

Dang Residence
- Addition
3649 Westview Ave.
San Jose, CA. 95148

OWNER

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San Jose, CA. 95148
phone:
email:

STRUCTURAL ENGINEER

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SOIL ENGINEER

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SCOPES OF WORK:

- First floor addition: 1811 sqft
* (n) bedrm. & baths. #6, 7, 8, 9, 10
* (n) laundry
* (n) bathrm. #3 & #4
* convert (e) powder to bath. #2
- (N) 141 sqft detached workshop

General Notes:

- All construction shall comply in addition to 2019 California Residence Code, California Engery Code, 2022 CBC, 2022 CEC, 2022 CMC, 2022 CPC, 2022 California Green Code, and all local codes and ordinaces
- Fireblock at ceiling, floors, furred down ceilings, showers, soffits and concealed draft openings not to exceed 10 feet maximum.
- The base for wall tile in tub and shower areas, wall and ceiling panels in shower areas shall be cement, fiber-cement or glass mat gypsum backers in compliance with ASTM C 1178, C1288, C1325
- Smoke detectors in new construction shall be powered by building wiring current with battery backup.
- Provide a fire warning system (Smoke Detectors) for each story and within each existing bedroom
- Light fixtures in tub or shower enclosures or other wet/damp loctions shall be labeled "suitable for damp locations".
- Provide Class A fire-rated roofing.
- All dimensions shall be field verified and coordinated with all work of all trades
- Ceiling heights are to finished surfaces.
- Offset studs where required so that finish wall surfaces will be flush.
- All dimensions are to column gird lines, face of studs, face of concrete, and face of cmu.
- Contractor shall verify size and locations of all mechanical equipment as well as power, water and drain installation with equipment manufacturers before proceeding with the work.
- Coordinate utilities shown on arch. dwgs. with mech, plumbing and elec.dwgs. Provide service to all utilities outllests shown on arch. drawings.
- All dimensions shall be field verified and coordinate with all the of the trades.
- Finish materials for all baths, showers, walls at shower enclosures should have a smooth, hard nonabsorbent surface such as tiles/ceramic tiles, portland cement...
- Structural observation shall be required by the Engineer for structural conformance to the approved plans.
- Special inspections are required for: drilled piers, concrete over 2500 psi.
- All construction to provide a waterproof, weather tight building.
Contractor shall flash and caulk as necessary to achieve this requirement.

Project Data :Address: 3649 Westview Dr.

APN: 654-19-018

Building Code: 2022 CRC, CEC (Engergy), CBC, CEC, CMC, CPC, CGC (Green), Fire Code

Planning Code : County of Santa Clara

Zoning: RR-d1

Lot Size: 21,780.0 sq.ft.

Type of Construction: Type VB

Occupancy Group: R-3/U

Heights: 02 Story

Maximum Height: Proposed: 22'-0" (NO CHANGE)

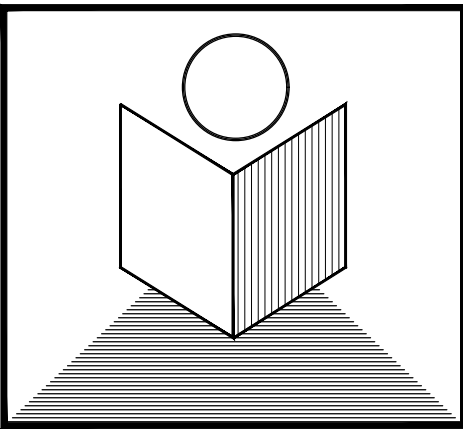
WUI zoning: Chapter 7A

FLOOR AREA				
Floor Area	Existing	Addition	Proposed	Allowed
FIRST FLOOR	1676.0 sqft.	1671.0 sqft.	3347.0 sqft	
<i>GARAGE</i>	<i>532.0 sqft</i>	<i>NO CHANGE</i>	<i>532.0 sqft</i>	
<i>COVERED PORCH</i>	<i>542.0 sqft</i>	<i>NO CHANGE</i>	<i>542.0 sqft</i>	
<i>UNCOVERED DECK</i>	<i>118.0 sqft</i>	<i>NO CHANGE</i>	<i>118.0 sqft</i>	
<i>WORK SHOP</i>	<i>N/A</i>	<i>141.0 sqft.</i>	<i>141.0 sqft</i>	
SECOND FLOOR	699 sqft.	NO CHANGE	699 sqft.	
TOTAL	2375 sqft.	1811.0 sqft.	4186 sqft.	8901.0 sqft.
F.A.R (%)	11.57%	7.65%	19.22%	45.0%
LOT COVERAGE	2237 sqft.	1803 sqft.	4020 sqft.	
LOT COVERAGE RATIO (%)	10.18%	8.28%	18.46%	

SETBACKS	EXISTING	PROPOSED	REQUIRED
Front	24'-4"	NO CHANGE	25'-0"
Left side	12'-6"	NO CHANGE	12'-6"
Right side	120'-0"	100'-10"	12'-6"
Rear	20'-0"	20'-0"	30'-0"



COUNTY APPROVAL STAMP



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APN: **654-19-018**

Title Sheet

BUILDING PERMIT SET

no.	revisions	date
1	DESIGN REVIEW	01/14/2025

date issued: 01/14/2025

drawn by: NGHI THANH LE

job#: 3020-2025

drawing number

A0

of sheets

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ABBREVIATIONS

ACST	ACOUSTICAL	LAM.	LAMINATED
ADJ.	ADJUSTABLE	LAV.	LAVATORY
A.F.F.	ABOVE FINISH FLOOR	L.V.R.	LOUVER
ACST	ARCHITECTURAL	L.P.	LOW POINT
ASPH.	ASPHALT	M.C.	MEDICINE CABINET
		MECH.	MECHANICAL
BI-FD. DR.	BI FOLDING DOOR	MIN.	MINIMUM
BLDG.	BUILDING	MIR.	MIRROR
BLK.	BLOCK	M.T.	MARBLE TILE
BLKG.	BLOCKING	M.	METAL
BM.	BEAM		
B.O.	BOTTOM OF	(N)	NEW
		N.I.C.	NOT IN CONTRACT
C. or CARP.	CARPET/PAD	N.T.S.	NOT TO SCALE
CAB. or CAB'T.	CABINET		
CB	CATCH BASIN	O/	OVER
CEM.	CEMENT	OBS.	OBSCURER
CER.	CERAMIC	O.C.	ON CENTER
C.I.	CAST IRON	OP'G.	OPENING
C.I.	CONSTRUCTION JOINT	PERF.	PERFORATED
CL.	CLOSET	PL.	PLATE
CLG.	CEILING	P.LAM.	PLASTIC LAMINATE
CLR.	CLEAR	P.L.	PROPERTY LINE
C.O.	CLEAN OUT	PLAS.	PLASTER
COL.	COLUMN	PWD.	PLYWOOD
CONC.	CONCRETE	P.	POINT
CONT.	CONTINUOUS	QTY.	QUANTITY
C.T.	CERAMIC TILE	R.	RISER
CL.	CENTER LINE	RAD.	RADIUS
DET. or DTL.	DETAIL	RET. AIR	RETURN AIR
D.H.	DOUBLE HUNG	RD.	ROUND
DIAG.	DIAGONAL	R.D.	ROOF DRAIN
DM.	DIMENSION	REF.	REFRIGERATOR
DISP.	DISPOSAL	REG.	REGISTER
DR.	DOOR	REINF.	REINFORCED
DWS.	DRAWINGS	REQ'D.	REQUIRED
		RM.	ROOM
(E) or EXIST.	EXISTING	R.O.	ROUGH OPENING
E.G.	EXISTING GRADE	RWD.	REDWOOD
EXP.JT.	EXPANSION JOINT	R.W.L.	RAIN WATER LEADER
EL.	ELEVATION	SECT.	SECTION
EQ.	EQUAL	S.C.D.R.	SOLID CORE DOOR
EXP.	EXPOSED	SK.	SINK
EXT.	EXTERIOR	SH.	SHELF
		SHV.	SHELVING
F.D.	FLOOR DRAIN	SHT.	SHEET
FIN.	FINISH	S.V.	SHEET VINYL
F.F.L.	FINISH FLOOR LINE	S.H.	SINGLE HUNG
F.O.C.	FACE OF CONCRETE	SHWR.	SHOWER
F.O.P.	FACE OF PLYWOOD	SM.	SIMILAR
F.O.S.	FACE OF STUD	S.M.	SHEET METAL
F.O.W.	FACE OF WALL	SL.	SLIDING
FR. DR.	FRENCH DOOR	SL.GL.DR.	SLIDING GLASS DOOR
FTG.	FOOTING	SQ.	SQUARE
FX.	FIXED	ST/ST	STAINLESS STEEL
		STD.	STANDARD
GA.	GAUGE	STL.	STEEL
GALV.	GALVANIZED	STG.	STORAGE
G.B.or GYP. BD.	GYP/SUM BOARD	STR. or STRUC.	STRUCTURAL
GL.	GALVANIZED IRON	S.A.D.	SEE ARCHITECTURAL DWGS
GL.	GLASS	S.K.D.	SEE KITCHEN DWGS
GLU. LAM.	GLUE LAMINATED	S.S.D.	SEE STRUCTURAL DWGS
G.S.M.	GALVANIZED SHEET METAL		
HC. DR.	HOLLOW CORE DOOR	T.	TREAD
HDWD.	HARDWOOD	T.B.	TOWEL BAR
HDW.	HARDWARE	TEMP. GL.	TEMPERED GLASS
HGT. or HT.	HEIGHT	T.O.	TOP OF
H.M.	HOLLOW METAL	THK.	THICKNESS
HOR.	HORIZONTAL	TPD	TOILET PAPER DISPENSER
H.P.	HIGH POINT	TYP.	TYPICAL
H.W.H.	HOT WATER HEATER	U.N.D.	UNLESS NOTED OTHERWISE
		V.	VENT
I.G.	INSULATED GLASS	VERT.	VERTICAL
INS.	INSULATION	V.I.F.	VERIFY IN FIELD
INT.	INTERIOR		
		W/	WITH
JST.	JOIST	WC	WATER CLOSET
J.	JUNCTION BOX	WD.	WOOD
		WIDW.	WINDOW
		WP.	WEATHERPROOF
		YD.	YARD

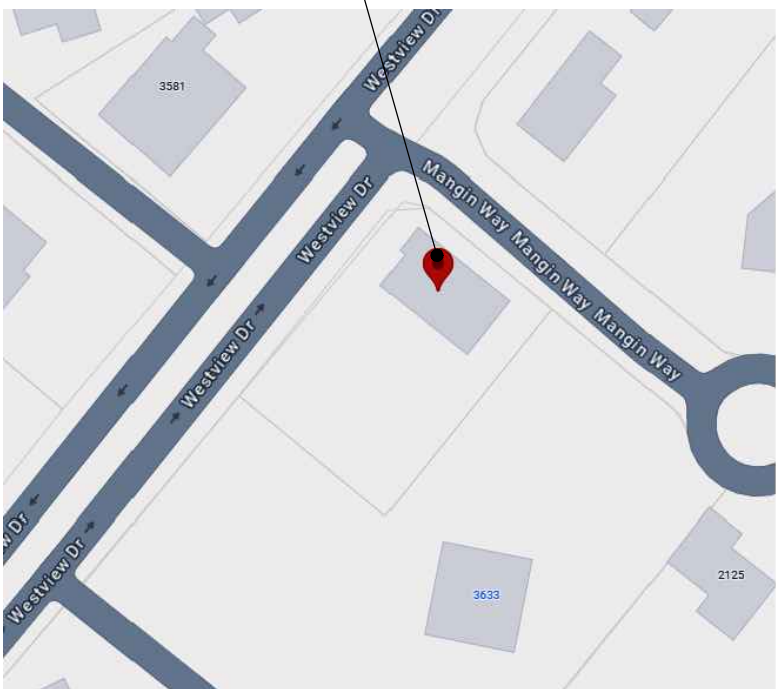
SYMBOLS

LINE OF ITEM ABOVE OR BEYOND (SEE NOTE)	-----
ELEVATION REFERENCE POINT	
BUILDING SECTION	
WALL SECTION or ELEVATION	
DETAIL	
GUIDE TO INTERIOR ELEVATIONS	
ROOM NUMBER	
EQUIPMENT NUMBER	
NORTH ARROW	
REVISION	
DOOR REFERENCE	
WINDOW REFERENCE	
COLUMN REFERENCE GRIDS	
CENTERLINES, FLOOR LINES IN EXTERIOR ELEVATIONS, PROJECTED LINES	
PROPERTY LINES, BOUNDARY LINES	
BREAKS IN DRAWINGS	
SECTION LINES AND SECTION REFERENCES	

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- CG2 Calgreen Checklist
- SU1 Survey
- A1 Existing & Proposed Site Plan
- A1.1 Existing & Proposed Impervious Cal.
- A2A Existing Floor Plans
- A2B Proposed Floor Plans
- A3 Proposed Building Elevations
- A4 Proposed Building Elevations
- A5 Proposed Building Sections
- A6 Proposed Electrical Plans
- A7 Architectural Details
- A8 Age in Place & Fall Prevention Details

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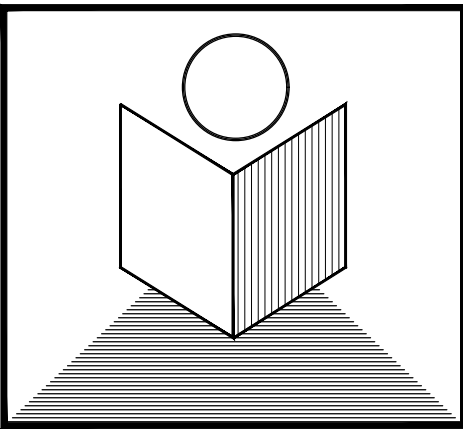
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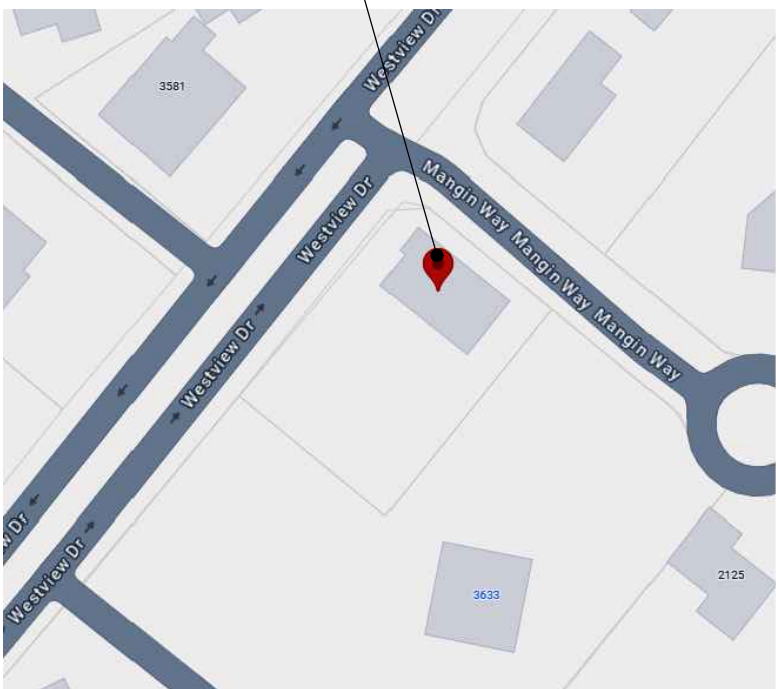
ABBREVIATIONS

ACST	ACOUSTICAL	LAM.	LAMINATED
ADJ.	ADJUSTABLE	LAV.	LAVATORY
A.F.F.	ABOVE FINISH FLOOR	L.V.R.	LOUVER
ACST	ARCHITECTURAL	L.P.	LOW POINT
ASPH.	ASPHALT	M.C.	MEDICINE CABINET
		MECH.	MECHANICAL
BI-FD. DR.	BI FOLDING DOOR	MIN.	MINIMUM
BLDG.	BUILDING	MIR.	MIRROR
BLK.	BLOCK	M.T.	MARBLE TILE
BLKG.	BLOCKING	M.	METAL
BM.	BEAM		
B.O.	BOTTOM OF	(N)	NEW
		N.I.C.	NOT IN CONTRACT
C. or CARP.	CARPET/PAD	N.T.S.	NOT TO SCALE
CAB. or CAB'T.	CABINET		
CB	CATCH BASIN	O/	OVER
CEM.	CEMENT	OBS.	OBSCUR
CER.	CERAMIC	O.C.	ON CENTER
C.I.	CAST IRON	OP'G.	OPENING
C.I.	CONSTRUCTION JOINT		
CL.	CLOSET	PERF.	PERFORATED
CLG.	CEILING	PL.	PLATE
CLR.	CLEAR	PLAM.	PLASTIC LAMINATE
C.O.	CLEAN OUT	P.L.	PROPERTY LINE
COL.	COLUMN	PLAS.	PLASTER
CONC.	CONCRETE	PWD.	PLYWOOD
CONT.	CONTINUOUS	P.	POINT
C.T.	CERAMIC TILE	QTY.	QUANTITY
CL.	CENTER LINE	R.	RISER
DET. or DTL.	DETAIL	RAD.	RADIUS
D.H.	DOUBLE HUNG	RET. AIR	RETURN AIR
DIAG.	DIAGONAL	RD.	ROUND
DM.	DIMENSION	R.D.	ROOF DRAIN
DISP.	DISPOSAL	REF.	REFRIGERATOR
DR.	DOOR	REG.	REGISTER
DWS.	DRAWINGS	REINF.	REINFORCED
		REQ'D.	REQUIRED
(E) or EXIST.	EXISTING	RM.	ROOM
E.G.	EXISTING GRADE	R.O.	ROUGH OPENING
EXP.JT.	EXPANSION JOINT	R.WD.	REDWOOD
EL.	ELEVATION	R.W.L.	RAIN WATER LEADER
EQ.	EQUAL		
EXP.	EXPOSED	SECT.	SECTION
EXT.	EXTERIOR	S.C.D.R.	SOLID CORE DOOR
		SK.	SINK
F.D.	FLOOR DRAIN	SH.	SHELF
FIN.	FINISH	SHV.	SHELVING
F.F.L.	FINISH FLOOR LINE	SHT.	SHEET
F.O.C.	FACE OF CONCRETE	S.V.	SHEET VINYL
F.O.P.	FACE OF PLYWOOD	S.H.	SINGLE HUNG
F.O.S.	FACE OF STUD	SHWR.	SHOWER
F.O.W.	FACE OF WALL	SM.	SIMILAR
FR. DR.	FRENCH DOOR	S.M.	SHEET METAL
FTG.	FOOTING	SL.	SLIDING
FX.	FIXED	SL.GL.DR.	SLIDING GLASS DOOR
		SQ.	SQUARE
GA.	GAUGE	ST/ST	STAINLESS STEEL
GALV.	GALVANIZED	STD.	STANDARD
G.B.or GYP. BD.	GYP/SUM BOARD	STL.	STEEL
GL.	GALVANIZED IRON	STG.	STORAGE
GL.	GLASS	STR. or STRUC.	STRUCTURAL
GLU. LAM.	GLUE LAMINATED	S.A.D.	SEE ARCHITECTURAL DWGS
G.S.M.	GALVANIZED SHEET METAL	S.K.D.	SEE KITCHEN DWGS
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HC. DR.	HOLLOW CORE DOOR	T.	TREAD
HDWD.	HARDWOOD	T.B.	TOWEL BAR
HDW.	HARDWARE	TEMP. GL.	TEMPERED GLASS
HGT. or HT.	HEIGHT	T.O.	TOP OF
H.M.	HOLLOW METAL	THK.	THICKNESS
HOR.	HORIZONTAL	TPD.	TOILET PAPER DISPENSER
H.P.	HIGH POINT	TYP.	TYPICAL
H.W.H.	HOT WATER HEATER	U.N.D.	UNLESS NOTED OTHERWISE
		V.	VENT
I.G.	INSULATED GLASS	VERT.	VERTICAL
INS.	INSULATION	V.I.F.	VERIFY IN FIELD
INT.	INTERIOR		
		W/	WITH
JST.	JOIST	WC	WATER CLOSET
J.	JUNCTION BOX	WD.	WOOD
		WIDW.	WINDOW
		WP.	WEATHERPROOF
		YD.	YARD

SYMBOLS

LINE OF ITEM ABOVE OR BEYOND (SEE NOTE)	-----
ELEVATION REFERENCE POINT	
BUILDING SECTION	BUILDING SECTION LETTER REFERENCE SHEET NUMBER
WALL SECTION or ELEVATION	SECTION or ELEVATION NUMBER REFERENCE SHEET NUMBER
DETAIL	DETAIL NUMBER REFERENCE SHEET NUMBER
GUIDE TO INTERIOR ELEVATIONS	
ROOM NUMBER	BATH ROOM NAME ROOM NUMBER
EQUIPMENT NUMBER	
NORTH ARROW	
REVISION	REVISION NUMBER
DOOR REFERENCE	DOOR NUMBER
WINDOW REFERENCE	WINDOW NUMBER
COLUMN REFERENCE GRIDS	A 4
CENTERLINES, FLOOR LINES IN EXTERIOR ELEVATIONS, PROJECTED LINES	DASH-DOT LINE
PROPERTY LINES, BOUNDARY LINES	DASH-DOUBLE DOT LINE
	DOT LINE
BREAKS IN DRAWINGS	BREAK LINE
SECTION LINES AND SECTION REFERENCES	INDICATES SECTION NUMBER INDICATES DRAWING SHEET ON WHICH SECTION IS SHOWN

PROJECT LOCATION





			APPLICANT TO COMPLETE Plan Check Review Date	Installer or Designer Verification		
ITEM #	CALGreen CODE SECTION	REQUIREMENT	REFERENCE SHEET	Note or Detail No.	Date	Installer or Designer Signature
PLANNING AND DESIGN: MANDATORY REQUIREMENTS						
1	4.106.2	A plan is developed and implemented to manage storm water drainage during construction.	CG-2	NOTE 1		
2	4.106.3	Construction plans indicates how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.	CG-2	NOTE 2		
3	4.106.4.1	For new dwellings with attached garages and rebuild of existing dwellings that include a panel upgrade or construction between panel and parking area, a Level 2 EV Ready Space and Level 1 EV Ready Space, is installed.	CG-2	NOTES 3 & 4		
ENERGY EFFICIENCY: MANDATORY REQUIREMENTS						
4	4.201.1	Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.	T24 SHEETS			
WATER EFFICIENCY & CONSERVATION: MANDATORY REQUIREMENTS						
5	4.303.1	Plumbing Fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings comply with CALGreen Sections 4.303.1.1 through 4.303.1.4.	CG-2	NOTE 5		
6	4.303.3	Plumbing fixtures and fittings required in CALGreen Section 4.303.1 are installed in accordance with the CPC and meet the applicable referenced standards.	CG-2	Note 6		
7	4.304.1	Outdoor potable water use in landscape areas comply with a local water efficient landscape or the current California DWR MWELo, whichever is more stringent.	CG-2	Note 7		
8		Not Used				

1. If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
2. For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.

Grams of VOC per liter of coating, including water and including exempt compounds.

The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.

Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

Construction Waste Management (CWM) Plan

Fill out the form including diversion rate and facility names and addresses

All Subcontractors shall comply with the project's Construction Waste Management Plan.
All Subcontractor foremen shall sign the CWM Plan Acknowledgment Sheet.

Subcontractors who fail to comply with the Waste Management Plan will be subject to backcharges or withholding of payment, as deemed appropriate. For instance, Subcontractors who contaminate debris boxes that have been designated for a single material type will be subject to backcharge or withheld payment, as deemed appropriate.

1. The project's overall rate of waste diversion will be ____ %.
2. This project shall generate the least amount of waste possible by planning and ordering carefully, following all proper storage and handling procedures to reduce broken and damaged materials and reusing materials whenever possible. The majority of the waste that is generated on this jobsite will be diverted from the landfill and recycled for other use.

- Notes:**
1. Waste stream reduction refers to efforts taken by the builder to reduce the amount of waste generated by the project to below four (4) pounds per square foot of building area.
 2. When using waste stream reduction measures, the gross weight of the product is subtracted from a base weight of four (4) pounds per square foot of building area. This reduction is considered additional diversion and can be used in the waste reduction percentage calculations.

- ## Construction Waste Management (CWM) Worksheet

Construction Waste Management (CWM) Acknowledgment

Note: This sample form may be used to assist in documenting compliance with the waste management plan.

[illegible]

Project Information

DANG RESIDENCE ADDITION

3649 Westview Dr. - San Jose, CA. 95148 APN:# 654-19-018



CALGREEN 2022 NOTES – MANDATORY REQUIREMENTS:

1. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. SEE CALGREEN 4.106.2 FOR FURTHER DETAILS.

2. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, WATER RETENTION GARDENS, AND OTHER MEASURES CAN BE USED. EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.

3. FOR ANY NEW DWELLING UNITS WITH ATTACHED GARAGES AND FOR REBUILDS OF EXISTING DWELLING UNITS THAT INCLUDE A PANEL UPGRADE OR CONSTRUCTION BETWEEN THE PANEL AND PARKING AREA, INSTALL A LEVEL 2 EV READY SPACE AND LEVEL 1 EV READY SPACE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "LEVEL 2 EV-READY."

EXCEPTION: FOR EACH DWELLING UNIT WITH ONLY ONE PARKING SPACE, INSTALL A LEVEL 2 EV READY SPACE.

LEVEL 1 EV READY SPACE IS A PARKING SPACE SERVED BY A COMPLETE ELECTRIC CIRCUIT WITH A MINIMUM OF 110/120 VOLT, 20-AMPERE CAPACITY, INCLUDING ELECTRICAL PANEL CAPACITY; AN OVERPROTECTION DEVICE; A MINIMUM 1" DIAMETER RACEWAY THAT MAY INCLUDE MULTIPLE CIRCUITS AS ALLOWED BY THE COUNTY ELECTRICAL CODE; PROPERLY SIZED CONDUCTORS; GROUNDING AND BONDING; AND EITHER (A) A RECEPTACLE LABELLED "ELECTRIC VEHICLE OUTLET" WITH AT LEAST A ½" FONT ADJACENT TO THE PARKING SPACE, OR (B) LABELED ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).

LEVEL 2 EV READY SPACE IS A PARKING SPACE SERVED BY A COMPLETE ELECTRIC CIRCUIT WITH A MINIMUM OF 208/240 VOLT, 40-AMPERE CAPACITY, INCLUDING THE REQUIRED ELECTRICAL PANEL CAPACITY; AN OVERCURRENT PROTECTION DEVICE; A MINIMUM 1" DIAMETER RACEWAY THAT MAY INCLUDE MULTIPLE CIRCUITS AS ALLOWED BY THE COUNTY ELECTRICAL CODE; PROPERLY SIZED CONDUCTORS; GROUNDING AND BONDING; AND EITHER (A) A RECEPTACLE LABELED "ELECTRIC VEHICLE OUTLET" WITH A MINIMUM ½" FONT, ADJACENT TO THE PARKING SPACE, OR (B) A BLANK LABELED ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) WITH A MINIMUM OUTPUT OF 40 AMPERES.

4. ACCESSORY DWELLING UNITS (ADU) AND JUNIOR ACCESSORY DWELLING UNITS (JADU) WITHOUT ADDITIONAL PARKING SPACES AND WITHOUT ELECTRICAL PANEL UPGRADE OR NEW PANEL INSTALLATION ARE EXEMPT FROM REQUIREMENTS ON NOTE 3. ADUS AND JADUS WITHOUT ADDITIONAL PARKING BUT WITH ELECTRICAL PANEL UPGRADES OR NEW PANELS MUST HAVE RESERVED BREAKERS AND ELECTRICAL CAPACITY ACCORDING TO THE REQUIREMENTS OF NOTE 3.

5. ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL BY BUILDING AND INSPECTION DIVISION. SEE CIVIL CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.

- A. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.
- B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.
- C. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER-HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.
- D. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- E. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

6. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

7. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH COUNTY OF SANTA CLARA WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL0), WHICHEVER IS MORE STRINGENT.

8. Not used.

9. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

10. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN SECTION 4.408.2 OR 4.408.3.

A. A CONSTRUCTION WASTE MANAGEMENT PLAN IS PROVIDED. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE COUNTY OF SANTA CLARA.

- 1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
- 2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
- 3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
- 4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
- 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

B. A WASTE MANAGEMENT COMPANY CAN BE UTILIZED IF APPROVED BY THE COUNTY OF SANTA CLARA. SEE CALGREEN 4.408.3 FOR FURTHER .DETAILS

11. DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATES COMPLIANCE WITH NOTE 10.

12. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER MEDIA ACCEPTABLE TO THE COUNTY OF SANTA CLARA INCLUDES ALL OF THE REQUIRED INFORMATION, SHALL BE PLACED IN THE BUILDING. SEE CALGREEN 4.410.1 FOR DETAILS OF REQUIRED INFORMATION.

13. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGULATION 6, RULE 3.

14. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.

15. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF CALGREEN TABLES 4.504.1 OR 4.504.2 AS REPRODUCED ON SHEET CG-1. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED BELOW.

AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

16. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS AS SHOWN IN TABLE 4.504.3 SHEET CG-1. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NON-FLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3, SHEET CG-1 SHALL APPLY.

17. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.

18. VERIFICATION OF COMPLIANCE WITH NOTES 15, 16, AND 17 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

19. ALL CARPET AND CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350)

ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1, SHEET CG-1.

20. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350)

21. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 4.504.5 SHEET CG-1.

22. VERIFICATION OF COMPLIANCE WITH NOTE 21 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

23. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY CRC CHAPTER 5, SHALL COMPLY WITH FOLLOWING REQUIREMENT:

A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:

- A. A 4-INCH-THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED.
- B. A SLAB DESIGN SPECIFIED BY THE LICENSED DESIGN PROFESSIONAL.

24. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

25. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:

- A. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
- B. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - 1. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ≤ 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
 - 2. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.
- 26. HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:

- A. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J—2016 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- B. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D—2016 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- C. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S—2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

27. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS.

28. IF REQUIRED BY THE COUNTY OF SANTA CLARA, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE COUNTY OF SANTA CLARA FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.

29. DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

Project Information

DANG RESIDENCE ADDITION

3649 Westview Dr. - San Jose, CA. 95148 APN#: 654-19-018



CG-2

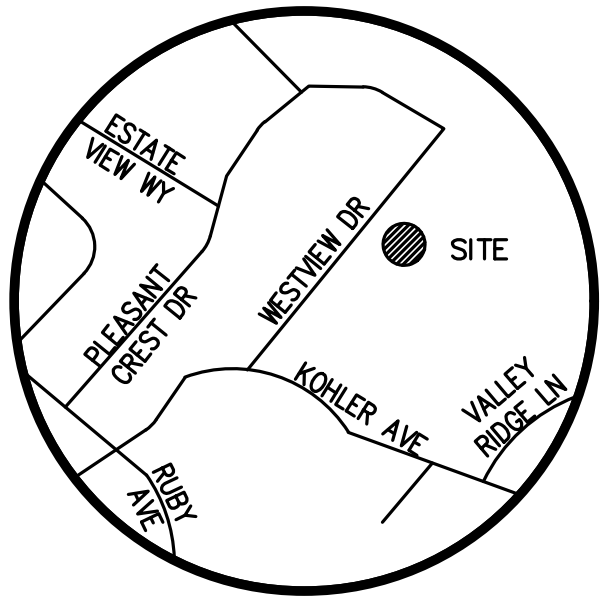
SD SD SD SD STORM DRAIN PIPE SD SD SD SD SD MH
SDMH RIM=305.16 INV=292.76
SDMH RIM=319.47 INV=313.37

BENCHMARK

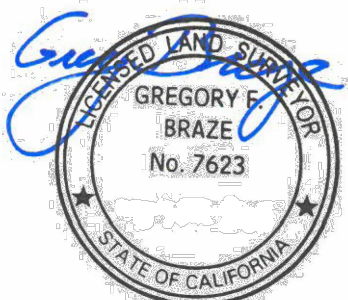
CITY OF SAN JOSE BENCHMARK ID 127.
CHISELED SQUARE ON TOP OF HOOD,
NORTHERLY SIDE OF CATCH BASIN, NORTHWEST
RETURN OF MT. PLEASANT ROAD AND KOHLER
AVE. ER ON MT. PLEASANT RD. F.B. 997.
(REVISED DESCRIPTION 11-27-89)
ELEVATION = 225.67'
(NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
CUT CROSS IN CONCRETE
ELEVATION = 321.08'
(NAVD 88 DATUM)



VICINITY MAP
NO SCALE



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
MAIN OFFICE: 12495 INDUSTRIAL PARKWAY WEST
SAN JOSE, CALIFORNIA 95145
(510) 887-4086
WWW.LEABRAZE.COM

APN:654-19-018

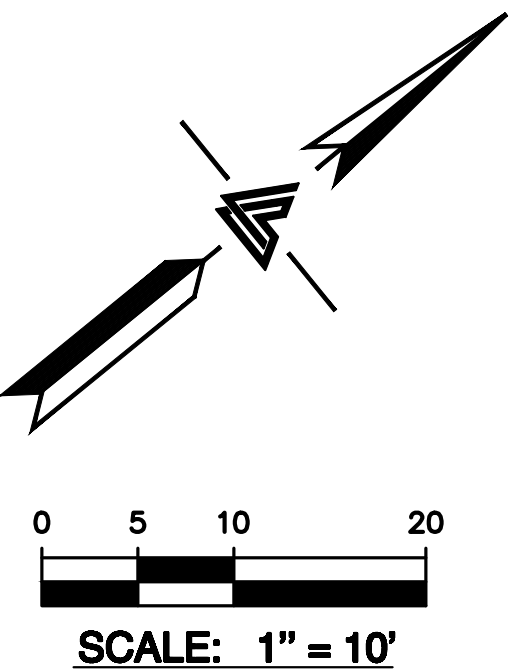
3649 WESTVIEW DRIVE
SAN JOSE
CALIFORNIA

SANTA CLARA COUNTY

TOPOGRAPHIC SURVEY

LEGEND AND NOTES

---	BOUNDARY LINE
---	BUILDING OVERHANG LINE
---	ELECTRICAL/TELEPHONE/ CABLE TV OVERHEAD LINE
---	ETC
x	FENCE LINE
---	FLOW LINE
SD	STORM DRAIN LINE
A/C	AIR CONDITIONING UNIT
+	BENCHMARK
BW	BOTTOM RETAINING WALL
CYP	CYPRESS
EM	ELECTRICAL METER
FF	FINISH FLOOR
FL	FLOW LINE
GM	GAS METER
JUNI	JUNIPER
INV	INVERT
ICV	IRRIGATION CONTROL VALVE
+	JOINT POLE
MB	MAIL BOX
M-	MULTI-TRUNK TREE
RP	ROOF PEAK
SSCO	SANITARY SEWER CLEAN-OUT
SDMH	STORM DRAIN MAINTENANCE HOLE
TC	TOP OF CURB
TW	TOP OF RETAINING WALL
+	WOOD POST
XXX.XX	SPOTGRADE
ASPH	ASPHALT
BRICK	BRICK
CONC	CONCRETE
RIVER	RIVER ROCK



SCALE: 1" = 10'

FEMA FLOOD NOTE

FLOOD ZONE: D

POSSIBLE BUT UNDETERMINED FLOOD
HAZARDS. NO ANALYSIS OF FLOOD
HAZARDS HAS BEEN CONDUCTED.

FLOOD INSURANCE RATE
MAP No.: 06081C0282E
EFFECTIVE DATE: OCTOBER 16, 2012

EASEMENT NOTE

THERE ARE NO EASEMENTS OF RECORD PER
CONDITION OF TITLE ISSUED BY WFG
NATIONAL TITLE INSURANCE COMPANY, ORDER
NO. 24-131894, DATED APRIL 3, 2024.

TREE NOTE

TREE SIZE, TYPE AND DRIPLINES ARE
BASED ON A VISUAL OBSERVATION.
FINAL DETERMINATION SHOULD BE
MADE BY THE PROJECT ARBORIST.

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND
LOCATION SHOWN ON THIS SURVEY ARE BASED
ON VISUAL OBSERVATION. ANY USE OF THIS
INFORMATION SHOULD BE VERIFIED, BEFORE ITS
USE, WITH THE CONTROLLING MUNICIPALITY OR
UTILITY PROVIDER. THIS SURVEY MAKES NO
GUARANTEE OF THE INSTALLED ACTUAL
LOCATION, DEPTHS OR SIZE.

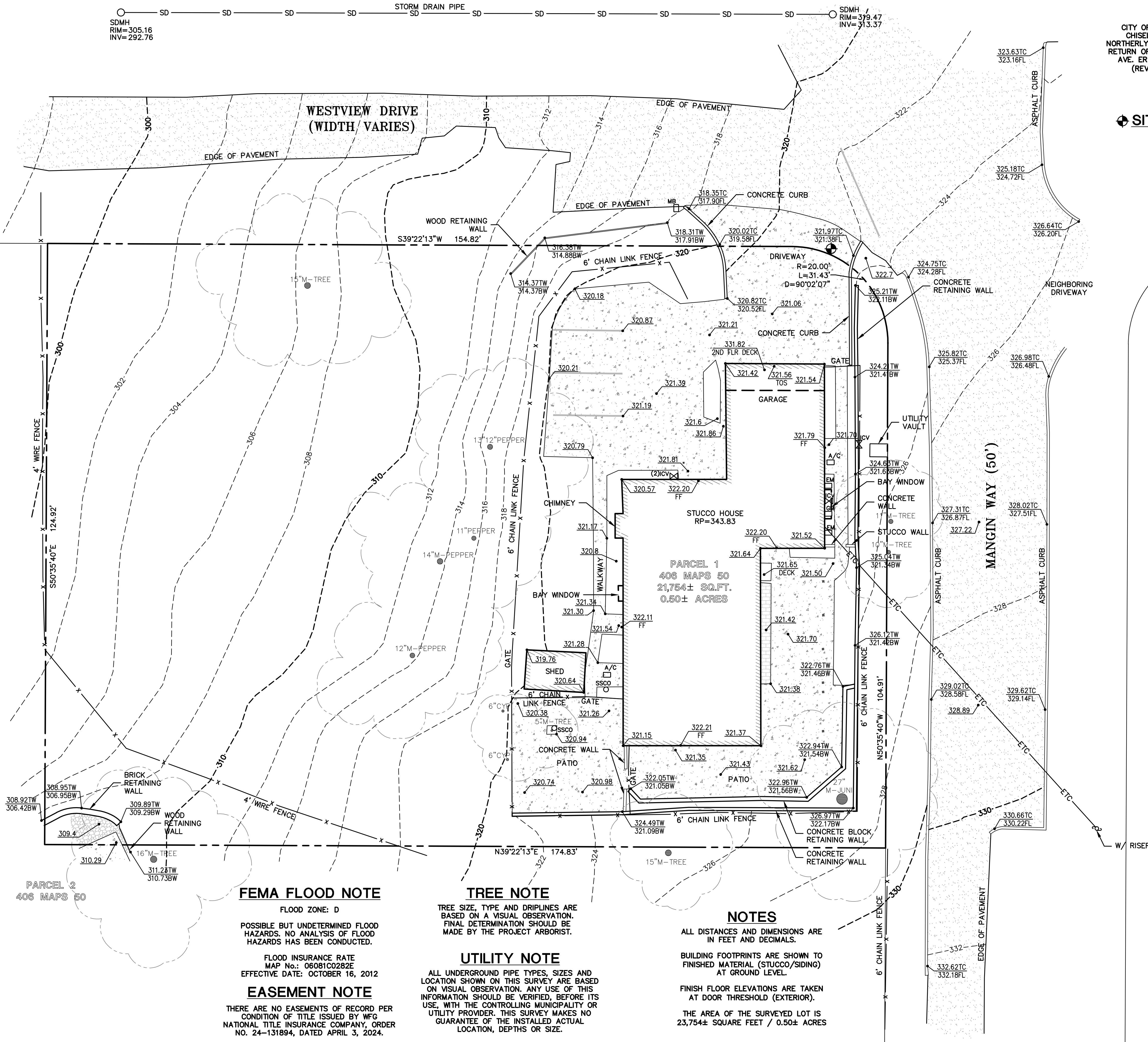
NOTES

ALL DISTANCES AND DIMENSIONS ARE
IN FEET AND DECIMALS.

BUILDING FOOTPRINTS ARE SHOWN TO
FINISHED MATERIAL (STUCCO/SIDING)
AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN
AT DOOR THRESHOLD (EXTERIOR).

THE AREA OF THE SURVEYED LOT IS
23,754± SQUARE FEET / 0.50± ACRES



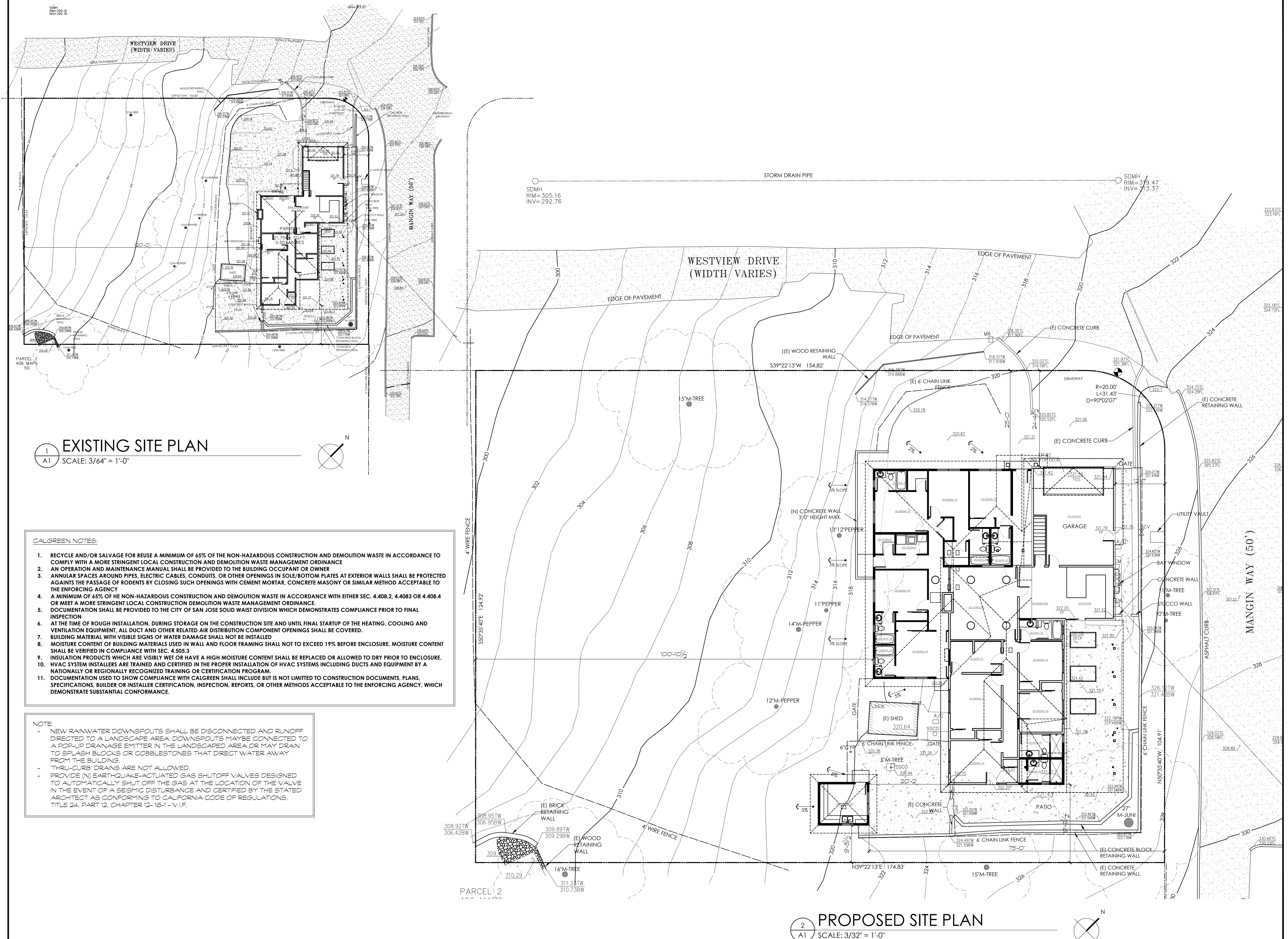


Dang Res Addition

EXISTING & PROPOSED SITE PLAN

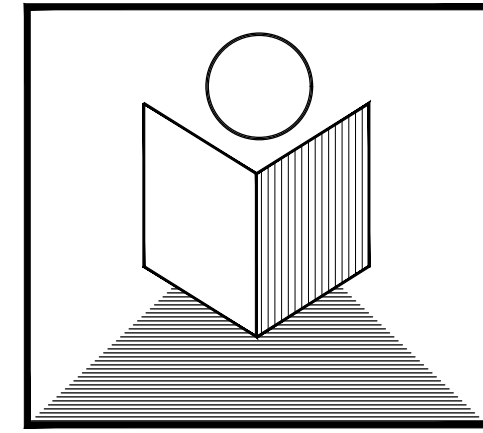
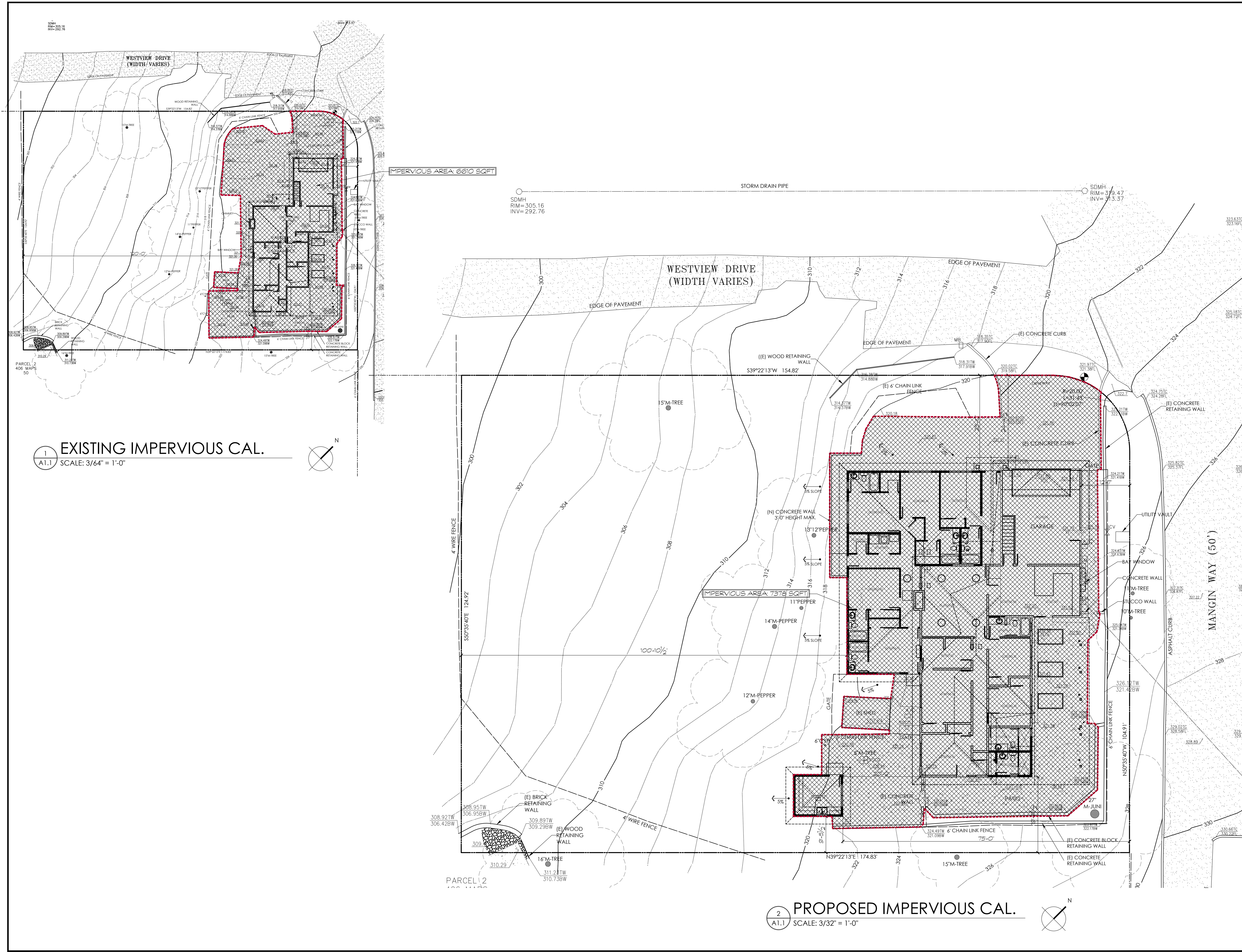
A1

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PROPOSED SITE PLAN

SCALE: $3/32" = 1'-0"$



T.N. DESIGN

69 BITTING AVE.
SAN FRANCISCO, CA. 94124
Tel: 415-515-2256
Fax: 415-775-5342
E-mail: lenghiarch@hotmail.com

Dang Res Addition

3649 Westview Dr.
San Jose , CA. 95148
APN: **654-19-018**

EXISTING & PROPOSED IMPERVIOUS CAL.

SCALE: $\frac{3}{32}$ " = 1'-0"

no.	revisions	date
1	DESIGN REVIEW	01/14/2025

date issued: 01/14/2025

drawn by: NGHI THANH LE

job#: 3020-2025

drawing number

A1.1

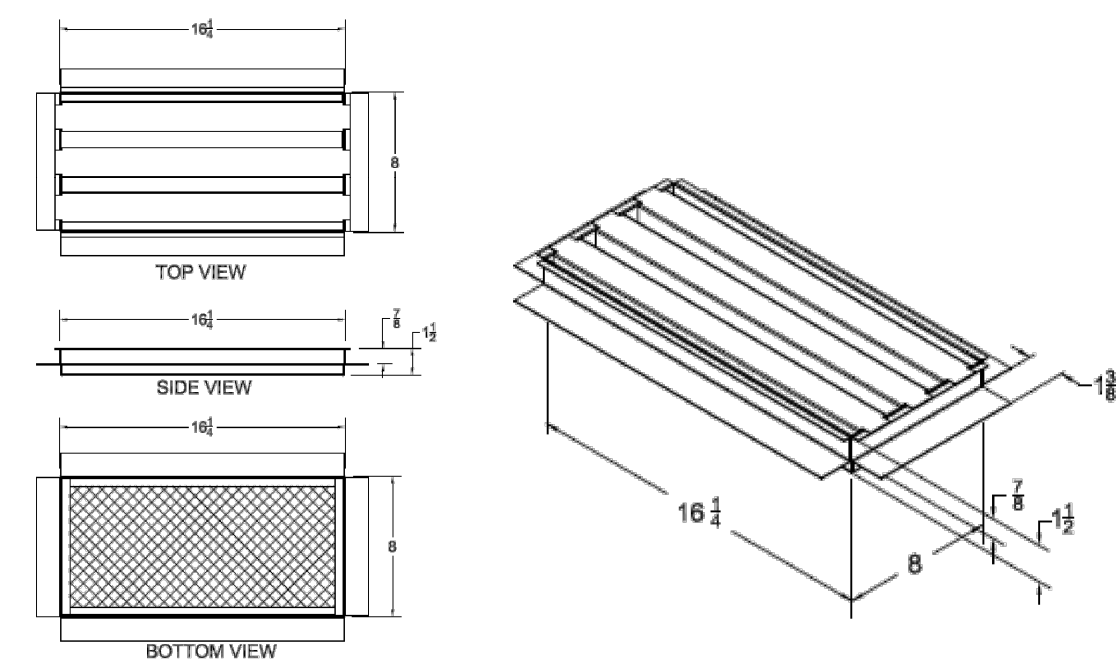
of sheets

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PRODUCT SPEC SHEET/KEY SPECIFICATIONS

FOUNDATION VENTS Model # FV2021-PG



Foundation Vents	Model	Size L x W	NFVA Provided	Flanges available	Flange Definition	Weight
	FV2021-PG	16" x 8"	38	For Stucco prior to application	Flange with J Channel	5lbs
CUSTOM SIZES AVAILABLE						

BENEFITS:

- Safety vents that are used in areas prone to wildfires, wind driven rain, or wind driven snow.
- Overlapping Baffle Protection (Patent Pending)
 - Air Flow through normally
 - Resists the intrusion of Flame and Embers, Wind Driven Rain and Wind Driven Snow
- Compliant with new California Ch7a Building Code
- 20 Year Warranty
- Easy Install

STANDARD MATERIALS

3/4" Mesh Standard unless otherwise requested
ASTM A653/A653M- G90 hot dipped galvanized steel, 26GA
ASTM D9092- mill phosphatized coating for painting, if bonderized
ASTM B370- Sheet Copper, 16oz and 20oz, if copper

Installation: Install like any other similar Ventilator Product on the market.

Brandguard Vents – 1001 Avenida Pico Ste #221 San Clemente, CA 92673 Ph-949-481-5300/Fx 949-606-8329

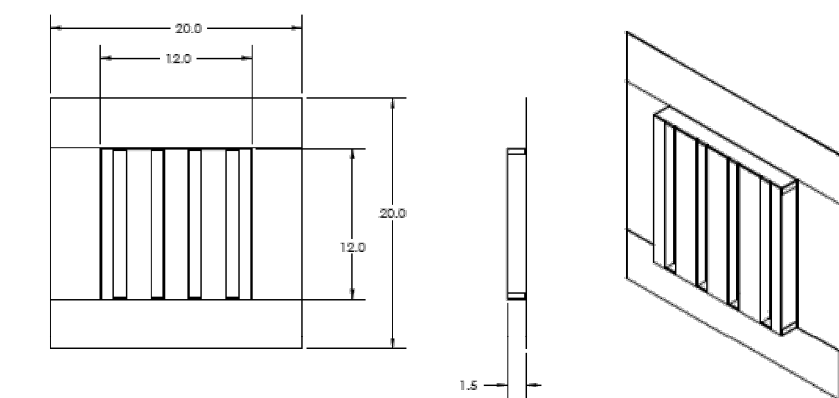


KEY SPECIFICATION



SUB BASE FOR DORMER, TURBINE, LOW PROFILE AND/OR OTHER ROOF VENTS Model # SB2011*

*NOT TO BE USED WITH Brandguard Dormer Vents



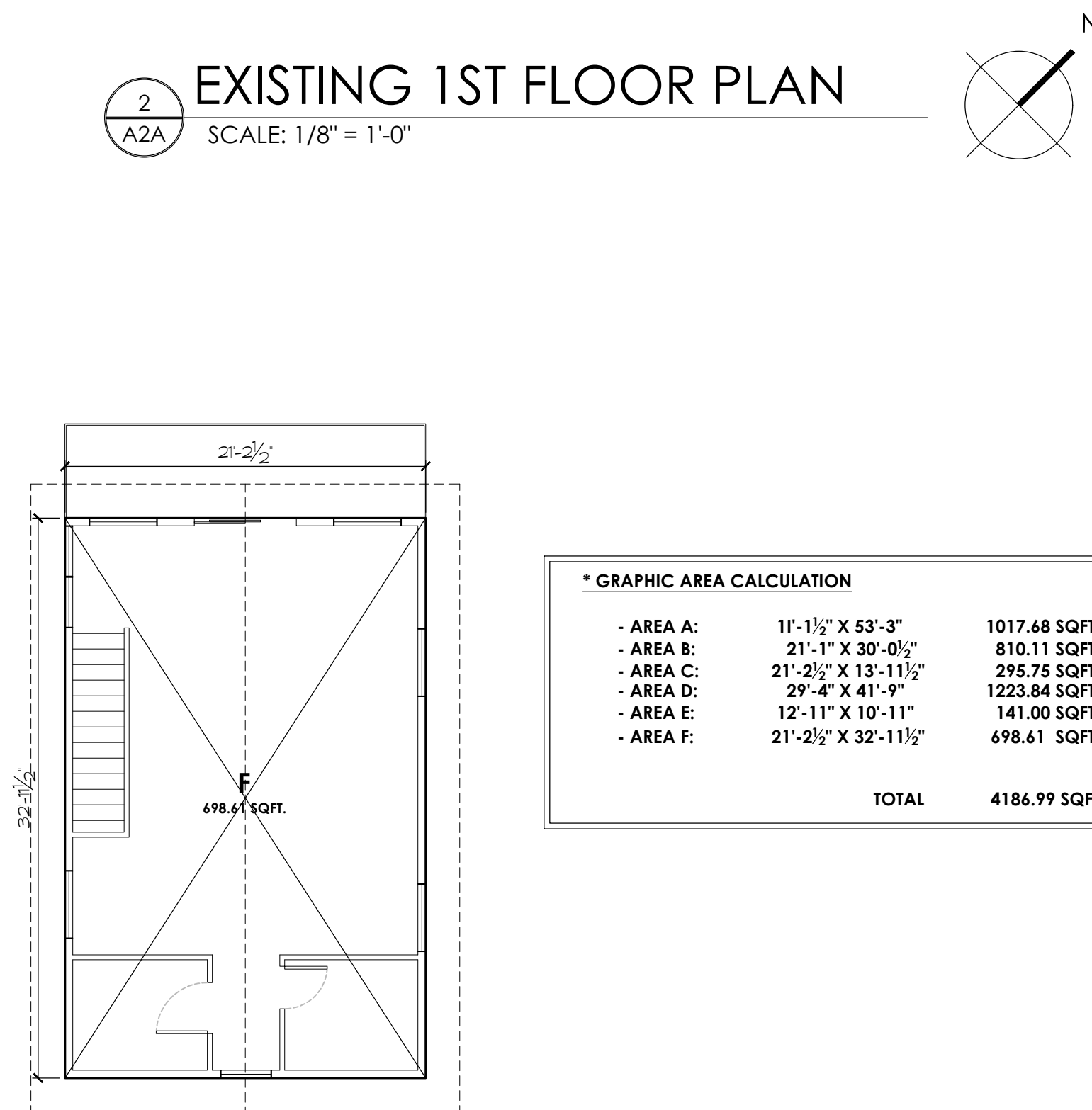
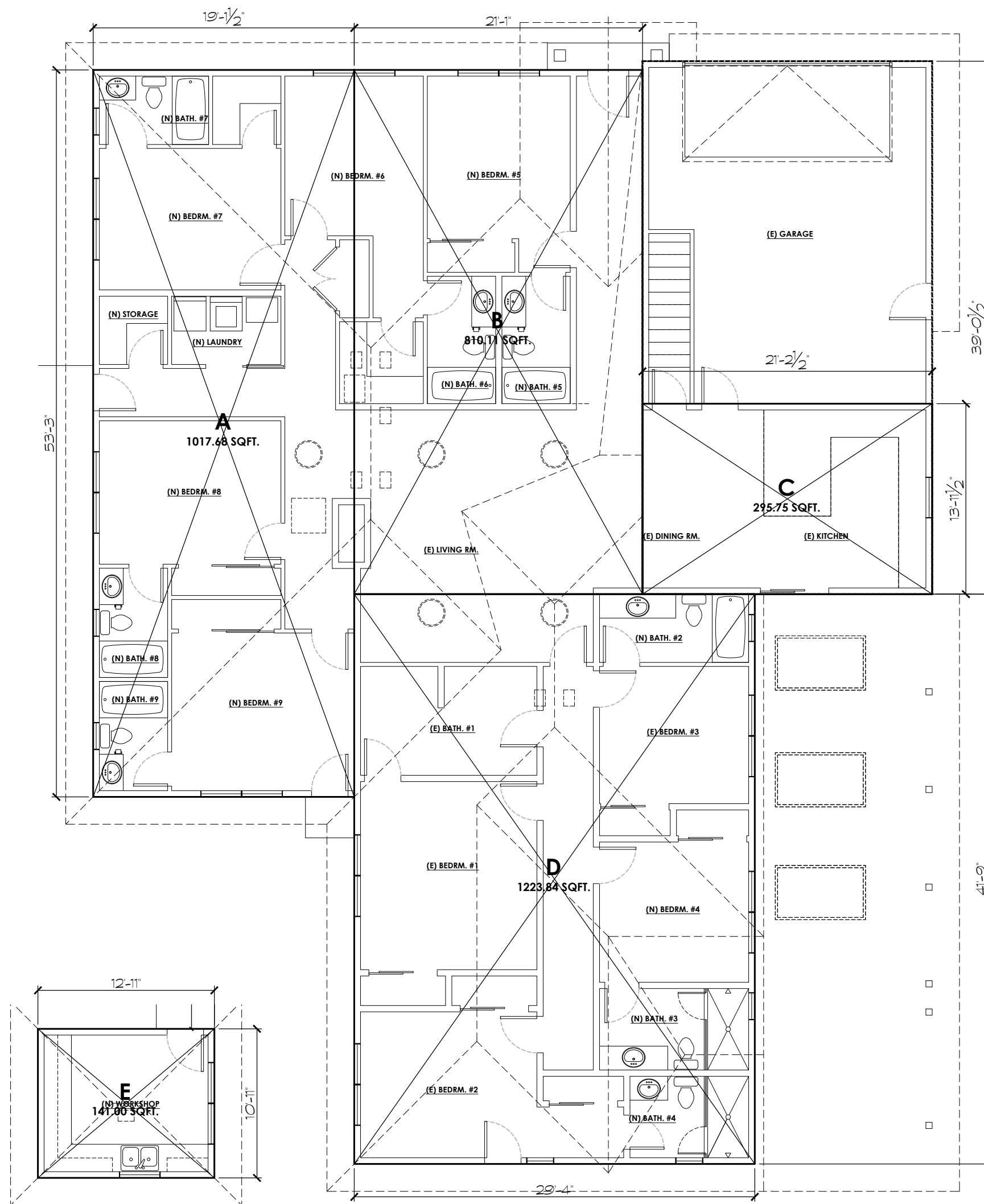
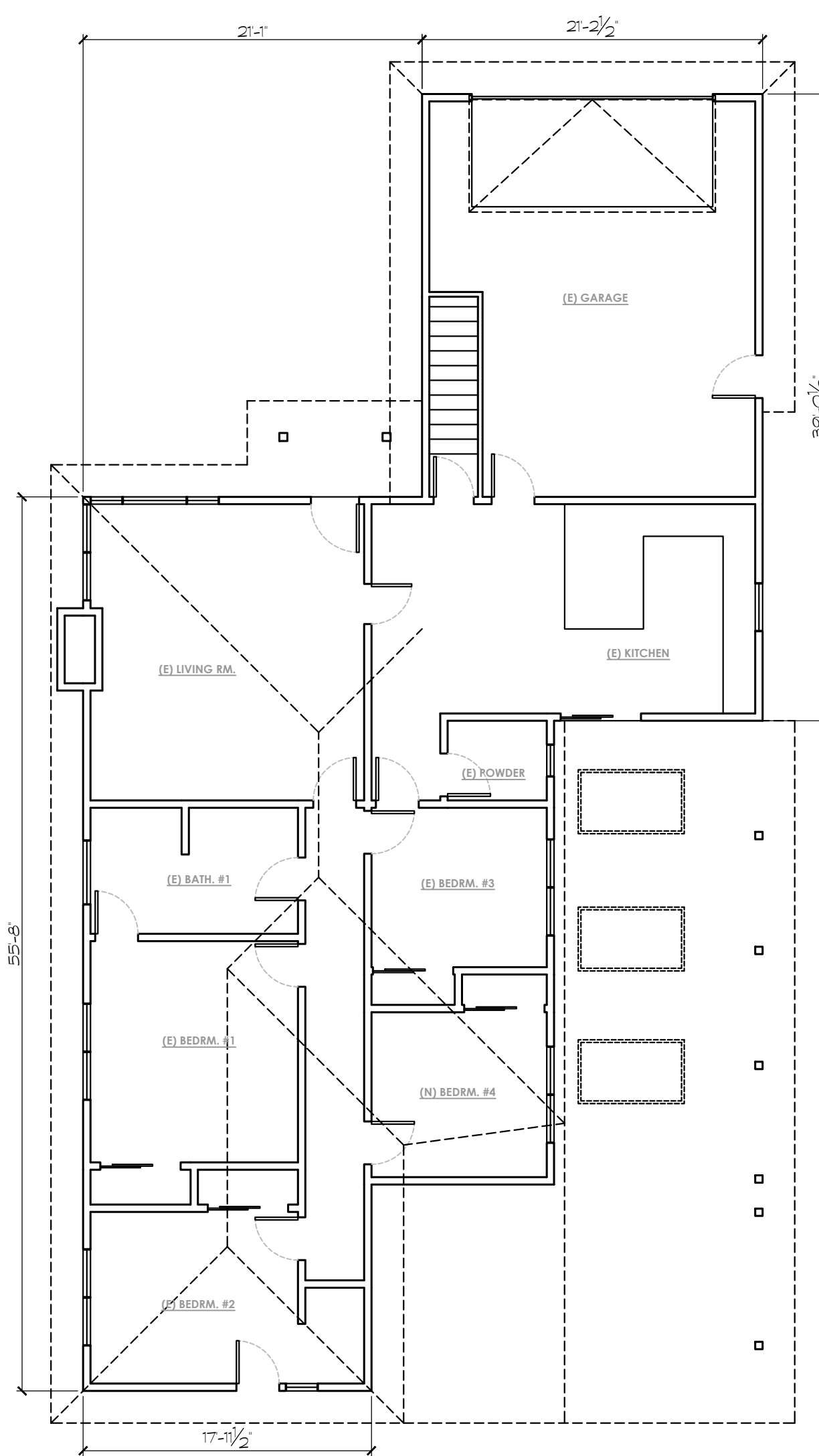
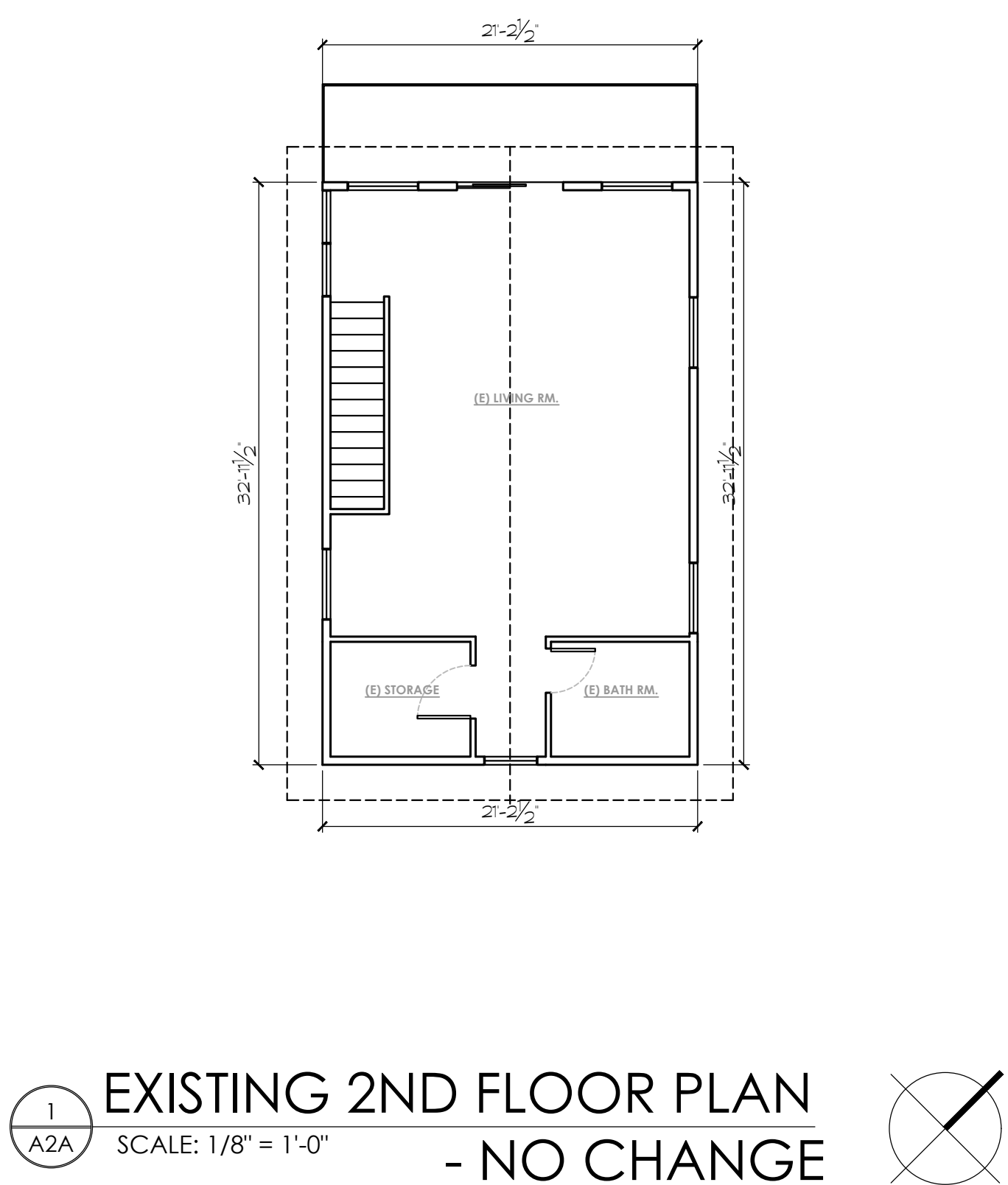
Sub Base for Dormer Vents	Model	Size W x H	Flanges Available	Flange Definition	Weight
* To be used with Dormer, Turbine, or other Field Vents	SB2011	12" x 12"	Sub Flashing	As Shown	5lbs

BENEFITS:

- Safety vents that are used in areas prone to wildfires, wind driven rain, or wind driven snow.
- Overlapping Baffle Protection (Patented)
 - Air Flows through normally
 - Resists the intrusion of Flame and Embers, Wind Driven Rain and Wind Driven Snow
- WUI Compliant and with California Ch7a Building Code
- Anti -Clogging Overlapping Baffles plus 1/8" mesh on back side of vent
- Prevents Rodent Entry
- 20 Year FULL Warranty
- Easy to Install, from inside or outside the attic

STANDARD MATERIALS

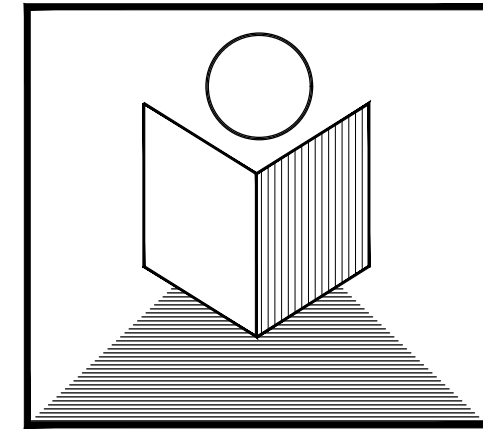
ASTM A653/A653M- G90 hot dipped galvanized steel, 26GA
ASTM D9092- mill phosphatized coating for painting, IF BONDERIZED
ASTM B370- Sheet Copper, 16oz and 20oz IF GALVANIZED
.025 x.025 hot dipped galvanized 23ga wire mesh



* GRAPHIC AREA CALCULATION			
- AREA A:	11'-1 1/2" X 53'-3"	1017.68 SQFT.	
- AREA B:	21'-1" X 30'-0 1/2"	810.11 SQFT.	
- AREA C:	21'-2 1/2" X 13'-11 1/2"	295.75 SQFT.	
- AREA D:	29'-4" X 41'-9"	1223.84 SQFT.	
- AREA E:	12'-11" X 10'-11"	141.00 SQFT.	
- AREA F:	21'-2 1/2" X 32'-11 1/2"	698.61 SQFT.	
TOTAL		4186.99 SQFT. = 4187 SQFT.	

GRAPHIC AREA CAL.

SCALE: 1/8" = 1'-0"



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EXISTING FLOOR PLANS & PROPOSED AREA CAL.

SCALE: 1/8" = 1'-0"

no. revisions date
DESIGN REVIEW 01/14/2025

date issued: 01/14/2025

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drawing number

A2A

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SECTION 4.303.1 WATER REDUCTION FIXTURE FLOW RATES	
FIXTURE TYPE	MAXIMUM ALLOWABLE FLOW RATE
Showerheads	1.8 gpm @ 80 psi
Lavatory faucets, residential	1.2 gpm @ 60 psi ^{1,3}
Lavatory faucets, nonresidential	0.4 gpm @ 60 psi ^{1,3}
Kitchen faucets	1.5 gpm @ 60 psi ^{2,4}
Metering Faucets	0.2 gallons/cycle
Gravity tank type water closets	1.28 gallons/flush ⁵
Flushometer tank water closets	1.28 gallons/flush ⁵
Flushometer valve water closets	1.28 gallons/flush ⁵
Urinals	0.125 gallons/flush
Clothes Washers	ENERGY-STAR certified
Dishwashers	ENERGY-STAR certified

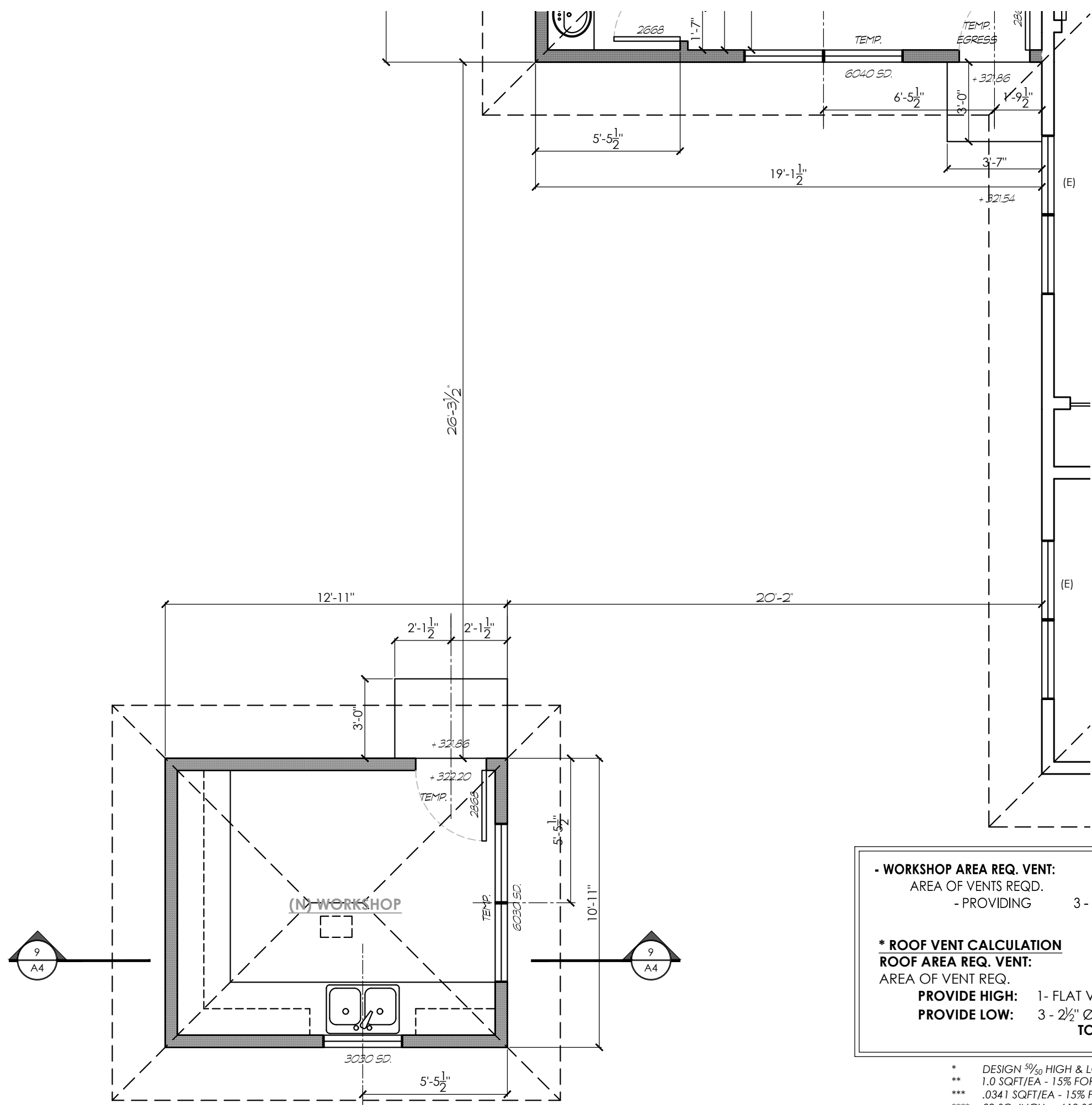
¹ Lavatory Faucets shall not have a flow rate less than 0.8 gpm at 20 psi.
² Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2gpm @ 60psi and must default to a maximum flow rate of 1.8 gpm @ 60psi.
³ Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.
⁴ Kitchen faucets with a maximum 1.8 gpm flow rate may be installed in buildings that have water closets with a maximum flush rate of 1.08 gallons/flush installed throughout.
⁵ Includes single and dual flush water closets with an effective flush of 1.28 gallons or less.
Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.23.2.
Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A112.19.14.

PROJECT FIXTURES SCHEDULE:

- FLOOR AREA REQ. VENT:		3338 SQ.FT. / 150	3338.00 SQ.FT.
AREA OF VENTS REQD.			22.25 SQ.FT.
- PROVIDING		37 - 8X14 BRANDGUARD VENT**** (38/EA X 37)	22.87 SQ.FT.
* ROOF VENT CALCULATION			
ROOF AREA REQ. VENT:		3338 / 300*	3338 SQ. FT.
AREA OF VENT REQ.		7 X .85 SQFT/EA**	11.13 SQ.FT (50% = 5.56)
PROVIDE HIGH:		7 - FLAT VENT	5.85 SQ.FT.
PROVIDE LOW:		3 - 2 1/2" Ø VENT HOLES/BAY 3X .0291 X 70 BAYS***	6.11 SQ.FT.
TOTAL LOW			6.11 SQ.FT. (>50% HIGH)

* DESIGN 1/2" HIGH & LOW VENTS
** 1.0 SQFT/EA - 15% FOR NFA/EA (.15 SQFT) = .85 SQFT. - SEE CUT SHEET @ A2A
*** .0341 SQFT/EA - 15% FOR NFA/EA (.005 SQFT) = .0291 SQFT. NVFA
**** 89 SQ. INCH = .618 SQFT (SEE CUT SHEET BELOW FOR V26 MODEL
***** SEE CUT SHEET @ A2A

NOTE:
- ALL DOORS & WINDOWS MARKED AS "TEMP." MUST HAVE TEMPERED GLASS IN ALL PANES @ BOTH INTERIOR & EXTERIOR
- ALL EXTERIOR WINDOW & DOOR PANE OF GLASS TO BE TEMPERED (20 MIN RATED) PER W.U.I REQ.



2
A2B
PROPOSED WORKSHOP FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRE/SAFETY REQ.:

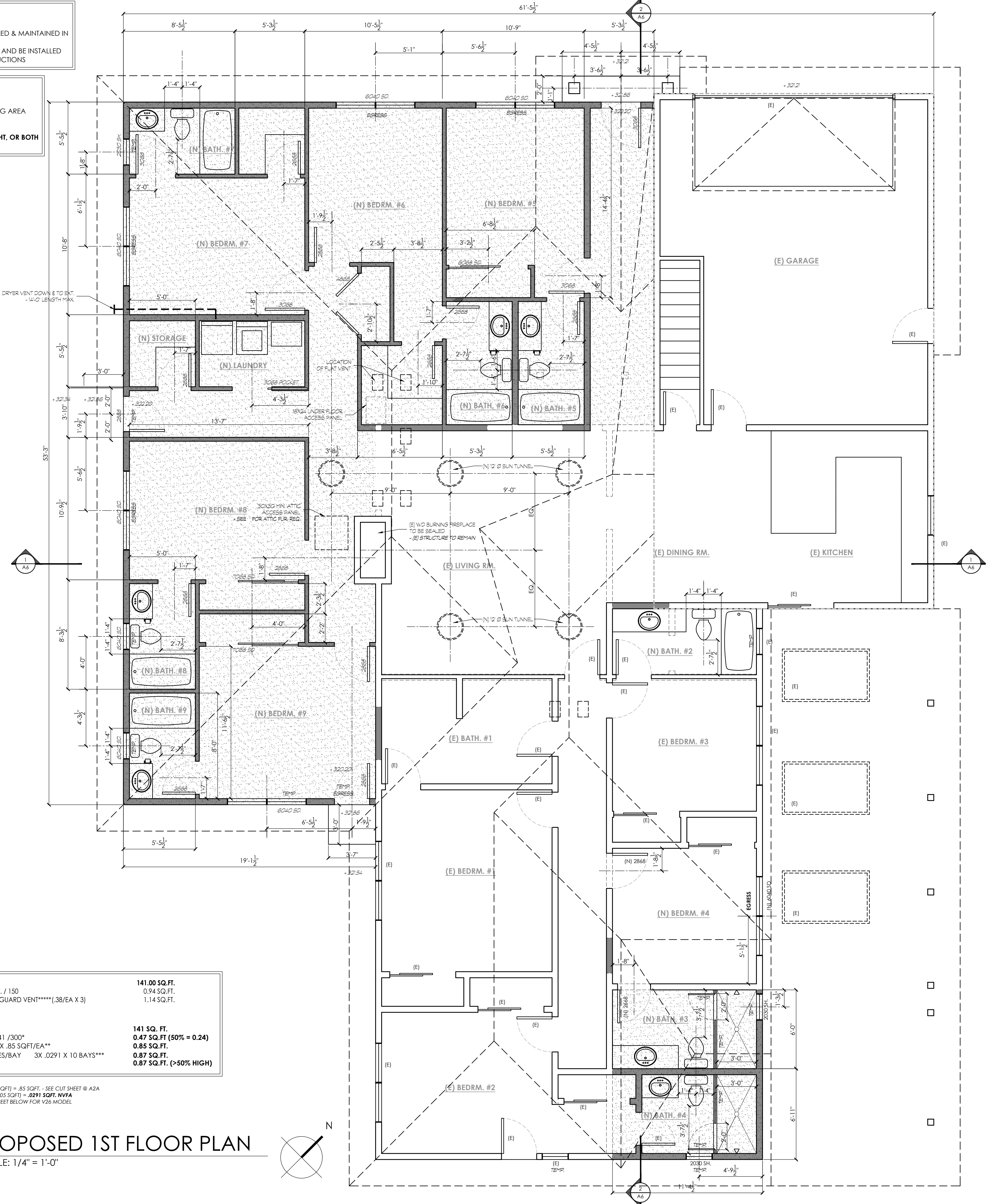
- FIRE ALARMS SHOULD BE LISTED AS COMPLYING WITH UL217 AND BE INSTALLED & MAINTAINED IN ACCORDANCE WITH NFPA 72 & MANUF. INSTRUCTION
- CARBON MONOXIDE ALARM SHALL BE LISTED AS COMPLYING WITH UL2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA720 AND THE MANF. INSTRUCTIONS

EGRESS WINDOW REQ.:

- AN OPENING FOR EMERGENCY THAT IS AT LEAST 5.7 SQUARE FEET IN OPENING AREA
- MINIMUM OPENING SIZE IS 20" WIDTH X 24" HIGH
- MAX. SILL HEIGHT CANNOT EXCEED 44"
- IN ORDER TO MEET THE REQUIRED 5.7 SQFT TOTAL, EITHER THE WIDTH OR HEIGHT, OR BOTH MUST EXCEED THE MINIMUM DIMENSION

ASHRAE 62.2 COMPLIANCE NOTES:

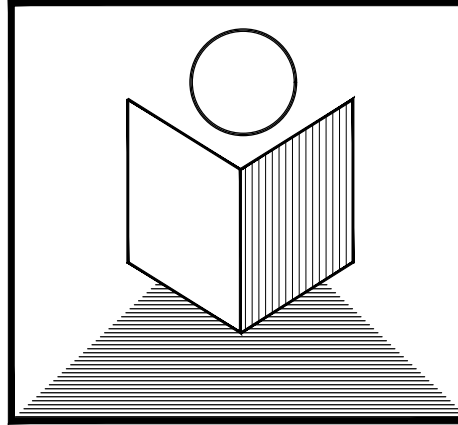
- ALL BATHROOM FANS ARE .50 CFM MIN.
- KITCHEN HOOD FAN IS 100 CFM. MIN.
- HVAC FILTER IS MERV 13 MIN., 1" THICK W/ MAX. 0.1" W.C. PRESSURE DROP



- WORKSHOP AREA REQ. VENT:		141 SQ.FT. / 150	141.00 SQ.FT.
AREA OF VENTS REQD.			0.74 SQ.FT.
- PROVIDING		3 - 8X14 BRANDGUARD VENT***** (.38/EA X 3)	1.14 SQ.FT.
* ROOF VENT CALCULATION			
ROOF AREA REQ. VENT:		141 / 300*	141 SQ. FT.
AREA OF VENT REQ.		1 X .85 SQFT/EA**	0.47 SQ.FT (50% = 0.24)
PROVIDE HIGH:		1 - FLAT VENT	0.85 SQ.FT.
PROVIDE LOW:		3 - 2 1/2" Ø VENT HOLES/BAY 3X .0291 X 10 BAYS***	0.87 SQ.FT.
TOTAL LOW			0.87 SQ.FT. (>50% HIGH)

* DESIGN 1/2" HIGH & LOW VENTS
** 1.0 SQFT/EA - 15% FOR NFA/EA (.15 SQFT) = .85 SQFT. - SEE CUT SHEET @ A2A
*** .0341 SQFT/EA - 15% FOR NFA/EA (.005 SQFT) = .0291 SQFT. NVFA
**** 89 SQ. INCH = .618 SQFT (SEE CUT SHEET BELOW FOR V26 MODEL
***** SEE CUT SHEET @ A2A

1
A2B
PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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PROPOSED
FLOOR PLANS

SCALE: 1/4" = 1'-0"

no.	revisions	date
1	DESIGN REVIEW	01/14/2025

2		
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date issued: 01/14/2025

drawn by: NGHI THANH LE

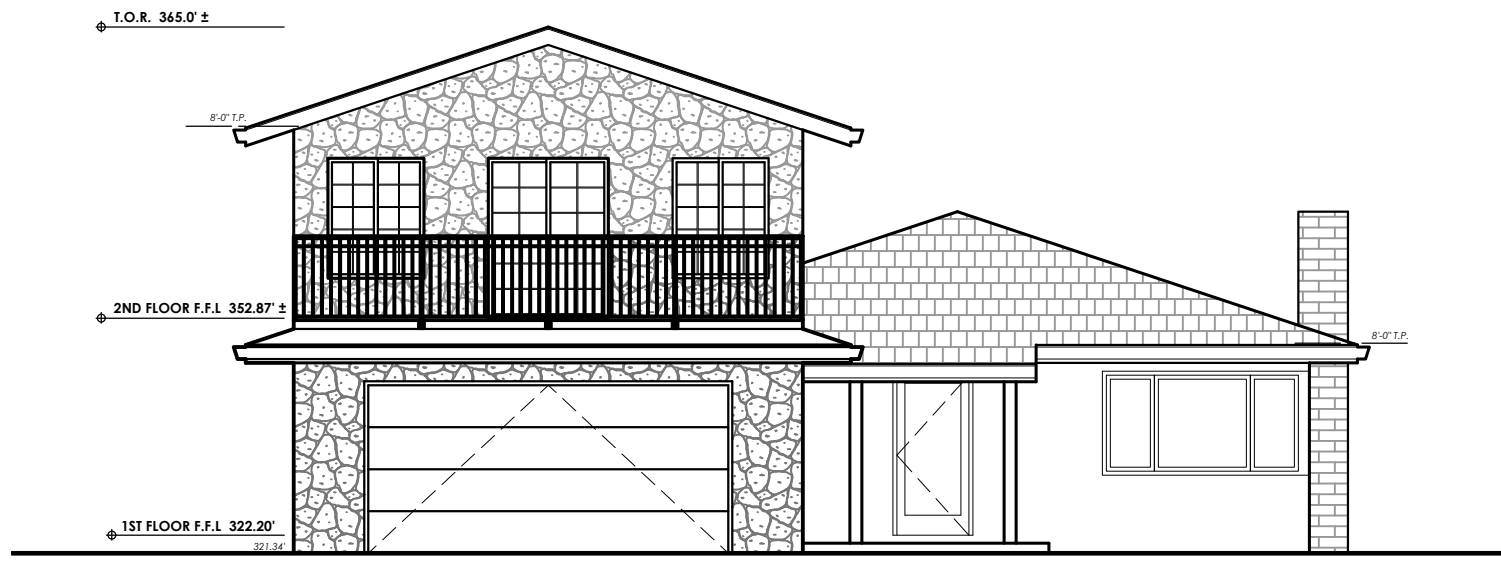
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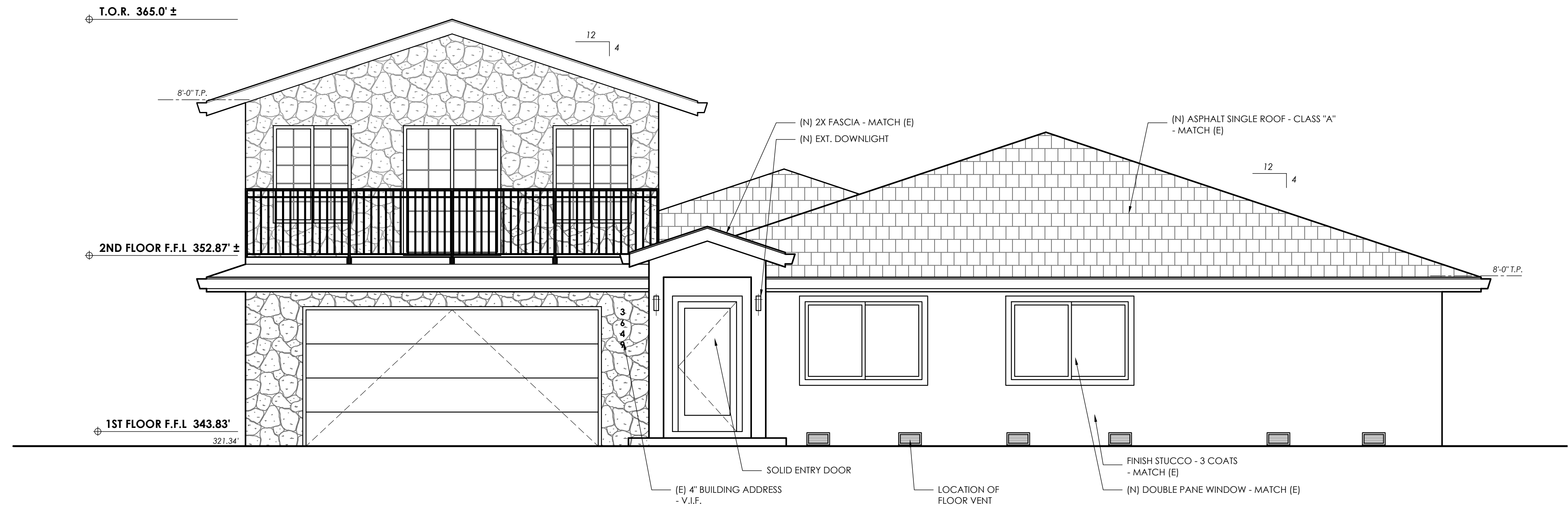
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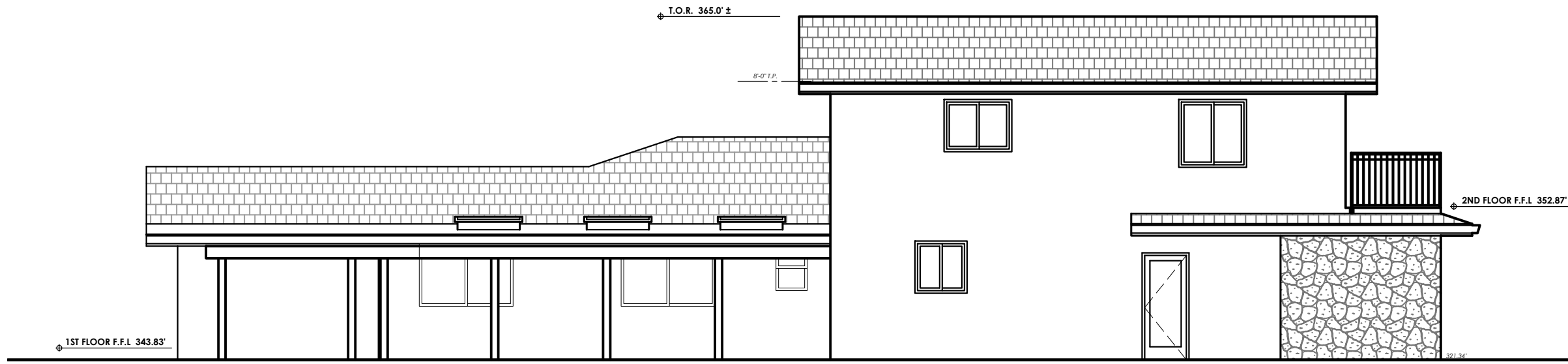


1
A3
EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"

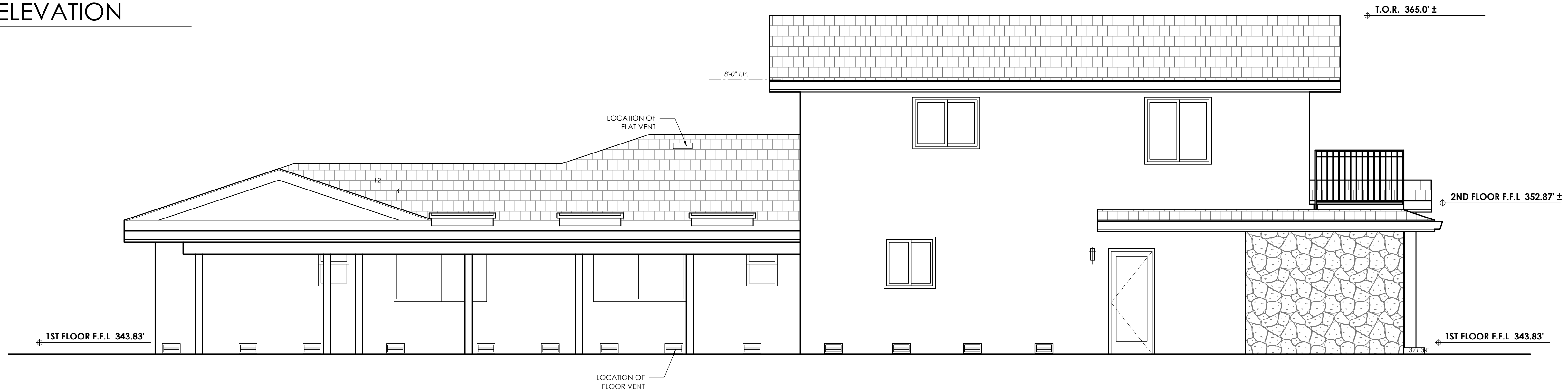


2
A3
PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

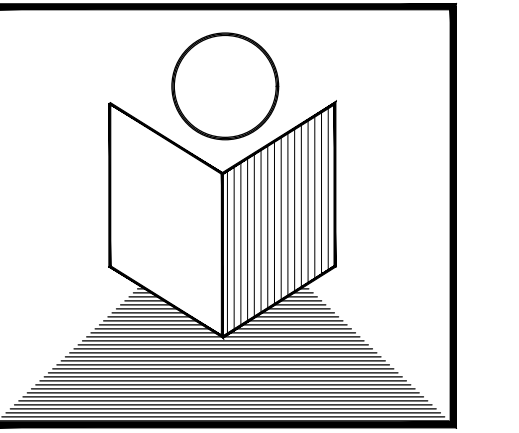
NOTE:
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3
A3
EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"



4
A3
PROPOSED LEFT ELEVATION - NO CHANGE
SCALE: 1/4" = 1'-0"



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EXISTING &
PROPOSED
BUILDING
ELEVATIONS
SCALE: 1/4" = 1'-0"

no.	revisions	date
DESIGN REVIEW		01/14/2025

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2		

date issued: 01/14/2025

drawn by: NGHI THANH LE

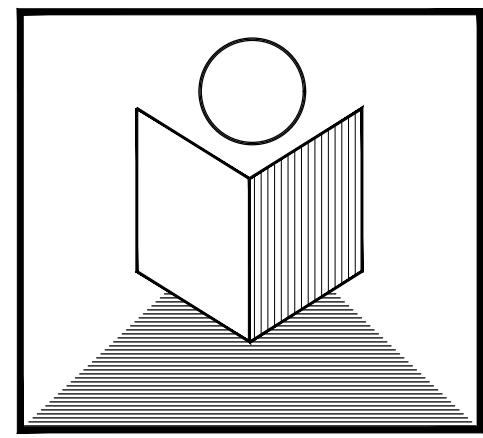
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EXISTING & PROPOSED BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"

no.	revisions	date
	DESIGN REVIEW	01/14/2025

1		
2		

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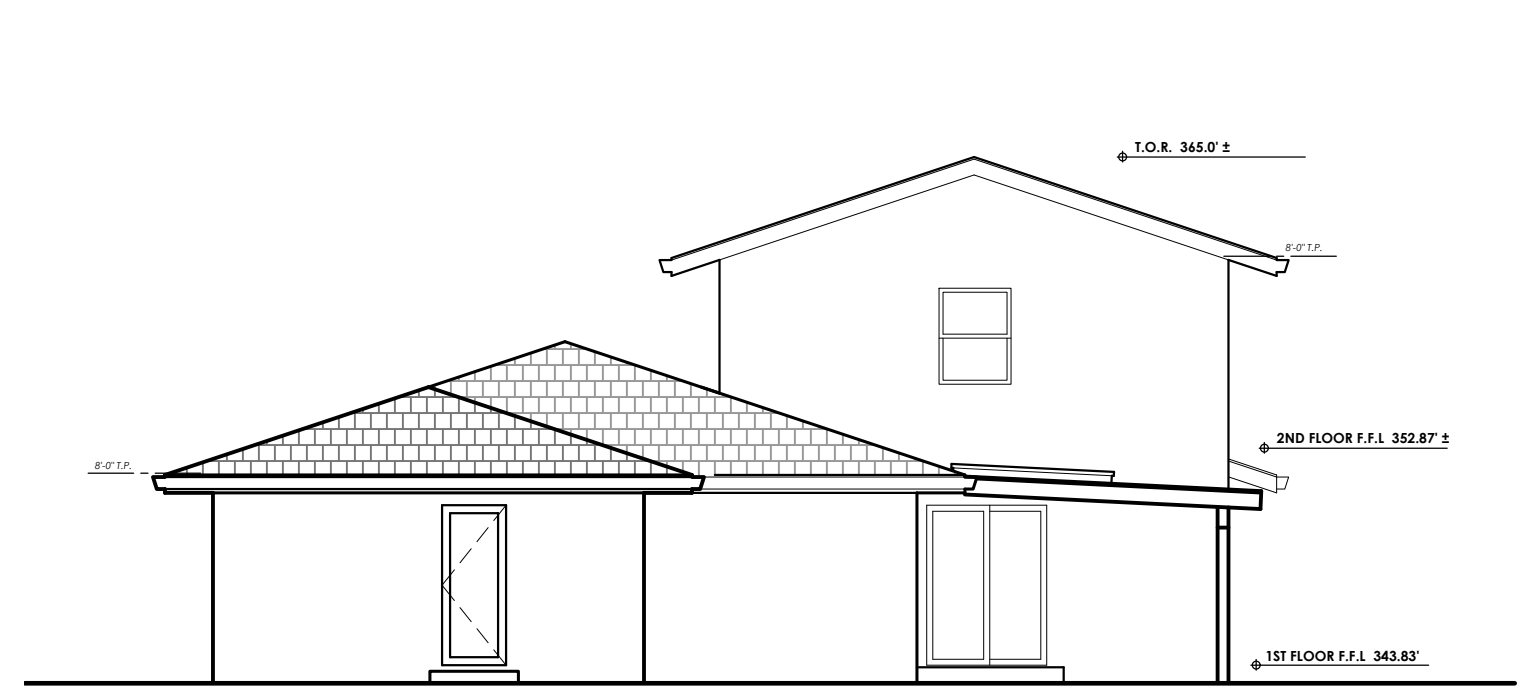
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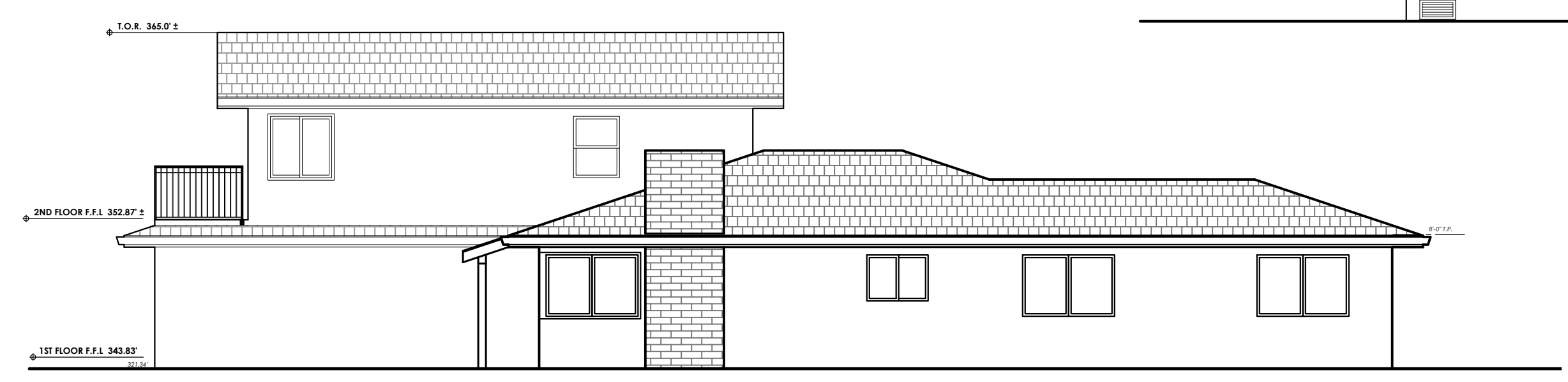
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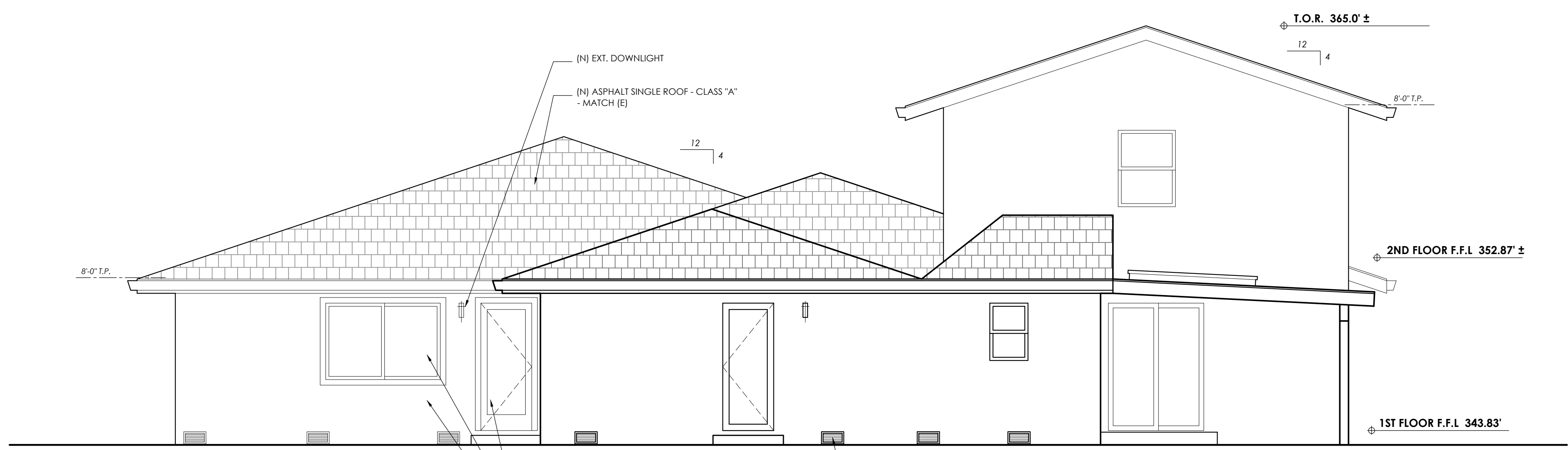
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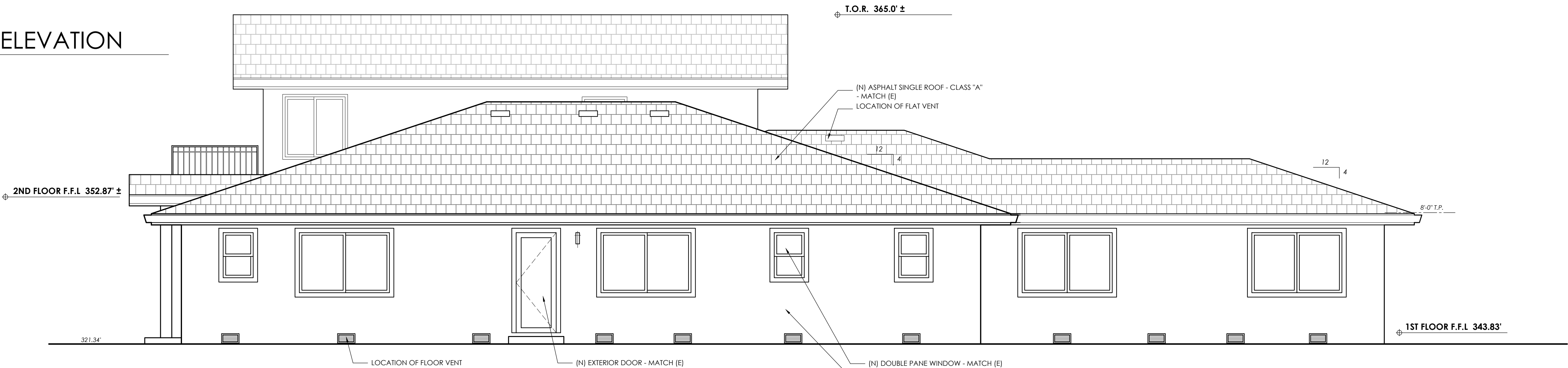
1
A4
EXISTING REAR ELEVATION
SCALE: 1/8" = 1'-0"



3
A4
EXISTING RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

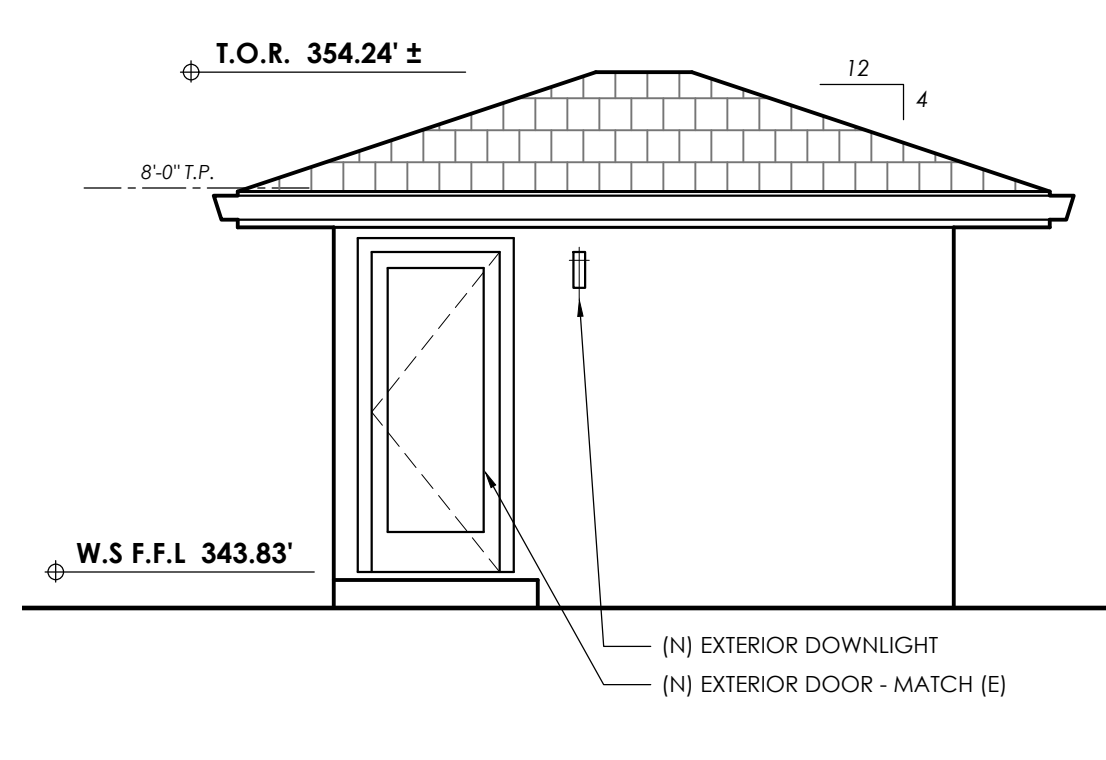


2
A4
PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

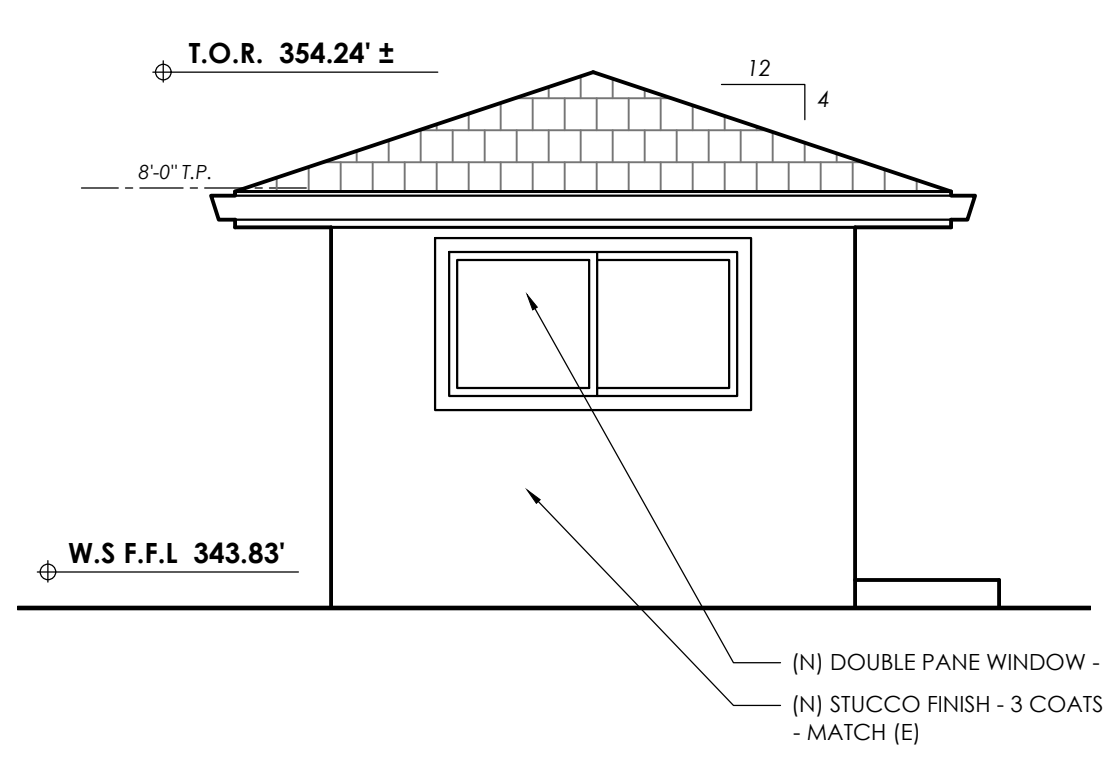


4
A4
PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

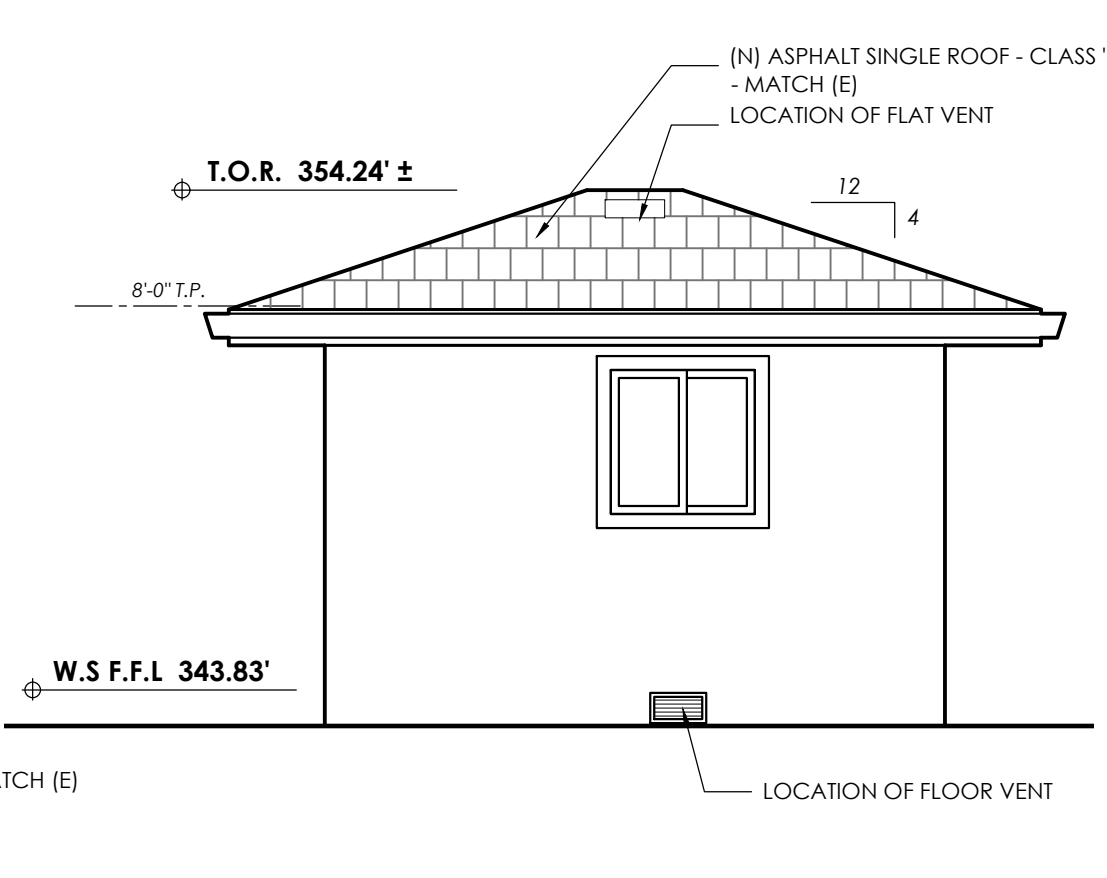
NOTE:
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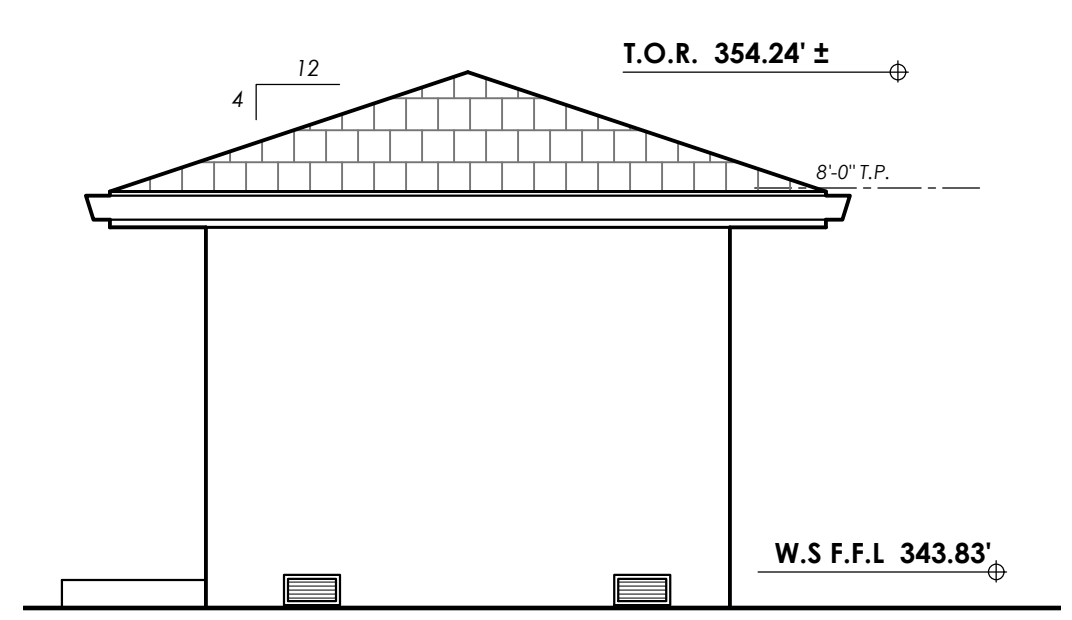
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A4
WORKSHOP FRONT ELEV.
SCALE: 1/4" = 1'-0"



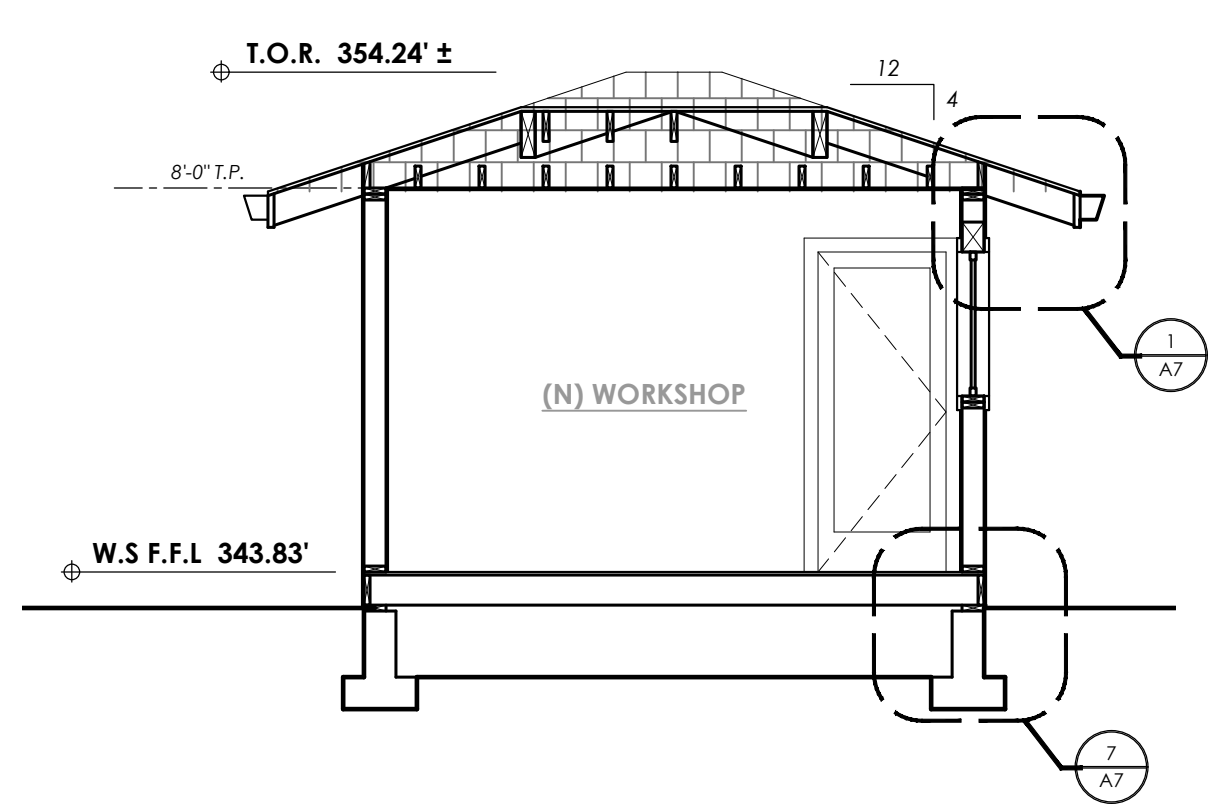
6
A4
WORKSHOP SIDE ELEV.
SCALE: 1/4" = 1'-0"



7
A4
WORKSHOP REAR ELEV.
SCALE: 1/4" = 1'-0"

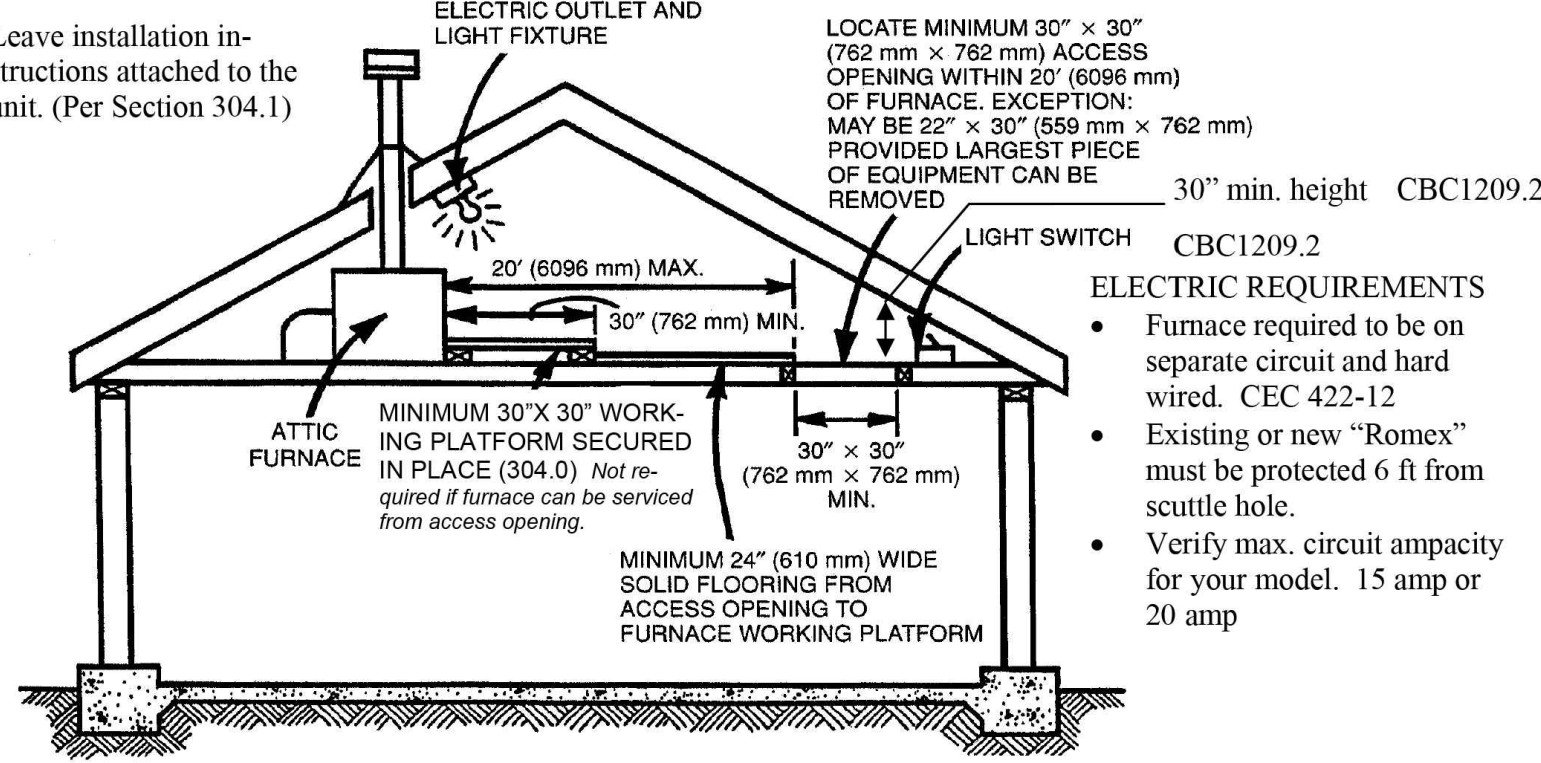


8
A4
WORKSHOP SIDE ELEV.
SCALE: 1/4" = 1'-0"

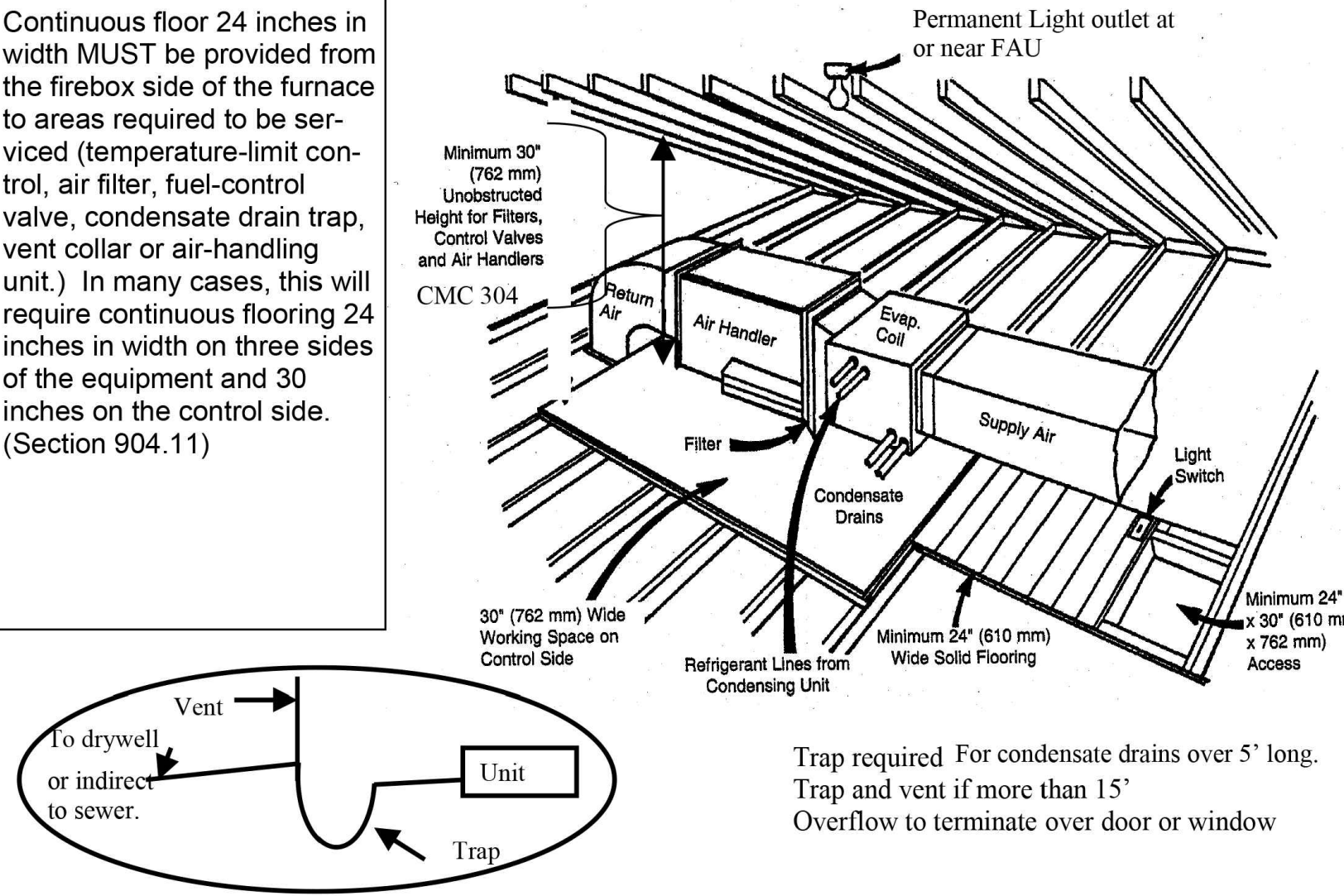


9
A4
WORKSHOP SECTION A-A
SCALE: 1/4" = 1'-0"

ATTIC FURNACE



Continuous floor 24 inches in width MUST be provided from the firebox side of the furnace to areas required to be serviced (temperature-limit control, air filter, fuel-control valve, condensate drain trap, vent collar or air-handling unit.) In many cases, this will require continuous flooring 24 inches in width on three sides of the equipment and 30 inches on the control side. (Section 904.11)



INSULATION SCHEDULE

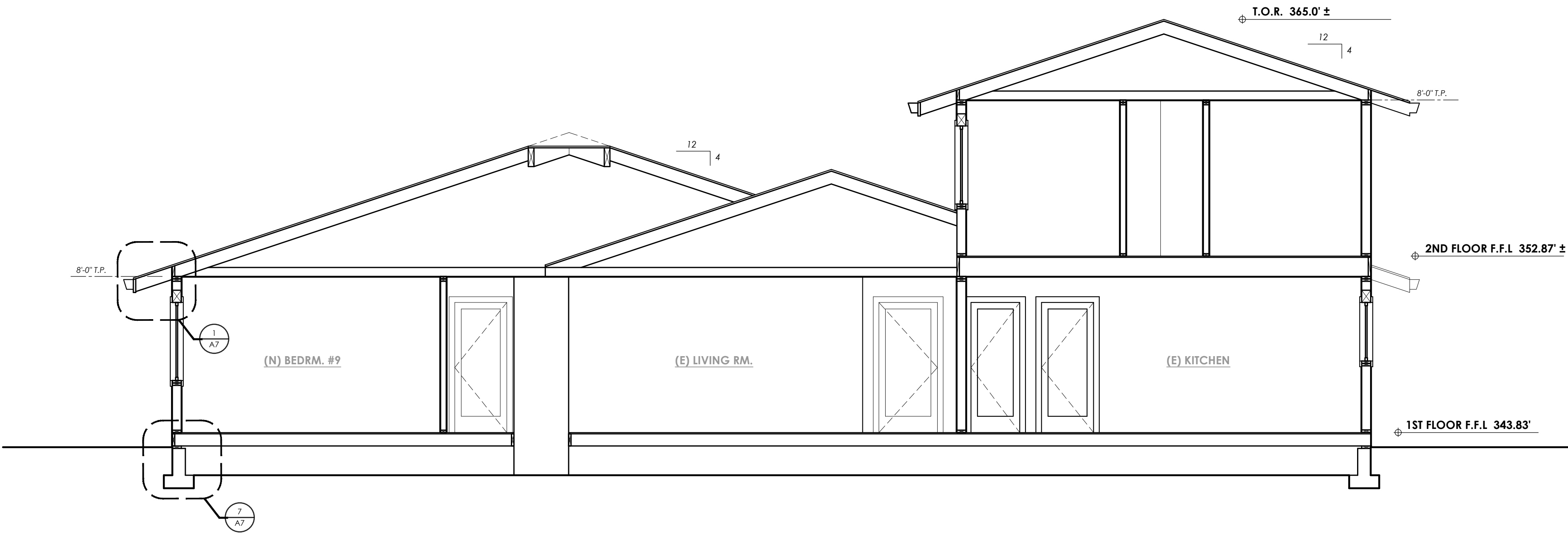
R-25 BAT.	ALL (N) EXTEROR WALLS
R-22 BAT.	FLOORS
R-48 BAT.	ATTIC ROOF

NOTE:

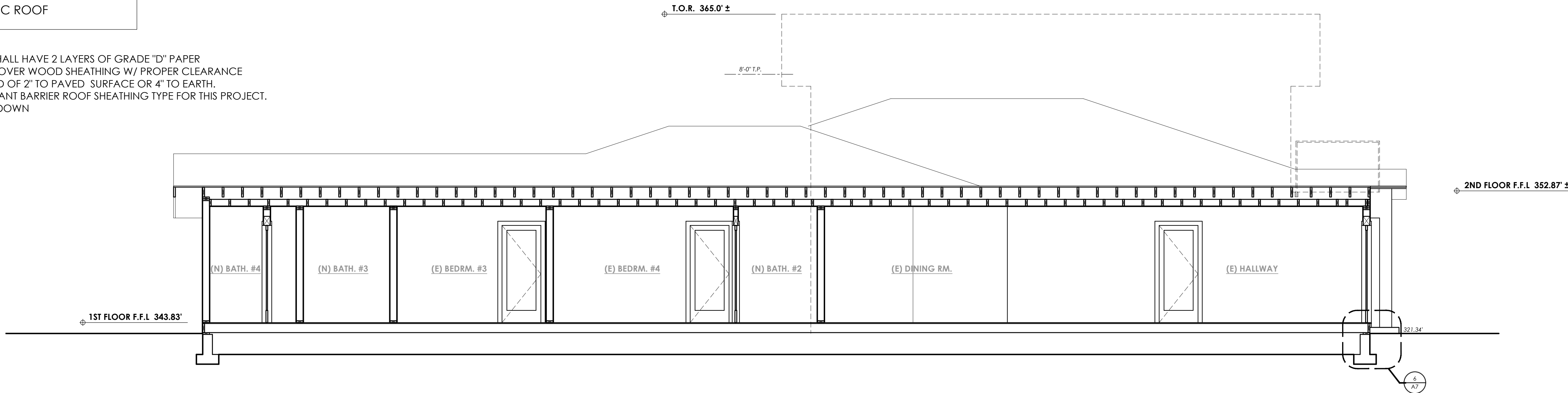
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NOTE:

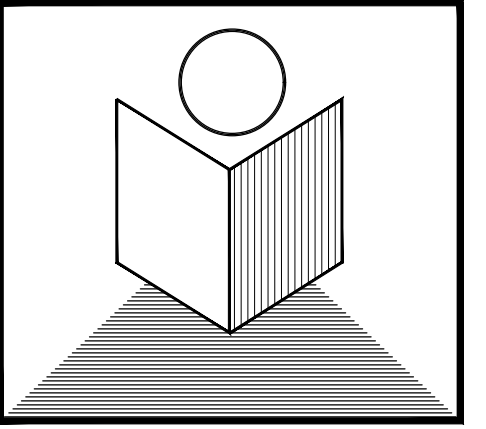
- STUCCO LATH SHALL HAVE 2 LAYERS OF GRADE "D" PAPER WHEN APPLIED OVER WOOD SHEATHING W/ PROPER CLEARANCE TO WEEP SCREED OF 2" TO PAVED SURFACE OR 4" TO EARTH.
- PROVIDED RADIANT BARRIER ROOF SHEATHING TYPE FOR THIS PROJECT. RADIANT FACE DOWN



1
A6
PROPOSED BUILDING SECTION A-A
SCALE: 1/4" = 1'-0"



2
A6
PROPOSED BUILDING SECTION B-B
SCALE: 1/4" = 1'-0"



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PROPOSED
BUILDING
SECTIONS

SCALE: 1/4" = 1'-0"

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1	DESIGN REVIEW	01/14/2025

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date issued: 01/14/2025

drawn by: NGHI THANH LE

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