ADJACENT TO THE PARKING SPACE, OR (B) LABELED ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).
- LEVEL 2 EV READY SPACE IS A PARKING SPACE SERVED BY A COMPLETE ELECTRIC CIRCUIT WITH A MINIMUM OF 208/240 VOLT, 40-AMPERE CAPACITY, INCLUDING THE REQUIRED ELECTRICAL PANEL CAPACITY; AN OVERCURRENT PROTECTION DEVICE; A MINIMUM 1" DIAMETER RACEWAY THAT MAY INCLUDE MULTIPLE CIRCUITS AS ALLOWED BY THE COUNTY ELECTRICAL CODE; PROPERLY SIZED CONDUCTORS; GROUNDING AND BONDING; AND EITHER (A) A RECEPTACLE LABELED "ELECTRIC VEHICLE OUTLET" WITH A MINIMUM ½" FONT, ADJACENT TO THE PARKING SPACE, OR (B) A BLANK LABELED ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) WITH A MINIMUM OUTPUT OF 40 AMPERES.
4. ACCESSORY DWELLING UNITS (ADU) AND JUNIOR ACCESSORY DWELLING UNITS (JADU) WITHOUT ADDITIONAL PARKING SPACES AND WITHOUT ELECTRICAL PANEL UPGRADE OR NEW PANEL INSTALLATION ARE EXEMPT FROM REQUIREMENTS ON NOTE 3. ADUS AND JADUS WITHOUT ADDITIONAL PARKING BUT WITH ELECTRICAL PANEL UPGRADES OR NEW PANELS MUST HAVE RESERVED BREAKERS AND ELECTRICAL CAPACITY ACCORDING TO THE REQUIREMENTS OF NOTE 3.
5. ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL BY BUILDING AND INSPECTION DIVISION. SEE CIVIL CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.
- A. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.
- B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.
- C. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER-HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.
- D. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- E. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
6. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.
7. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH COUNTY OF SANTA CLARA WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.
8. Not used.
9. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE COUNTY OF SANTA CLARA.
10. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN SECTION 4.408.2 OR 4.408.3.

- A. A CONSTRUCTION WASTE MANAGEMENT PLAN IS PROVIDED. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE COUNTY OF SANTA CLARA.
1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
- B. A WASTE MANAGEMENT COMPANY CAN BE UTILIZED IF APPROVED BY THE COUNTY OF SANTA CLARA. SEE CALGREEN 4.408.3 FOR FURTHER DETAILS

11. DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATES COMPLIANCE WITH NOTE 10.
12. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER MEDIA ACCEPTABLE TO THE COUNTY OF SANTA CLARA INCLUDES ALL OF THE REQUIRED INFORMATION, SHALL BE PLACED IN THE BUILDING. SEE CALGREEN 4.410.1 FOR DETAILS OF REQUIRED INFORMATION.
13. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGULATION 6, RULE 3.
14. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.
15. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF CALGREEN TABLES 4.504.1 OR 4.504.2 AS REPRODUCED ON SHEET CG-1. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED BELOW.
- AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.
16. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS AS SHOWN IN TABLE 4.504.3 SHEET CG-1. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NON-FLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3, SHEET CG-1 SHALL APPLY.
17. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.
18. VERIFICATION OF COMPLIANCE WITH NOTES 15, 16, AND 17 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.
19. ALL CARPET AND CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350)
- ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1, SHEET CG-1.
20. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350)
21. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 4.504.5 SHEET CG-1.
22. VERIFICATION OF COMPLIANCE WITH NOTE 21 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

23. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY CRC CHAPTER 5, SHALL COMPLY WITH FOLLOWING REQUIREMENT:
- A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:
- A. A 4-INCH-THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED.
- B. A SLAB DESIGN SPECIFIED BY THE LICENSED DESIGN PROFESSIONAL.
24. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.
25. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
- A. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
- B. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
1. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ≤ 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
2. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.
26. HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
- A. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J—2016 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- B. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D—2016 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- C. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S—2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
27. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS.
28. IF REQUIRED BY THE COUNTY OF SANTA CLARA, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE COUNTY OF SANTA CLARA FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.
29. DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

Project Information

ZHU RESIDENCE

1755 MORA CT.
LOS ALTOS, CA



CALGREEN 2022 NOTES – TIER 1 REQUIREMENTS:

1. SITE WHICH COMPLIES WITH AT LEAST ONE OF THE FOLLOWING CHARACTERISTICS SHALL BE SELECTED:
- A. AN INFILL SITE.
 - B. A GREYFIELD SITE.
 - C. AN EPA-RECOGNIZED AND REMEDIATED BROWNFIELD SITE.
2. FACILITATE COMMUNITY CONNECTIVITY BY ONE OF THE FOLLOWING METHODS:
- A. LOCATE PROJECT WITHIN A ¼ MILE TRUE WALKING DISTANCE OF AT LEAST FOUR BASIC SERVICES, READILY ACCESSIBLE BY PEDESTRIANS.
 - B. LOCATE PROJECT WITHIN A ½ MILE TRUE WALKING DISTANCE OF AT LEAST SEVEN BASIC SERVICES, READILY ACCESSIBLE BY PEDESTRIANS.
 - C. OTHER METHODS INCREASING ACCESS TO ADDITIONAL RESOURCES.

EXAMPLES OF SERVICES INCLUDE, BUT ARE NOT LIMITED TO, BANK, PLACE OF WORSHIP, CONVENIENCE GROCERY, DAY CARE, CLEANERS, FIRE STATION, BARBER SHOP, BEAUTY SHOP, HARDWARE STORE, LAUNDRY, LIBRARY, MEDICAL CLINIC, DENTAL CLINIC, SENIOR CARE FACILITY, PARK, PHARMACY, POST OFFICE, RESTAURANT, SCHOOL, SUPERMARKET, THEATER, COMMUNITY CENTER, FITNESS CENTER, MUSEUM OR FARMERS MARKET.

3. INDIVIDUALS WITH OVERSIGHT AUTHORITY ON THE PROJECT WHO HAVE BEEN TRAINED IN AREAS RELATED TO ENVIRONMENTALLY FRIENDLY DEVELOPMENT SHALL TEACH GREEN CONCEPTS TO OTHER MEMBERS OF THE DEVELOPMENT STAFF AND ENSURE THAT TRAINING IS PROVIDED TO ALL PARTIES ASSOCIATED WITH THE DEVELOPMENT OF THE PROJECT.

PRIOR TO BEGINNING THE CONSTRUCTION ACTIVITIES, ALL PARTIES INVOLVED WITH THE DEVELOPMENT PROCESS SHALL RECEIVE A WRITTEN GUIDELINE AND INSTRUCTION SPECIFYING THE GREEN GOALS OF THE PROJECT.

4. THE SALVAGED MATERIALS FROM DECONSTRUCTION OF EXISTING BUILDINGS ON THE SITE SHALL BE REUSED. REUSED MATERIALS OR PRODUCTS MUST COMPLY WITH CURRENT BUILDING STANDARDS REQUIREMENTS OR BE AN ACCEPTED ALTERNATE METHOD OR MATERIAL.

MATERIALS WHICH CAN BE EASILY REUSED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- A. LIGHT FIXTURES.
- B. PLUMBING FIXTURES.
- C. DOORS AND TRIM.
- D. MASONRY.
- E. ELECTRICAL DEVICES.
- F. APPLIANCES.
- G. FOUNDATIONS OR PORTIONS OF FOUNDATIONS.

REUSED MATERIAL MUST BE IN COMPLIANCE WITH THE APPROPRIATE TITLE 24 REQUIREMENTS.

5. BUILDING SITE SOIL ANALYSIS SHALL BE PERFORMED BY A LICENSED DESIGN PROFESSIONAL AND THE FINDINGS SHALL BE UTILIZED IN THE STRUCTURAL DESIGN OF THE BUILDING.
6. THE EFFECT OF DEVELOPMENT ON BUILDING SITES SHALL BE EVALUATED AND THE SOIL SHALL BE PROTECTED BY ONE OR MORE OF THE FOLLOWING:
- A. NATURAL DRAINAGE PATTERNS SHALL BE EVALUATED AND EROSION CONTROLS SHALL BE IMPLEMENTED TO MINIMIZE EROSION DURING CONSTRUCTION AND AFTER OCCUPANCY.
 - B. SITE ACCESS SHALL BE ACCOMPLISHED BY MINIMIZING THE AMOUNT OF CUT AND FILL NEEDED TO INSTALL ACCESS ROADS AND DRIVEWAYS.
 - C. AS ALLOWED BY OTHER PARTS OF THE CALIFORNIA BUILDING STANDARDS CODE, UNDERGROUND CONSTRUCTION ACTIVITIES SHALL BE COORDINATED TO UTILIZE THE SAME TRENCH, MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL IS EXPOSED AND THE SOIL SHALL BE REPLACED USING ACCEPTED COMPACTION METHODS.
7. TOPSOIL SHALL BE PROTECTED OR SAVED FOR REUSE. DISPLACED TOPSOIL SHALL BE STOCKPILED FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION. PROTECTION FROM EROSION INCLUDES COVERING WITH TARPS, STRAW, MULCH, CHIPPED WOOD, VEGETATIVE COVER, OR OTHER MEANS ACCEPTABLE TO THE COUNTY OF SANTA CLARA TO PROTECT THE TOPSOIL FOR LATER USE.
8. POSTCONSTRUCTION LANDSCAPE DESIGNS SHALL ACCOMPLISH ONE OR MORE OF THE FOLLOWING:
- A. AREAS DISRUPTED DURING CONSTRUCTION SHALL BE RESTORED TO BE CONSISTENT WITH NATIVE VEGETATION SPECIES AND PATTERNS.
 - B. UTILIZE AT LEAST 75 PERCENT NATIVE CALIFORNIA OR DROUGHT TOLERANT PLANT AND TREE SPECIES APPROPRIATE FOR THE CLIMATE ZONE REGION.
9. PERMEABLE PAVING SHALL BE UTILIZED FOR NOT LESS THAN 20 PERCENT OF THE TOTAL PARKING, WALKING OR PATIO SURFACES

THE PRIMARY DRIVEWAY, PRIMARY ENTRY WALKWAY AND ENTRY PORCH OR LANDING SHALL NOT BE INCLUDED WHEN CALCULATING THE AREA REQUIRED TO BE A PERMEABLE SURFACE.

10. INSTALL A VEGETATED ROOF FOR AT LEAST 50 PERCENT OF THE ROOF AREA. VEGETATED ROOFS SHALL COMPLY WITH REQUIREMENTS FOR ROOF GARDENS AND LANDSCAPED ROOFS IN THE CALIFORNIA BUILDING CODE, CHAPTER 15, AND CHAPTER 16.
11. REDUCE NONROOF HEAT ISLANDS FOR 50 PERCENT OF SIDEWALKS, PATIOS, DRIVEWAYS OR OTHER PAVED AREAS BY USING ONE OR MORE OF THE METHODS LISTED.
- A. TREES OR OTHER PLANTINGS TO PROVIDE SHADE AND THAT MATURE WITHIN 15 YEARS OF PLANTING. TREES SHOULD BE NATIVE OR ADAPTIVE TO THE REGION AND CLIMATE ZONES AND NONINVASIVE; HARDY AND RESISTANT TO DROUGHT, INSECTS AND DISEASE; EASY TO MAINTAIN (NO FREQUENT SHEDDING OF TWIGS, BRANCHES, UNWANTED FRUIT OR SEED PODS); AND SUITABLE IN MATURE SIZE

AND ENVIRONMENTAL REQUIREMENTS FOR THE SITE. TREE SELECTION AND PLACEMENT SHOULD CONSIDER LOCATION AND SIZE OF AREAS TO BE SHADED, LOCATION OF UTILITIES, VIEWS FROM THE STRUCTURE, DISTANCE TO SIDEWALKS AND FOUNDATIONS, OVERHANGS ONTO ADJACENT PROPERTIES AND STREETS, OTHER INFRASTRUCTURE AND ADJACENT TO LANDSCAPING. IN ADDITION, SHADING SHALL NOT CAST A SHADOW, AS SPECIFIED, ON ANY NEIGHBORING SOLAR COLLECTORS PURSUANT TO PUBLIC RESOURCES CODE SECTION 25981, ET SEQ. (SOLAR SHADE CONTROL ACT).

- B. USE HIGH ALBEDO MATERIALS WITH AN INITIAL SOLAR REFLECTANCE VALUE OF AT LEAST 0.30 AS DETERMINED IN ACCORDANCE ASTM E1918 OR C1549.
- C. USE OPEN GRID PAVEMENT SYSTEM OR PERVIOUS OR PERMEABLE PAVEMENT SYSTEM.
- D. LOCATE 50 PERCENT OF PARKING UNDERGROUND OR USE MULTILEVEL PARKING.
- E. OTHER METHODS OF REDUCING HEAT ISLAND EFFECTS ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

12. NOT USED.
13. NOT USED.

14. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.5 GAL-ONS PER MINUTE AT 60 PSI. WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

15. ALTERNATE NONPOTABLE WATER SOURCES SHALL BE USED FOR INDOOR POTABLE WATER REDUCTION. ALTERNATE NONPOTABLE WATER SOURCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

16. INSTALL AT LEAST ONE QUALIFIED ENERGY STAR DISHWASHER OR CLOTHES WASHER.

17. NONWATER URINALS OR COMPOSTING TOILETS SHALL BE INSTALLED. WHERE APPROVED, HYBRID URINALS, AS DEFINED IN CALGREEN CHAPTER 2, SHALL BE CONSIDERED NONWATER URINALS.

18. ONE- AND TWO-FAMILY DWELLINGS SHALL BE EQUIPPED WITH A DEMAND HOT WATER RECIRCULATION SYSTEM, AS DEFINED IN CALGREEN CHAPTER 2. THE DEMAND HOT WATER RECIRCULATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, CALIFORNIA ENERGY CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

19. AN APPROVED RAINWATER CATCHMENT SYSTEM SHALL BE DESIGNED AND INSTALLED TO USE RAINWATER GENERATED BY AT LEAST 65 PERCENT OF THE AVAILABLE ROOF AREA. RAINWATER CATCHMENT SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

20. WHEN LANDSCAPING IS PROVIDED AND AS ALLOWED BY LOCAL ORDINANCE, A WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN THAT ELIMINATES THE USE OF POTABLE WATER BEYOND THE INITIAL REQUIREMENTS FOR PLANT INSTALLATION AND ESTABLISHMENT SHALL BE PROVIDED. METHODS USED TO ACCOMPLISH THE REQUIREMENTS OF THIS SECTION SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING STANDARDS CODE AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

- A. USE OF CAPTURED RAINWATER.
- B. USE OF RECYCLED WATER.
- C. WATER TREATED FOR IRRIGATION PURPOSES AND CONVEYED BY A WATER DISTRICT OR PUBLIC ENTITY.
- D. USE OF GRAYWATER.
- E. USE OF DROUGHT TOLERANT PLANTS.

21. FOR NEW WATER SERVICE CONNECTIONS, LANDSCAPED IRRIGATED AREAS LESS THAN 5,000 SQUARE FEET SHALL BE PROVIDED WITH SEPARATE SUBMETERS OR METERING DEVICES FOR OUTDOOR POTABLE WATER USE.

22. ALTERNATIVE PLUMBING PIPING SHALL BE INSTALLED TO PERMIT THE DISCHARGE FROM THE CLOTHES WASHER OR OTHER FIXTURES TO BE USED FOR AN IRRIGATION SYSTEM IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE.

23. BASED ON PROJECTED AVAILABILITY, DUAL WATER PIPING SHALL BE INSTALLED FOR FUTURE USE OF RECYCLED WATER AT THE FOLLOWING LOCATIONS:
- A. INTERIOR PIPING FOR THE USE OF RECYCLED WATER SHALL BE INSTALLED TO SERVE ALL WATER CLOSETS, URINALS AND FLOOR DRAINS.
 - B. EXTERIOR PIPING IS INSTALLED TO TRANSPORT RECYCLED WATER FROM THE POINT OF CONNECTION TO THE STRUCTURE. RECYCLED WATER SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.
24. RECYCLED WATER SHALL BE USED FOR LANDSCAPE IRRIGATION.

25. AS ALLOWED BY LOCAL CONDITIONS, UTILIZE A FROST-PROTECTED SHALLOW FOUNDATION (FPSF) IN COMPLIANCE WITH THE CALIFORNIA RESIDENTIAL CODE (CRC). WHEN AN FPSF FOUNDATION SYSTEM IS INSTALLED, THE MANUAL REQUIRED BY CALGREEN SECTION 4.410.1 SHALL INCLUDE INSTRUCTIONS TO THE OWNER OR OCCUPANT REGARDING THE NECESSITY FOR HEATING THE STRUCTURE AS REQUIRED IN SECTION R403.3 OF THE CALIFORNIA RESIDENTIAL CODE.

26. AS ALLOWED BY THE COUNTY OF SANTA CLARA, CEMENT USED IN FOUNDATION MIX DESIGN SHALL BE REDUCED NOT LESS THAN 20 PERCENT. PRODUCTS COMMONLY USED TO REPLACE CEMENT IN CONCRETE MIX DESIGNS INCLUDE, BUT ARE NOT LIMITED TO:
- A. FLY ASH.
 - B. SLAG.
 - C. SILICA FUME.
 - D. RICE HULL ASH.

27. BEAMS, HEADERS AND TRIMMERS SHALL BE SIZED AND INSTALLED AS SPECIFIED IN CHAPTER 23 OF THE CALIFORNIA BUILDING CODE, OR CHAPTER 6 OF THE CALIFORNIA RESIDENTIAL CODE, AS APPLICABLE. OTHER CALCULATIONS ACCEPTABLE TO THE

COUNTY OF SANTA CLARA WHICH USE THE MINIMUM SIZE MEMBER FOR THE TRIBUTARY LOAD IS ACCEPTABLE.

28. BUILDING DIMENSIONS AND LAYOUTS SHALL BE DESIGNED TO MINIMIZE WASTE BY ONE OR MORE OF THE FOLLOWING MEASURES IN AT LEAST 80 PERCENT OF THE STRUCTURE:

- A. BUILDING DESIGN DIMENSIONS IN 2-FOOT INCREMENTS ARE USED.
- B. WINDOWS AND DOORS ARE LOCATED AT REGULAR 16" OR 24" STUD POSITIONS.
- C. OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

29. PREMANUFACTURED BUILDING SYSTEMS SHALL BE USED TO ELIMINATE SOLID SAWN LUMBER WHENEVER POSSIBLE. ONE OR MORE OF THE FOLLOWING PREMANUFACTURED BUILDING SYSTEMS IS USED:

- A. COMPOSITE FLOOR JOIST OR PREMANUFACTURED FLOOR FRAMING SYSTEM.
- B. COMPOSITE ROOF RAFTERS OR PREMANUFACTURED ROOF FRAMING SYSTEM.
- C. PANELIZED (SIPS, ICF OR SIMILAR) FRAMING SYSTEMS.
- D. OTHER METHODS APPROVED BY THE COUNTY OF SANTA CLARA.

30. MATERIAL LISTS SHALL BE INCLUDED IN THE PLANS WHICH SPECIFY THE MATERIAL QUANTITY AND PROVIDE DIRECTION FOR ON-SITE CUTS TO BE MADE FROM THE MATERIAL PROVIDED. MATERIAL LISTS AND DIRECTION SHALL BE PROVIDED FOR THE FOLLOWING SYSTEMS:

- A. FLOOR FRAMING.
- B. WALL FRAMING.
- C. CEILING AND ROOF FRAMING.
- D. STRUCTURAL PANELS AND ROOF SHEATHING.

31. UTILIZE PREFINISHED BUILDING MATERIALS WHICH DO NOT REQUIRE ADDITIONAL PAINTING OR STAINING WHEN POSSIBLE. ONE OR MORE OF THE FOLLOWING BUILDING MATERIALS THAT DO NOT REQUIRE ADDITIONAL RESOURCES FOR FINISHING ARE USED:

- A. EXTERIOR TRIM NOT REQUIRING PAINT OR STAIN.
- B. WINDOWS NOT REQUIRING PAINT OR STAIN.
- C. SIDING OR EXTERIOR WALL COVERINGS WHICH DO NOT REQUIRE PAINT OR STAIN.

32. CONCRETE FLOORS THAT DO NOT REQUIRE ADDITIONAL COVERINGS SHALL BE USED INCLUDING BUT NOT LIMITED TO STAINED, NATURAL OR STAMPED CONCRETE FLOORS.

33. USE MATERIALS, EQUIVALENT IN PERFORMANCE TO VIRGIN MATERIALS WITH A TOTAL (COMBINED) RECYCLED CONTENT VALUE (RCV) OF NOT BE LESS THAN 10 PERCENT OF THE TOTAL MATERIAL COST OF THE PROJECT.

REQUIRED TOTAL RCV (DOLLARS) = TOTAL MATERIAL COST(DOLLARS) × 10 PERCENT

FOR THE PURPOSES OF THIS SECTION, MATERIALS USED AS COMPONENTS OF THE STRUCTURAL FRAME SHALL NOT BE USED TO CALCULATE RECYCLED CONTENT. THE STRUCTURAL FRAME INCLUDES THE LOAD BEARING STRUCTURAL ELEMENTS, SUCH AS WALL STUDS, PLATES, SILLS, COLUMNS, BEAMS, GIRDERS, JOISTS, RAFTERS, AND TRUSSES. SAMPLE FORMS WHICH ALLOW USER INPUT, LOCATED AT SHEET CG-4, MAY BE USED TO SIMPLIFY DOCUMENTING COMPLIANCE WITH THIS SECTION AND FOR CALCULATING RECYCLED CONTENT VALUE OF MATERIALS OR ASSEMBLY PRODUCTS.

SOURCES AND RECYCLED CONTENT OF SOME RECYCLED MATERIALS CAN BE OBTAINED FROM CALRECYCLE IF NOT PROVIDED BY THE MANUFACTURER.

FOR FURTHER INSTRUCTION SEE CALGREEN A4.405.3.

34. ONE OR MORE OF THE FOLLOWING MATERIALS MANUFACTURED FROM RAPIDLY RENEWABLE SOURCES OR AGRICULTURAL BY-PRODUCTS SHALL BE USED:

- A. INSULATION.
- B. BAMBOO OR CORK.
- C. ENGINEERED PRODUCTS.
- D. AGRICULTURAL BASED PRODUCTS.
- E. OTHER PRODUCTS ACCEPTABLE TO THE ENFORCING AGENCY.

THE INTENT OF THIS SECTION IS TO UTILIZE BUILDING MATERIALS AND PRODUCTS WHICH ARE TYPICALLY HARVESTED WITHIN A 10-YEAR OR SHORTER CYCLE.

35. INSTALL FOUNDATION AND LANDSCAPE DRAINS WHICH DISCHARGE TO A DRY WELL, SUMP, BIOSWALE OR OTHER APPROVED ON-SITE LOCATION.

36. INSTALL GUTTER AND DOWNSPOUT SYSTEMS TO ROUTE WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION OR CONNECT TO LANDSCAPE DRAINS WHICH DISCHARGE TO A DRY WELL, SUMP, BIOSWALE, RAINWATER CAPTURE SYSTEM OR OTHER APPROVED ON-SITE LOCATION.

37. PROVIDE FLASHING DETAILS ON THE BUILDING PLANS WHICH COMPLY WITH ACCEPTED INDUSTRY STANDARDS OR MANUFACTURER'S INSTRUCTIONS. DETAILS SHALL BE SHOWN ON HOUSE PLANS AT ALL OF THE FOLLOWING LOCATIONS:

- A. AROUND WINDOWS AND DOORS.
- B. ROOF VALLEYS.
- C. DECK CONNECTIONS TO THE STRUCTURE.
- D. ROOF-TO-WALL INTERSECTIONS.
- E. CHIMNEYS TO ROOF INTERSECTIONS.
- F. DRIP CAPS ABOVE WINDOWS AND DOORS WITH ARCHITECTURAL PROJECTIONS.

38. PROTECT BUILDING MATERIALS DELIVERED TO THE CONSTRUCTION SITE FROM RAIN AND OTHER SOURCES OF MOISTURE.

39. EXTERIOR DOORS TO THE DWELLING SHALL BE COVERED TO PREVENT WATER INTRUSION BY ONE OR MORE OF THE FOLLOWING:

- A. AN AWNING AT LEAST 4 FEET IN DEPTH IS INSTALLED.
- B. THE DOOR IS PROTECTED BY A ROOF OVERHANG AT LEAST 4 FEET IN DEPTH.
- C. THE DOOR IS RECESSED AT LEAST 4 FEET.
- D. OTHER METHODS WHICH PROVIDE EQUIVALENT PROTECTION.

40. A PERMANENT OVERHANG OR AWNING AT LEAST 2 FEET IN DEPTH SHALL BE PROVIDED AT ALL EXTERIOR WALLS.

41. NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGE IN COMPLIANCE WITH THE FOLLOWING:

AT LEAST A 65 PERCENT REDUCTION. ANY MIXED RECYCLABLES THAT ARE SENT TO MIXED-WASTE RECYCLING FACILITIES SHALL INCLUDE A QUALIFIED THIRD PARTY VERIFIED FACILITY AVERAGE DIVERSION RATE. VERIFICATION OF DIVERSION RATES SHALL MEET MINIMUM CERTIFICATION ELIGIBILITY GUIDELINES, ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATES COMPLIANCE WITH THIS SECTION. DOCUMENTATION SHALL BE IN COMPLIANCE WITH CALGREEN SECTION 4.408.5.

42. USE COMPOSITE WOOD PRODUCTS MADE WITH EITHER CALIFORNIA AIR RESOURCES BOARD APPROVED NO-ADDED FORMALDEHYDE (NAF) RESINS OR ULTRA-LOW EMITTING FORMALDEHYDE (ULEF) RESINS.

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THAT FINISH MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS.

43. AT LEAST 90 PERCENT OF THE TOTAL AREA OF RESILIENT FLOORING SYSTEMS INSTALLED IN THE BUILDING SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350.

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THAT FINISH MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS IN THIS SECTION.

44. INSTALL THERMAL INSULATION IN COMPLIANCE WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350.

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THE MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS IN THIS SECTION.

45. PROVIDE FILTERS ON RETURN AIR OPENINGS RATED AT MERV 8 OR HIGHER DURING CONSTRUCTION.

46. DIRECT-VENT HEATING AND COOLING EQUIPMENT SHALL BE UTILIZED IF THE EQUIPMENT WILL BE LOCATED IN THE CONDITIONED SPACE OR INSTALL THE SPACE HEATING AND WATER HEATING EQUIPMENT IN AN ISOLATED MECHANICAL ROOM.