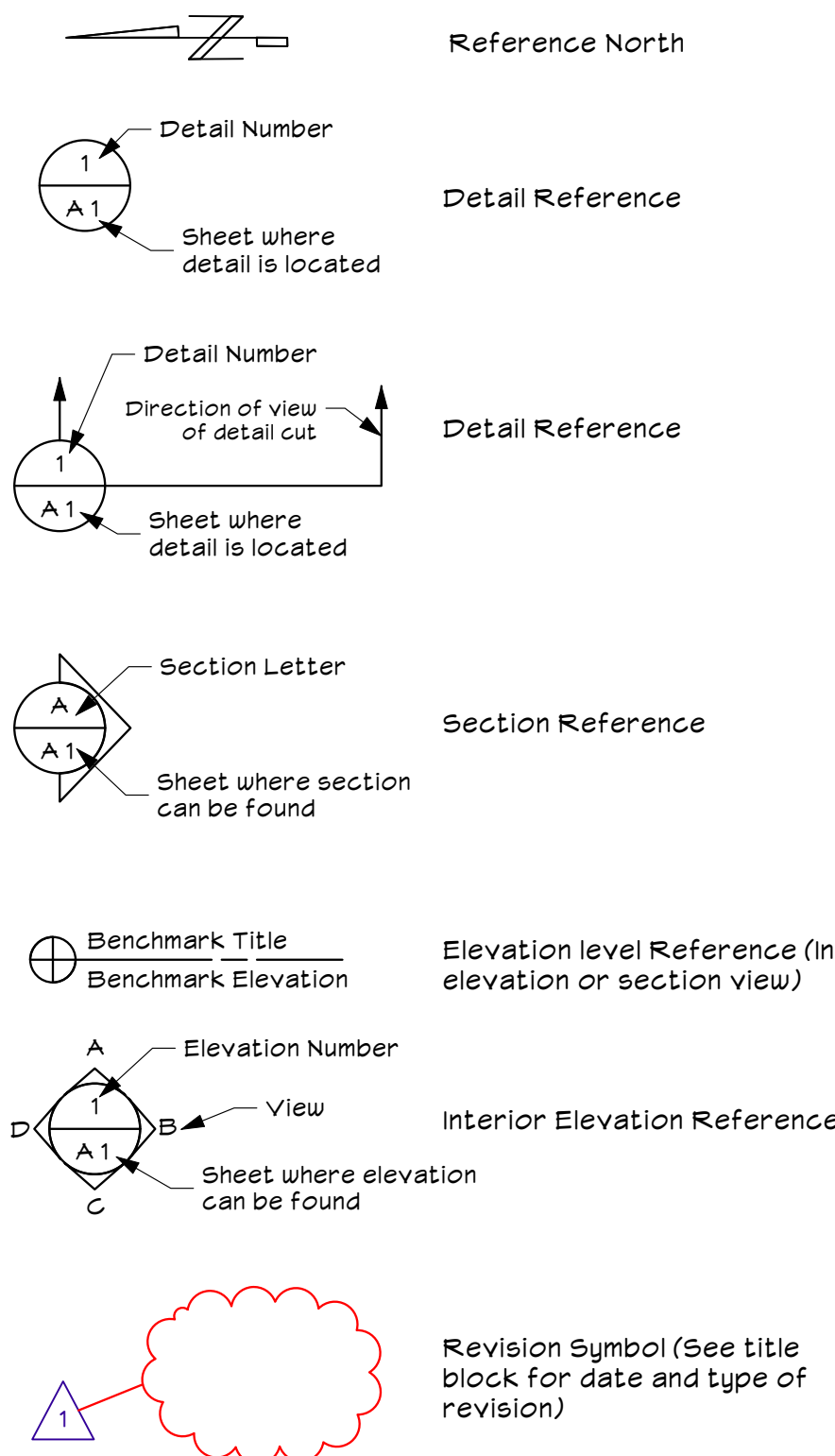


PEDERSON PROJECT - NEW BUILD/ADU/JRADU

GENERAL PROJECT NOTES

- A. Written dimensions on these drawings shall have precedence over scaled dimensions, written dimensions are approximate and must be verified, Contractor to verify and be responsible for all existing conditions and dimensions prior to and during all phases of work.
- B. If the contractor or subcontractor should find any lack of information, discrepancy in and/or omissions from these drawings or if the contractor should be in question as to their meaning or intent, the contractor should contact Paladin Design & Engineering at once for interpretation or clarification before proceeding with that portion of the work.
- C. No changes, modifications or deviations shall be made from the drawings or specifications without first securing written permission from the Paladin Design & Engineering or the owner.
- D. All work as outlined in these documents, shall strictly conform to all applicable codes and ordinances, the event of a conflict, the more stringent requirement shall govern and be met.
- E. All materials used shall be equal to or exceed all applicable state or local codes and requirements.
- F. Contractor shall remove promptly and legally all accumulated debris, protect all exposed portions of work from elements, avoid over-loading structure, and securely store all items to be used for construction.
- G. All glass in hazardous areas (including tubs & showers), all glass within 18" of floor, and all glass within 24" of an operable door shall be safety glass & be permanently labeled as such. [CRC R308.4]
- H. All existing utilities and city services are to be maintained, kept in service, and protected against damage during construction.
- I. Contractor to verify location of all existing underground utilities prior to excavation.
- J. All electrical calculations and wire size to be provided by a licensed electrical contractor. Receptacle, fixture, and equipment locations to be found on floor plans and site plan. Contractor to verify location, fixture types and equipment with owner prior to purchase and installation.
- K. The contractor shall take all necessary precautionary measures to protect the public and adjacent properties from damage throughout construction.
- L. Any existing utilities to be abandoned shall be properly disconnected, plugged or capped, as required by code or sound construction practice.
- M. Provide adequate concealed blocking and anchoring for all ceiling and wall mounted equipment, hardware and accessories.
- N. Unless otherwise noted, electrical conduits, plumbing lines, etc., shall be run concealed and framing shall be adequate size to accomplish result without causing any changes in the wall plane.
- O. Interior dimensions are shown from finish surface to finish surface and exterior dimensions are from sheathing unless noted otherwise.
- P. If fire sprinkler system is required it shall be installed as required, per NFPA and local regulations. The contractor shall submit shop drawings to the governing jurisdiction for permit.
- Q. Each bedroom shall have one exterior egress compliant window or door that is operable from interior without the use of a key or special tools, knowledge, or effort.
- R. All products listed by ICC/NER number shall be installed per the report and manufacturer's written instructions. Product substitution for products listed shall also have ICC approved evaluation report and be approved and listed by other nationally recognized testing agencies.
- S. Exterior operable windows and doors will be weather-stripped. All open joints, penetrations and other openings in the building envelope shall be sealed, caulked, gasketed or weather-stripped to limit air leakage.
- T. All sink faucets, shower heads, toilets and urinals shall comply with California Civil Code Section 1101.1 through 1101.3 and CALGreen Section 301.1.
- U. See structural sheet for project construction notes and details.
- V. See attached Title 24 forms and/or calculations for project energy efficiency requirements
- W. Development shall comply to the Land Development Standards and Policies Manual when applicable

SYMBOL LEGEND



SCOPE OF WORK

New

- New 2243 SF single family home with 1631 attached garage

Alterations

- Convert 1596 sf home to 1096 sf ADU and 500SF JADU

VICINITY MAP



DRAWING INDEX

A.O.O	COVER SHEET
A.O. 1	SITE PLAN
A.O. 1a	SITE PLAN
A.O. 1b	FIRE HYDRANT LOCATION
T-1	TOPOGRAPHIC MAP
A.1.0	EXISTING/DEMO PLAN
A.1.1	PROPOSED ADU/JADU
A.2.0	PROPOSED FLOOR PLAN
A.3.0	PROPOSED ELEVATIONS

PROJECT INFORMATION

Designer:	Paladin Design & Engineering* Contact - Brendan Chapman brendan@paladin-design.net 2730 Union Avenue, Suite B San Jose, CA 95124 (408) 370-0730 (408) 370-3799 Fax	Client:	Jeff Pederson 20876 Almaden Road San Jose CA 95120 (408) 370-0730
Engineer:	Contact - Quang Phan quang@paladin-design.net	APN:	742-05-001
Title 24:	FRI Energy Consultants Contact: Nick Bignardi (408) 866-1620	Zoning:	RR-sr-h1 (SRA & WUI)
Contractor T.B.D.		Occupancy:	R-3/U
		TYPE:	V-B
		Stories:	1
		Sprinklers:	Not Required
		Year Built:	1951
		Applicable Codes:	2022 CA Building Code 2022 CA Residential Code 2022 CA Mechanical Code 2022 CA Plumbing Code 2022 CA Electrical Code 2022 CA Energy Code 2022 CalGreen Code

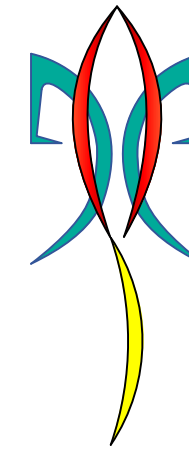
AREA CALCULATIONS

Lot	Existing Area	Coverion	Proposed New	Total
Existing home	1,596 SF	1,596 SF	0 SF	108,900 SF
ADU	0 SF	0 SF	1,096 SF	1,096 SF
JADU	0 SF	0 SF	500 SF	500 SF
New Home	0 SF	0 SF	2,244 SF	2,244 SF
Existing Sheds	1,593 SF	0 SF	0 SF	1,593 SF
Porch	0 SF	0 SF	182 SF	182 SF
Garage	0 SF	0 SF	1,631 SF	1,631 SF
Total Coverage	3,189 SF	1,596 SF	5,653 SF	7,246 SF
Floor Area	1,596 SF	1,596 SF	2,244 SF	2,244 SF
F.A.R.	1.47%	1.47%	2.06%	2.06%

EARTHWORK QUANTITIES

	Cut	Fill	Net	Max Cut Ht.	Max Fill Ht.
Building Pads (New Addition)	0'	0'	0'	0'	0'
Driveway (any improvements to existing driveway)	6'	0' Dirt 6' Base Rock	6'		
Site Grading	0'	0'	0'	0'	0'
Retaining Wall	0'	0'	0'	0'	0'
Total	6'	6'	6'		

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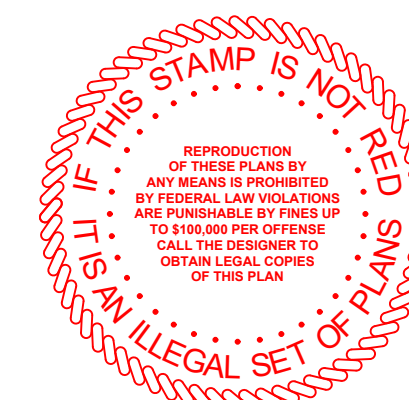


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REVISIONS

DATE

PROJECT:
PEDERSON PROJECT
Jeff Pederson
20876 Almaden Road
San Jose, CA 95120

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SCALE: AS NOTED FILE: 24-002

COVER SHEET

A.O.O

Sheet 1 of 0 sheets

PEDERSON PROJECT

3/7/24, 3:01 PM

Santa Clara County
Department of Planning and Development
Online Property Profile

March 07, 2024 03:00:44 PM. The GIS data used in this analysis was compiled from various sources. While deemed reliable, the Planning Office assumes no liability.

Property Location Information

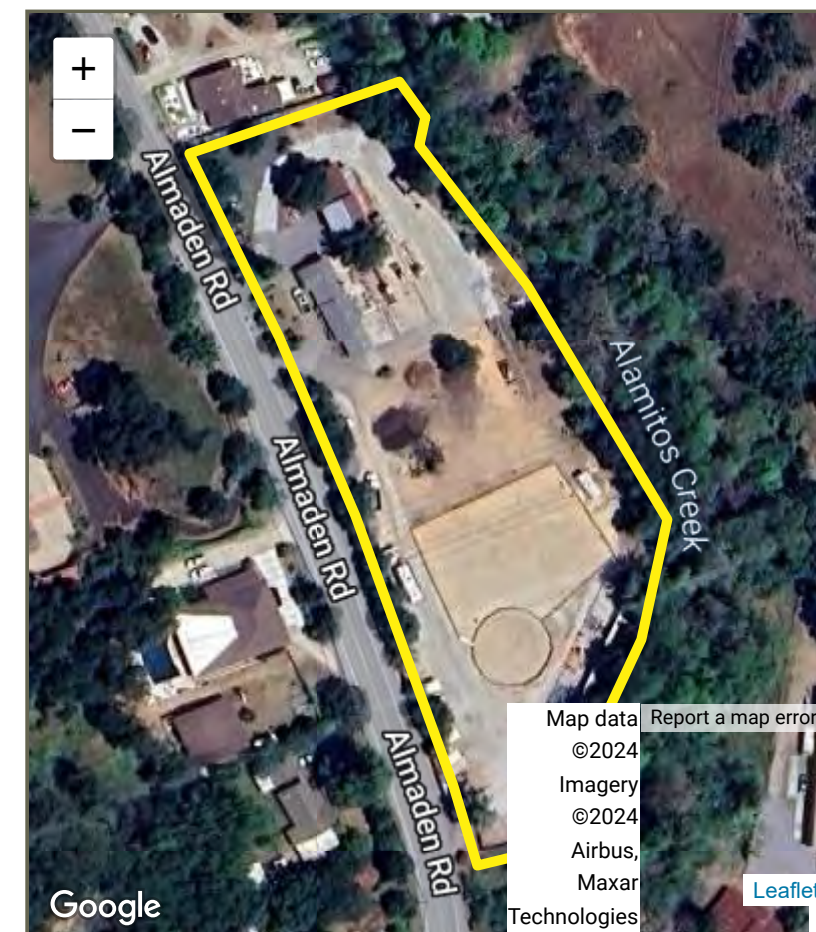
APN: 742-05-001
Site Address: 20876 ALMADEN RD SAN JOSE CA 95120-3610
Recorded Size (Assessor Database): 106,722 sq. ft. / 2.5 acres
Computed Size (GIS): 107,479 sq. ft. / 2.5 acres
TRA: 98032

Planning and Development Information

General Plan: Rural Residential (100%)
USA: None
SOL: San Jose
Zoning: RR-sr-h1 (100%)
Supervisor District: 5
Approved Building Site: Research needed to evaluate parcel as a Building Site

Special Area Policies and Information

- New Almaden Historical Area
- HCP Area
- HCP Rural Development Areas: IN
- Fire Responsibility Area: SRA (100%)
- Cal Fire SRA Hazard Class: High (100%)
- Wildland Urban Interface: IN
- Fire Protection District: Santa Clara County Central Fire Protection District
- Geohazard: County liquefaction hazard zone
- Geohazard: State seismic hazard zone (liquefaction)
- Historic Parcel: YES
- FEMA Flood Zone: D (96.6%), AE (2.1%), AE (1.3%)
- Watershed: San Francisco Bay
- Rain Isolyet: 25 inches, 23 inches
- Nearest named creek: ALAMITOS CREEK (12 feet)
- Nearest named lake: Calero Reservoir (6416 feet)
- Near county maintained road(s): ALMADEN ROAD
- Oak woodlands present



131404915W 37110501N

SPECIAL FLOOD HAZARD AREAS

Without Base Flood Elevation (BFE)
Zone A, BFE
With BFE or Depth (Zone AE, AD, AH, VE, AR)
Regulatory Floodway

0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile
Future Conditions 1% Annual Chance Flood Hazard Zone A
Area with Reduced Flood Risk due to Levee. See Notes.
Area with Flood Risk due to Levee Zone D

OTHER AREAS OF FLOOD HAZARD

NO SCREEN Area of Minimal Flood Hazard
Effective LOWW Area of Undetermined Flood Hazard

OTHER AREAS

GENERAL STRUCTURES

Channel, Culvert, or Storm Sewer
Levee, Dike, or Floodwall

OTHER FEATURES

Cross Sections with 1% Annual Chance Water Surface Elevation
Coastal Transect
Base Flood Elevation Line (BFE)
Limit of Study
Jurisdiction Boundary
Coastal Transect Baseline
Profile Baseline
Hydrographic Feature

MAP PANELS

Digital Data Available
No Digital Data Available
Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not used as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NRP web services provided by FEMA. This map was exported on 12/14/2024 at 4:14 PM and does not reflect changes or amendments subsequent to this date and time. The NRP and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood hazard area, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FEMA effective date. Map images for unmapped and unadministered areas cannot be used for regulatory purposes.

121404915W 37110501N

Basemap Imagery Source: USGS National Map 2023



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San Jose, CA 95120

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SCALE: AS NOTED	FILE: 24-002
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A0.1

Sheet 2 of 0 Sheets

EDERSON PROJECT

Date: 5/19/25
File name: 24-002 Pederson, Jeff 1-5.vwx

Scale: 1" = 20'-0"

Scale: Feet 0 10 20 30 40
Inches 0 1 2 3 4



REVISIONS	DATE

PROJECT:
PEDERSON PROJECT
Jeff Pederson
20876 Almaden Road
San Jose, CA 95120

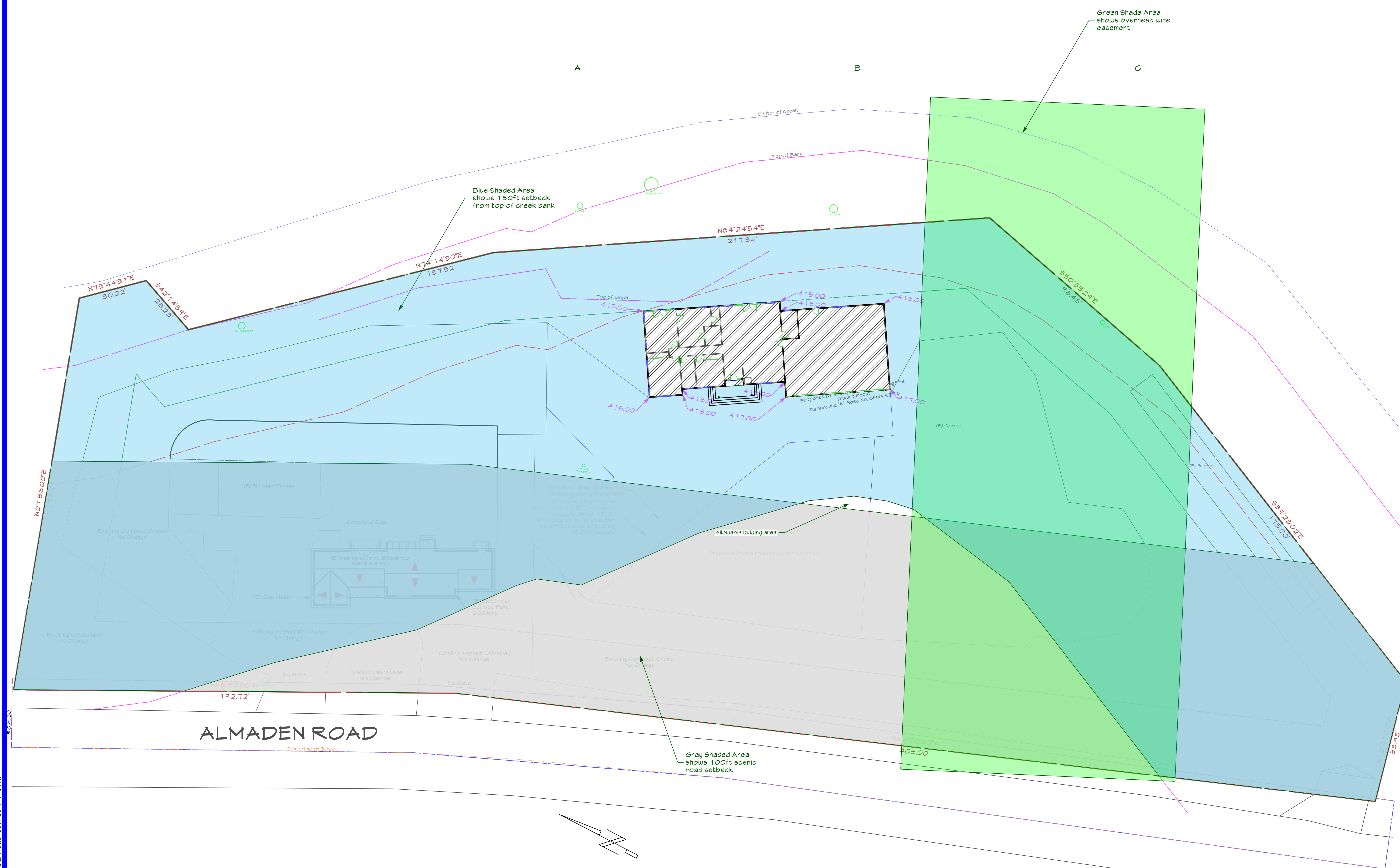
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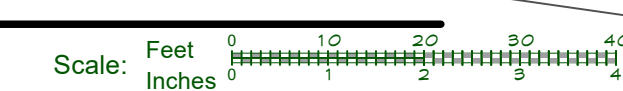
DATE: May 19, 24	DRAWN: BC/QP
SCALE: AS NOTED	FILE: 24-002

SITE PLAN
Setbacks/Easements
ts

AO.1a



SITE PLAN
Scale: 1" = 20'-0"



Date: 5/19/25
Filename: 24-002 Pederson_Jeff -5.vux



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[illegible]

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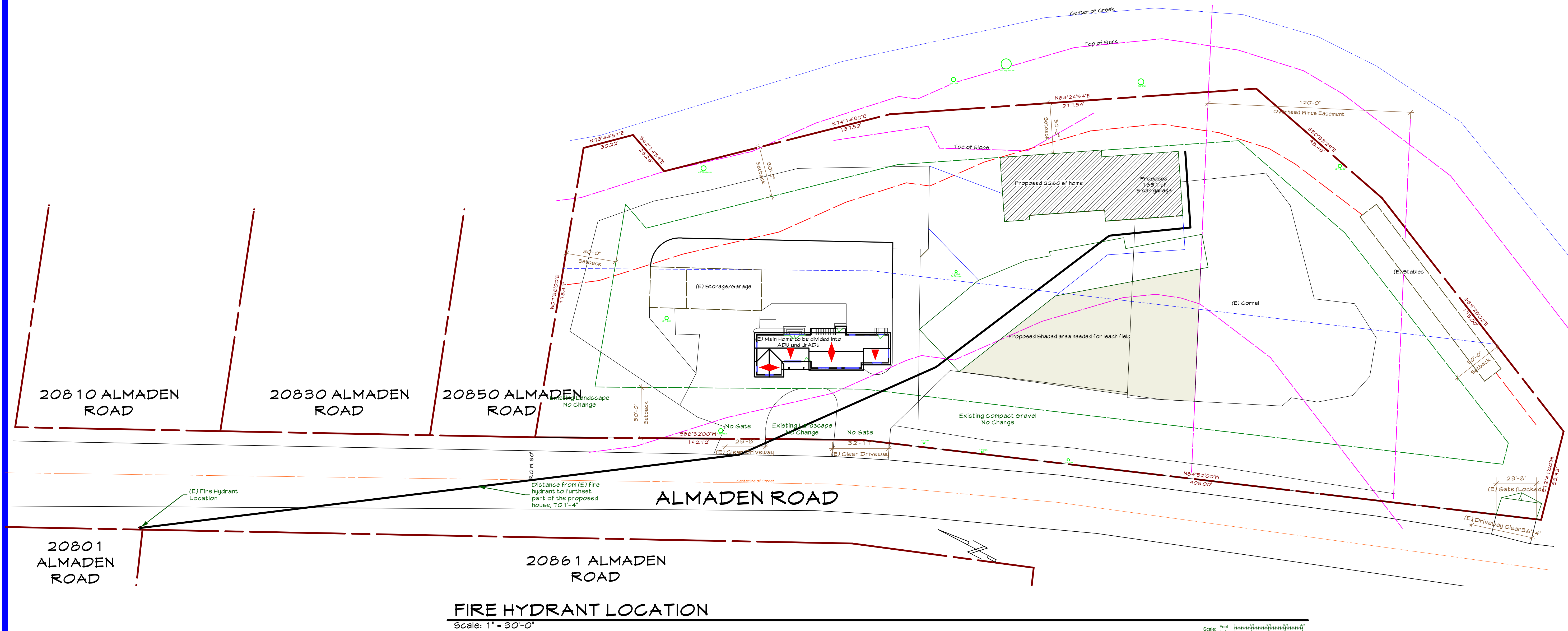
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FIRE HYDRANT
LOCATION

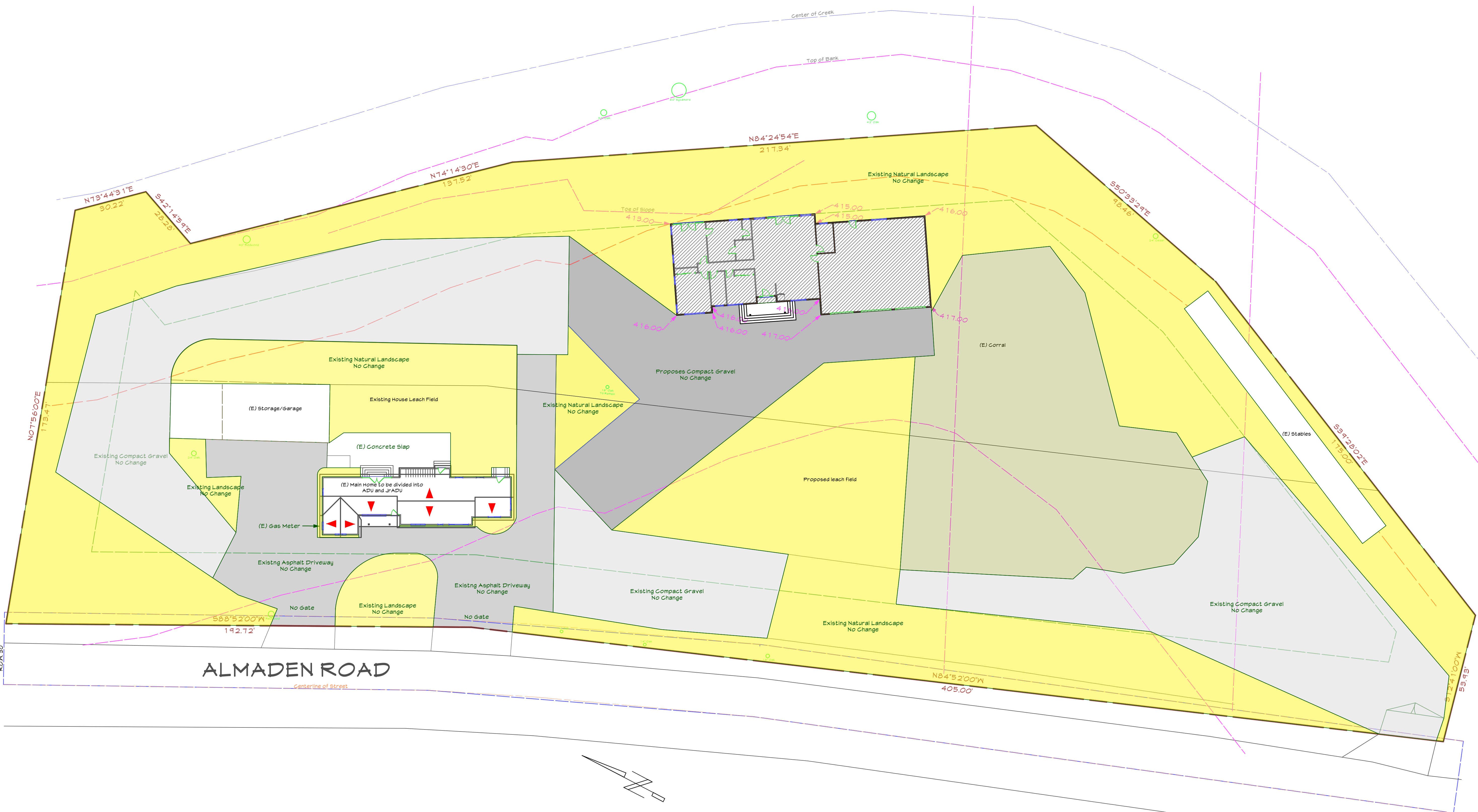
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Sheet 2 of 0 Sheets

PEDERSON PROJECT



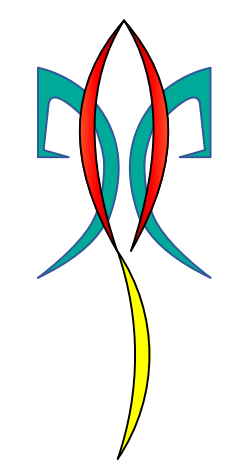
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Filename: 24-002 Pederson_Jeff -5.vux



SITE PLAN
Scale: 1" = 20'-0"

Scale: Feet 0 10 20 30 40
Inches 0 1 2 3 4

PALADIN

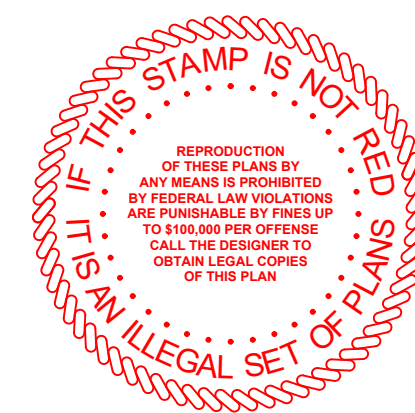


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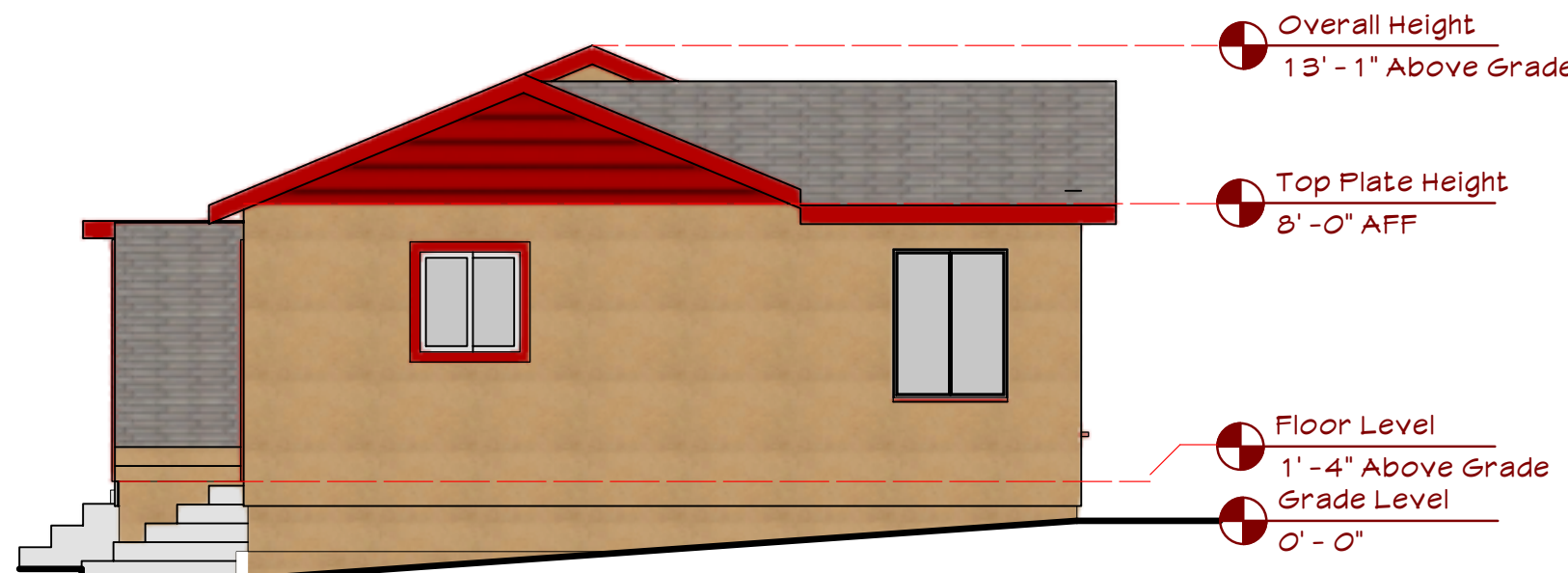
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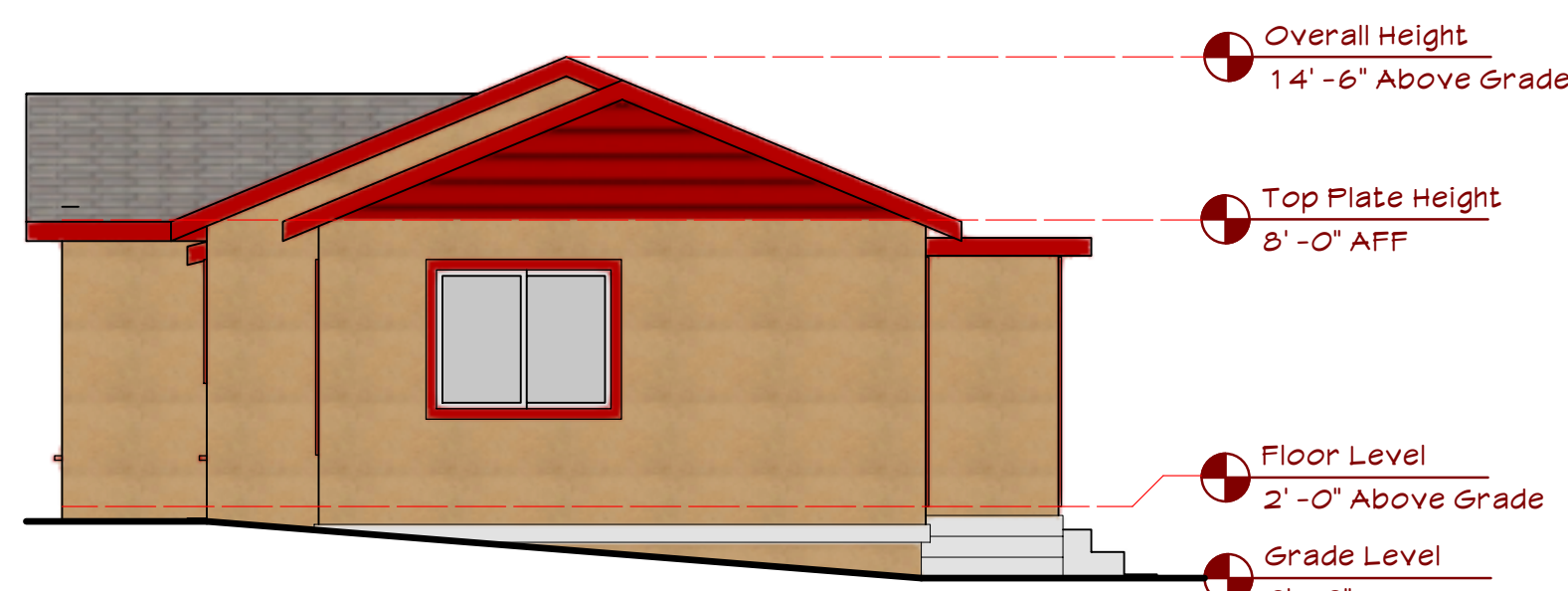
LANDSCAPE PLAN

AO.1c



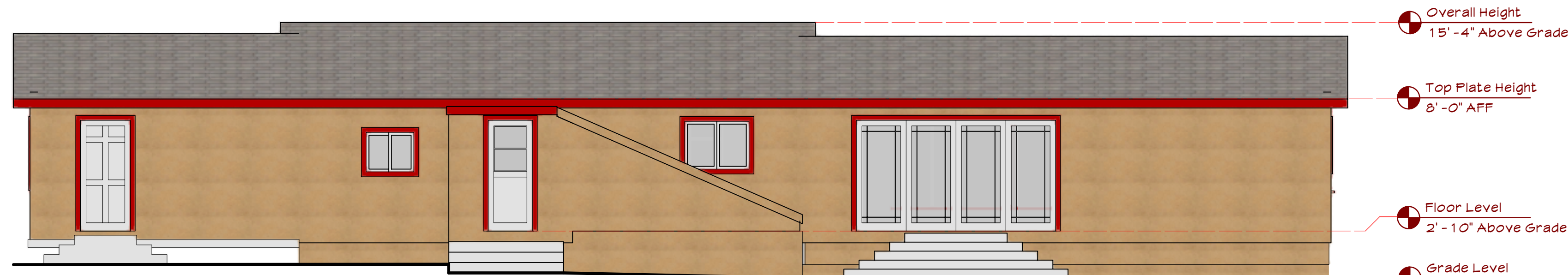
EXISTING LEFT ELEVATION (North-West)

Scale: 3/16" = 1'-0"



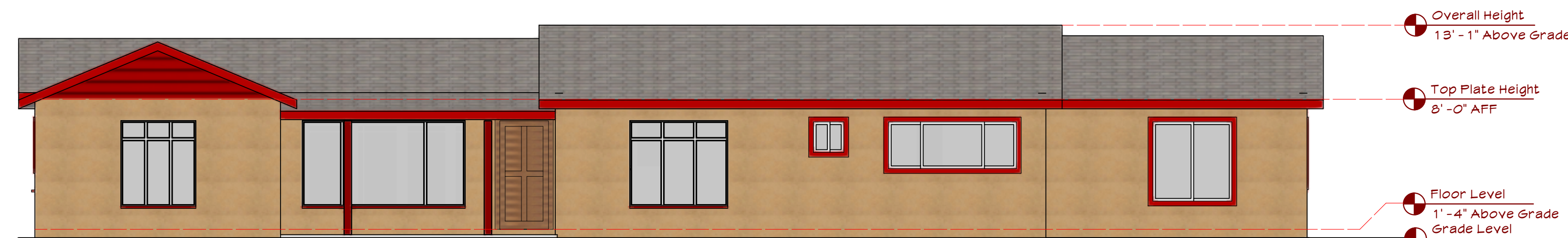
EXISTING RIGHT ELEVATION (South-East)

Scale: 3/16" = 1'-0"



EXISTING REAR ELEVATION (North-East)

Scale: 3/16" = 1'-0"



EXISTING FRONT ELEVATION (South-West)

Scale: 3/16" = 1'-0"

Existing Window Schedule

Mark	Width	Height	Sash Operation	Location	Glazing	Comments
W 1	6'0"	5'3"	Custom	Kitchen	Single Pane	
W 2	1'0"	5'3"	Custom	Living Room	Single Pane	
W 3	4'7"	5'3"	Custom	Bedroom 1	Single Pane	
W 4	3'3"	4'3"	3i-parting Casemen	Bedroom 1	Single Pane	
W 5	3'0"	3'0"	Horizontal Slider	Bath 1	Insulated	
W 6	4'0"	3'0"	3i-parting Casemen	Kitchen	Insulated	
W 7	3'0"	2'6"	Horizontal Slider	Kitchen 2	Insulated	
W 8	5'0"	4'0"	Horizontal Slider	Living Room 2	Insulated	
W 9	5'0"	5'0"	Horizontal Slider	Living Room 2	Insulated	
W 10	8'0"	3'0"	icture Window Slide	Bedroom 2	Insulated	
W 11	2'0"	2'0"	Horizontal Slider	Bath 2	Insulated	

Existing Door Schedule

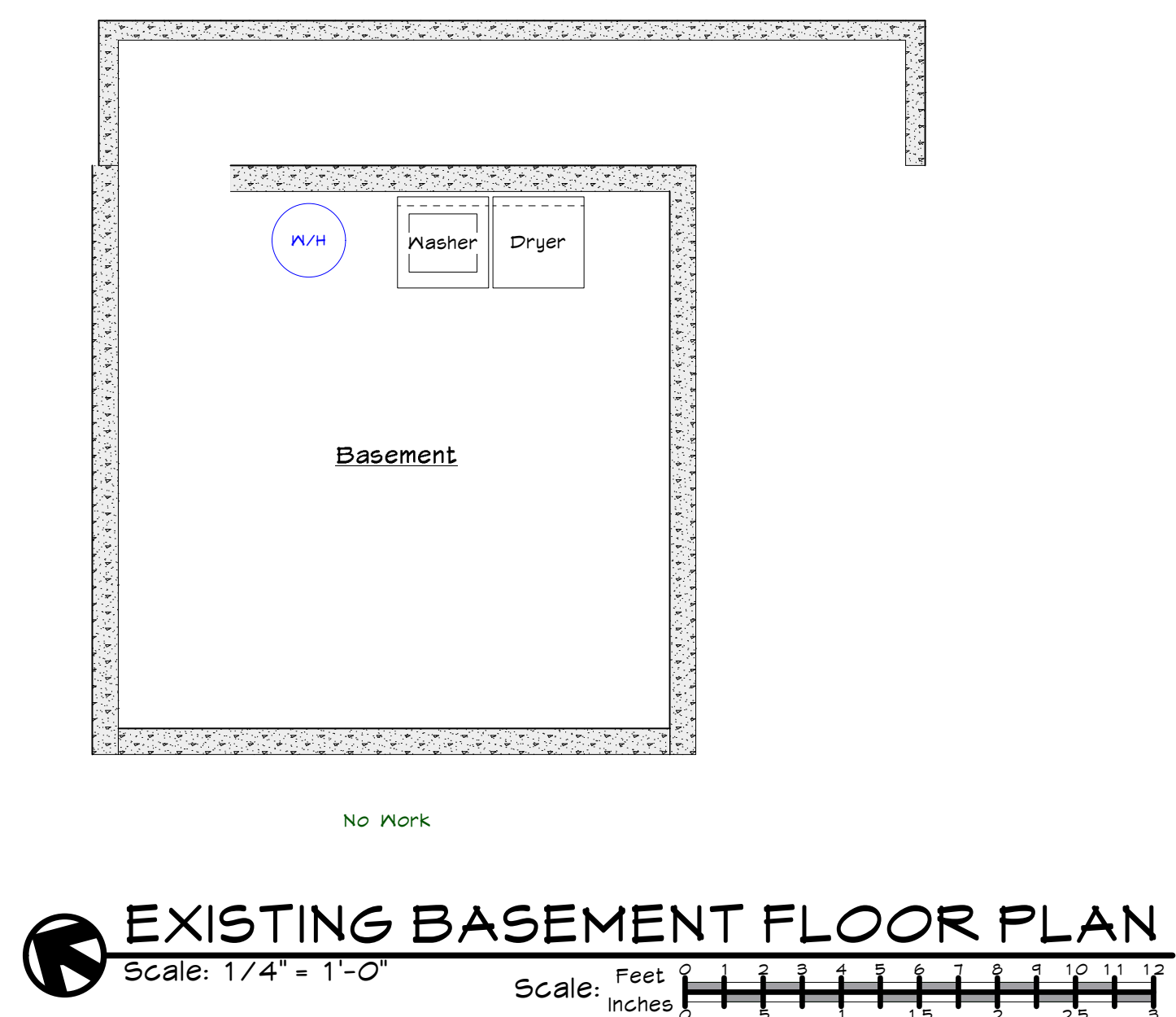
Mark	Width	Height	Operation	Location	Glazing	Comments
D 1	3'0"	6'8"	Swing Simple	Entry	--	
D 2	12'0"	6'8"	Swing Complex	Living Room	Insulated	
D 3	2'8"	6'8"	Swing Simple	Back Porch	--	
D 4	2'8"	6'8"	Swing Simple	Mudroom	--	
D 5	3'0"	6'8"	Swing Simple	Entry 2	--	

DEMOLITION NOTES

- Demolition includes work noted below and all other work affected by work included in the demolition, systems, subsystems and items related to the completed construction.
- Provide dust barrier to protect remainder of the house from any construction dirt & dust.
- Protect existing flooring with 1/4" masonite board or equal.

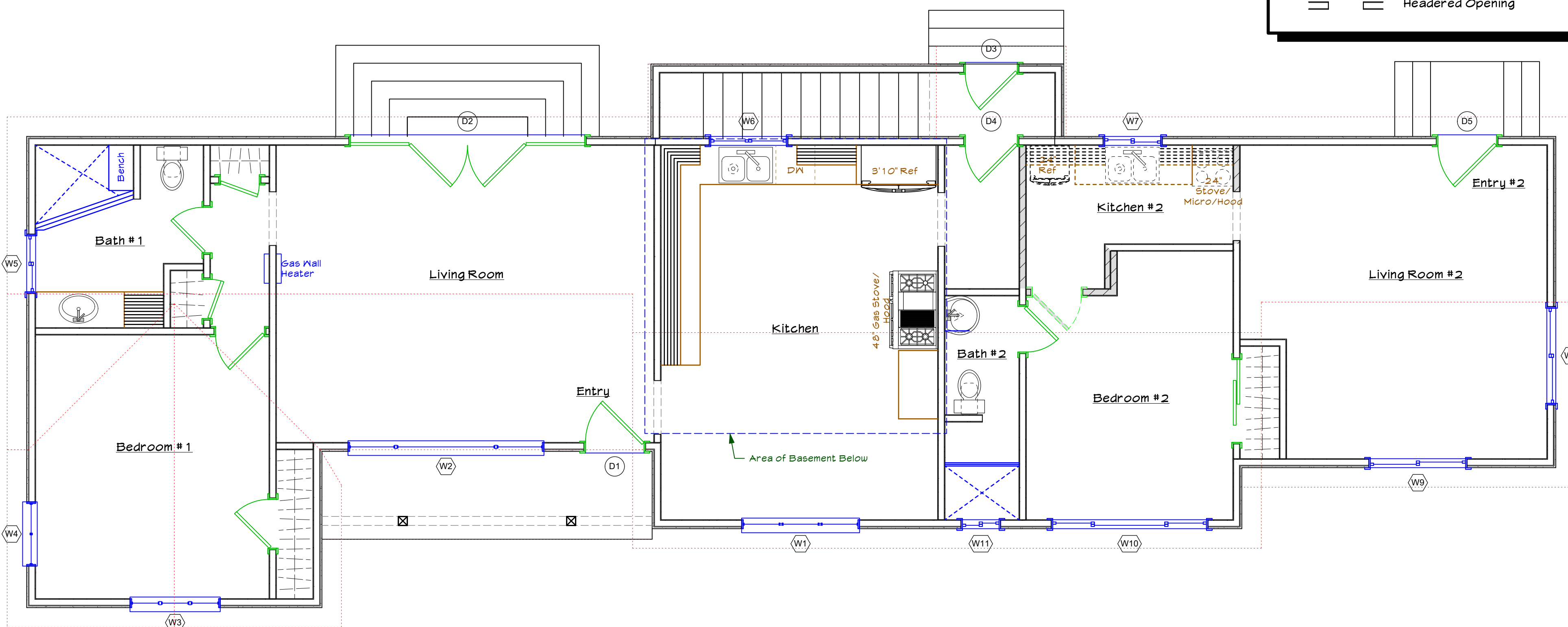
EXISTING / DEMO LEGEND

	Wall to be removed
	Window to be Removed
	Door to be Removed
	Existing Wall to remain
	Beam
	Headered Opening



EXISTING BASEMENT FLOOR PLAN

Scale: 1/4" = 1'-0"

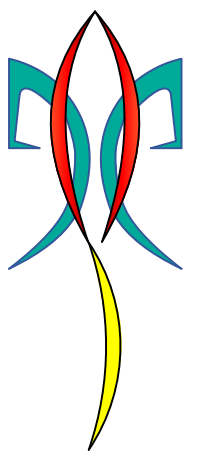


EXISTING FLOOR PLAN

Scale: 1/4" = 1'-0"

Scale: Feet 0 1 2 3 4 5 6 7 8 9 10 11 12
Inches

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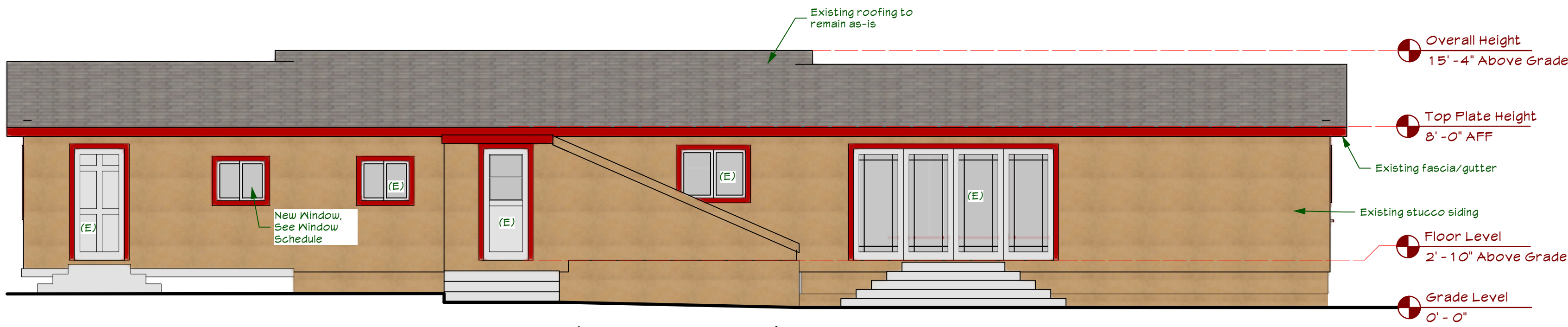
SCALE: AS NOTED FILE: 24-002

EXISTING/DEMO
PLAN

A1.0

Sheet 7 of 0 Sheets

PEDERSON PROJECT



PROPOSED REAR ELEVATION (North-East)

Scale: 3/16" = 1'-0"



PLUMBING NOTES

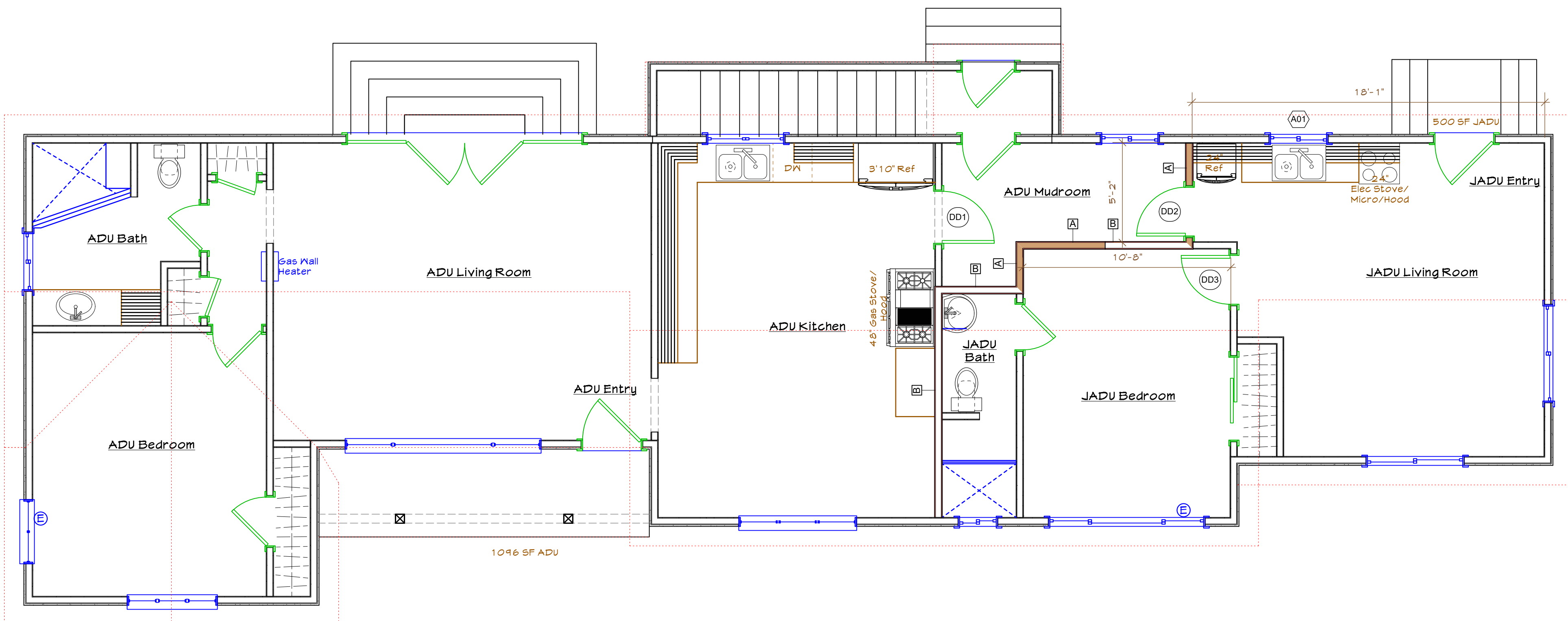
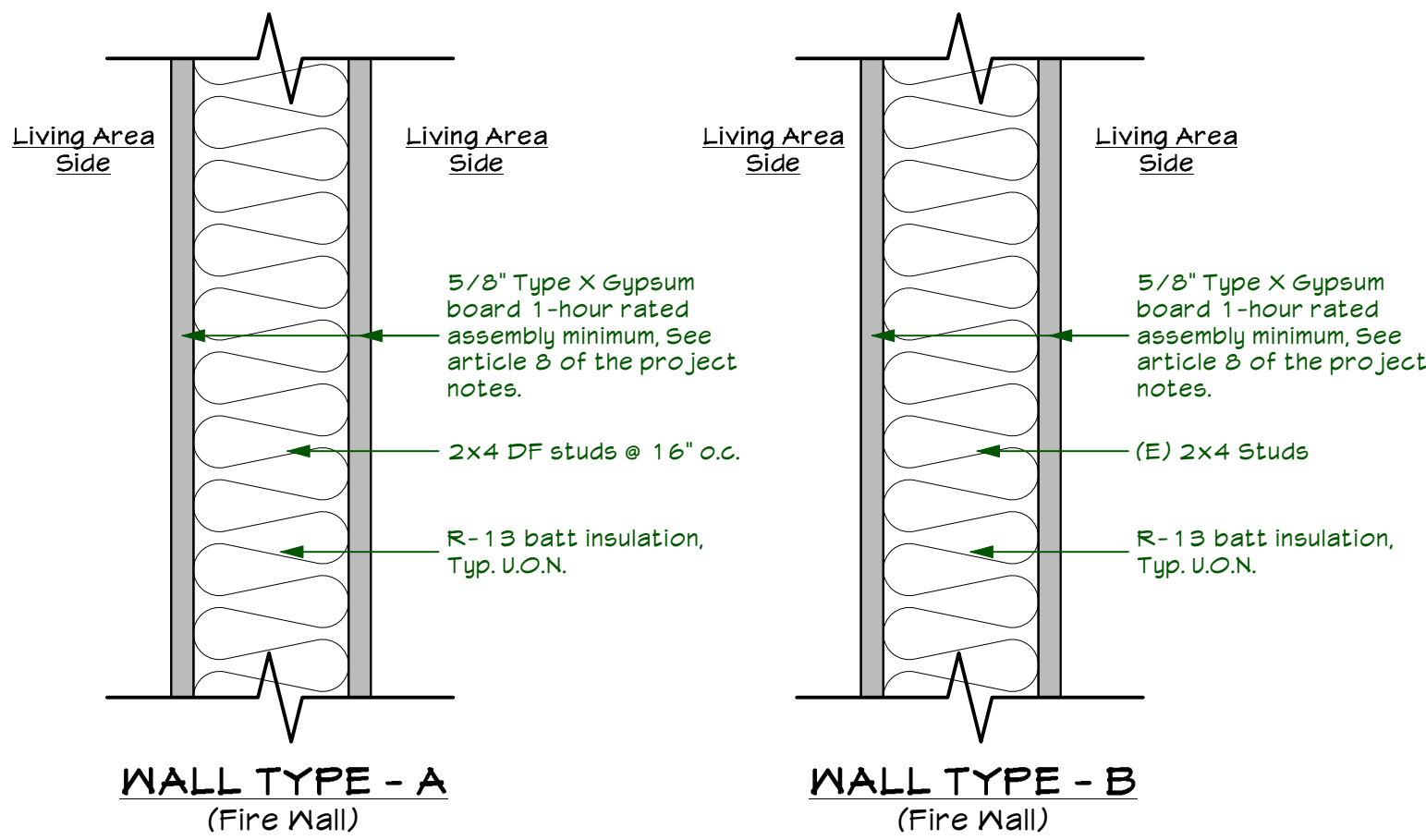
1. All sink faucets, shower heads, toilets and urinals shall comply with California Civil Code Section 1101.1 through 1101.8 and CALGreen Section 301.1.
2. Water closets with a flow rate in excess of 1.6 gpf shall be replaced with water closets a maximum flow rate of 1.25 gpf.
3. Showerheads with a flow rate greater than 2.5 gpm will need to be replaced with a maximum 1.8 gpm shower head.
4. Lavatory faucets with a flow rate greater than 2.2 gpm will need to be replaced with a faucet with a maximum flow rate of 1.2 gpm.
5. Kitchen faucets with a flow rate greater than 2.2 gpm will need to be replaced with a faucet with a maximum flow rate of 1.8 gpm.

FLOOR PLAN NOTES

1. See Sheet A0.2 for project notes for additional notes and specifications.
2. See sheet Structural sheets for General framing notes & typical details.
3. (N) Exterior outlet to be dedicated 20 Amp

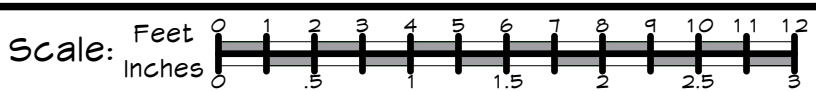
PROPOSED LEGEND

	New Proposed Wall		Ceiling Transitions
	Existing Wall		Window, see schedule
	New Proposed Wall (1 hour fire rated)		Door, see schedule
	Existing Wall (1-hour fire rated)		Egress Compliant
	Beam		Tempered glass
	Headered Opening		Wall Type
	Roof Lines		

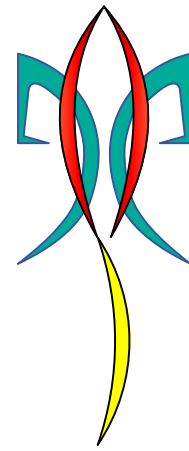


PROPOSED ADU & JADU FLOOR PLAN

Scale: 1/4" = 1'-0"



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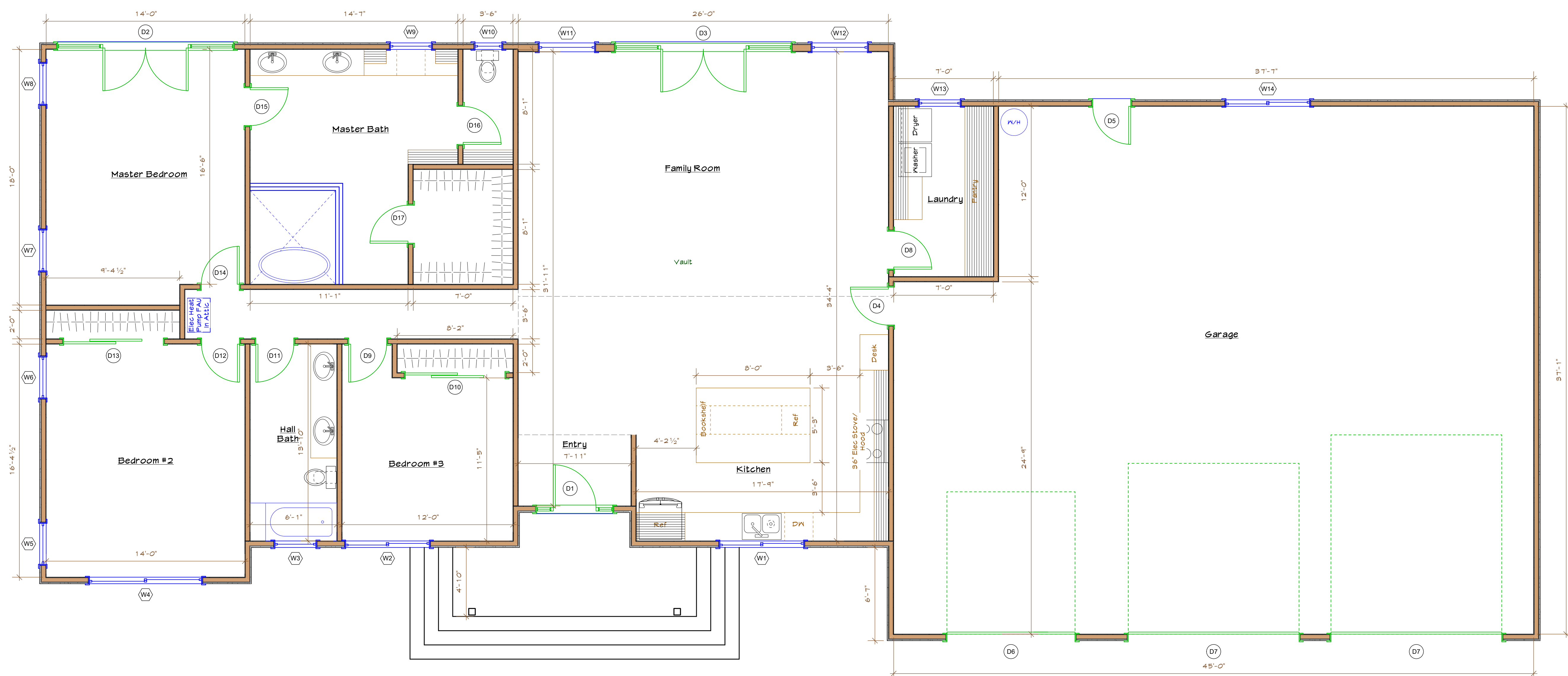
PROPOSED
ADU/JADU

A 1.1

Sheet 3 of 0 sheets

PEDERSON PROJECT

DATE: 5/19/25
FILENAME: 24-002 Pederson_Jeff -5.vux



PROPOSED FLOOR PLAN
Scale: 1/4" = 1'-0"

PROPOSED LEGEND			
	New Proposed Wall		Ceiling Transitions
	Existing Wall		Window, see schedule
	Beam		Door, see schedule
	Headered Opening		Egress Compliant
	New floor area		Tempered glass
	Roof Lines		Wall Type, See A2.1

PLUMBING FIXTURE NOTES

1. All sink faucets, shower heads, toilets and urinals shall comply with California Civil Code Section 1101.1 through 1101.8 and CALGreen Section 301.1.
2. Kitchen Faucets shall not exceed 1.8 gals/min
3. Lavatory faucets shall not exceed 1.2 gals/min.
4. Shower heads shall not exceed 1.8 gals/min
5. Toilets shall not exceed 1.28 gals/flush

FLOOR PLAN NOTES

1. See Sheet AO.2 for project notes for additional notes and specifications.
2. See sheet Structural sheets for General framing notes & typical details.
3. (N) Exterior outlet to be dedicated 20 Amp

PALADIN

ENGINEERING

DESIGN

Paladin
Design & Engineering*
2730 Union Avenue, Suite B
San Jose, CA 95124
408.370.0730 Voc
408.370.3199 Fax



REVISIONS	DATE

PROJECT:
PEDERSON PROJECT
Jeff Pederson
20876 Almaden Road
San Jose, CA 95120

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Written dimensions on these drawings shall have precedence over scaled dimensions. Written dimensions are approximate and must be verified, contractor to verify and be responsible for all existing conditions and dimensions prior to and during all phases of work. This office must be notified of any variation from the dimensions and conditions shown by these drawings.

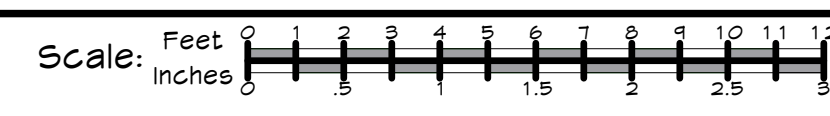
<small>© Copyright 2025 Paladin Design & Engineering *DBA Paladin Design Group LLC</small>			
DATE: May 19, 24	DRAWN: BC/QP		
SCALE: AS NOTED	FILE: 24-002		

PROPOSED FLOOR PLAN

A2.0

Sheet 9 of 0 sheets

PEDERSON PROJECT





REVISIONS	DATE

PROJECT:
PEDERSON PROJECT
Jeff Pederson
20876 Almaden Road
San Jose, CA 95120

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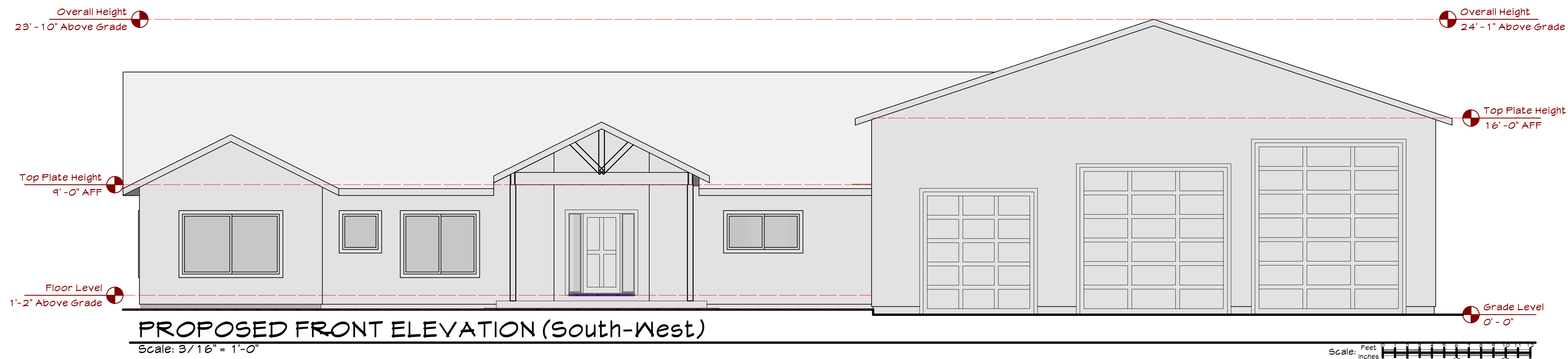
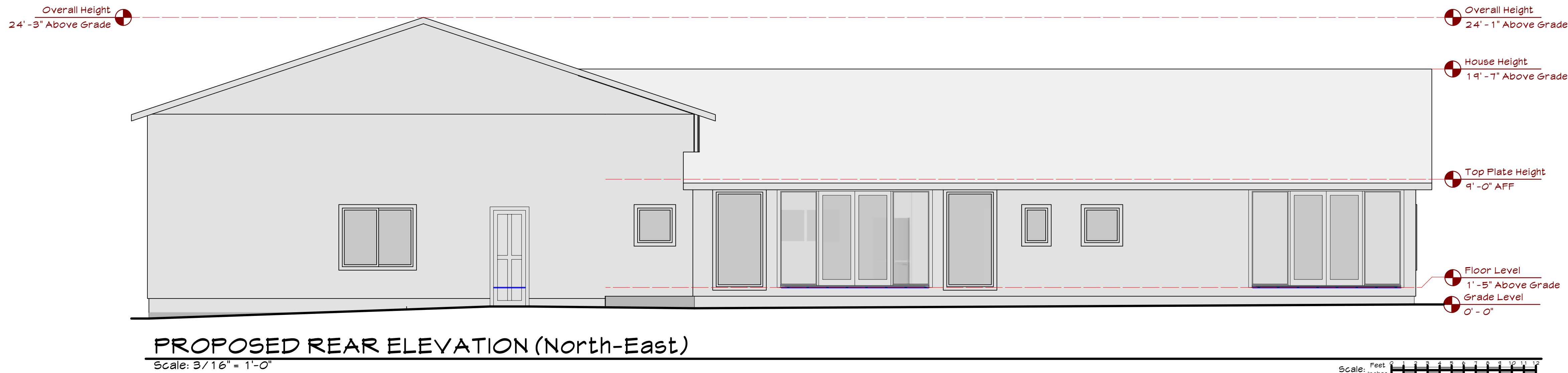
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DATE: May 19, 24 DRAWN: BC/QP

SCALE: AS NOTED FILE: 24-002

PROPOSED ELEVATIONS

A3.0



Black Bean

Door & Window Frames
Migard Ultra Series - 6650
Color: Black Bean

SW 7005
Pure White

Exterior Walls
Sherwin Williams
Pure White SW7005

Exterior Trim (Porchfront door)
Sherwin Williams
Exterior Semi Solid Stain
SW3566SS Douglas Fir

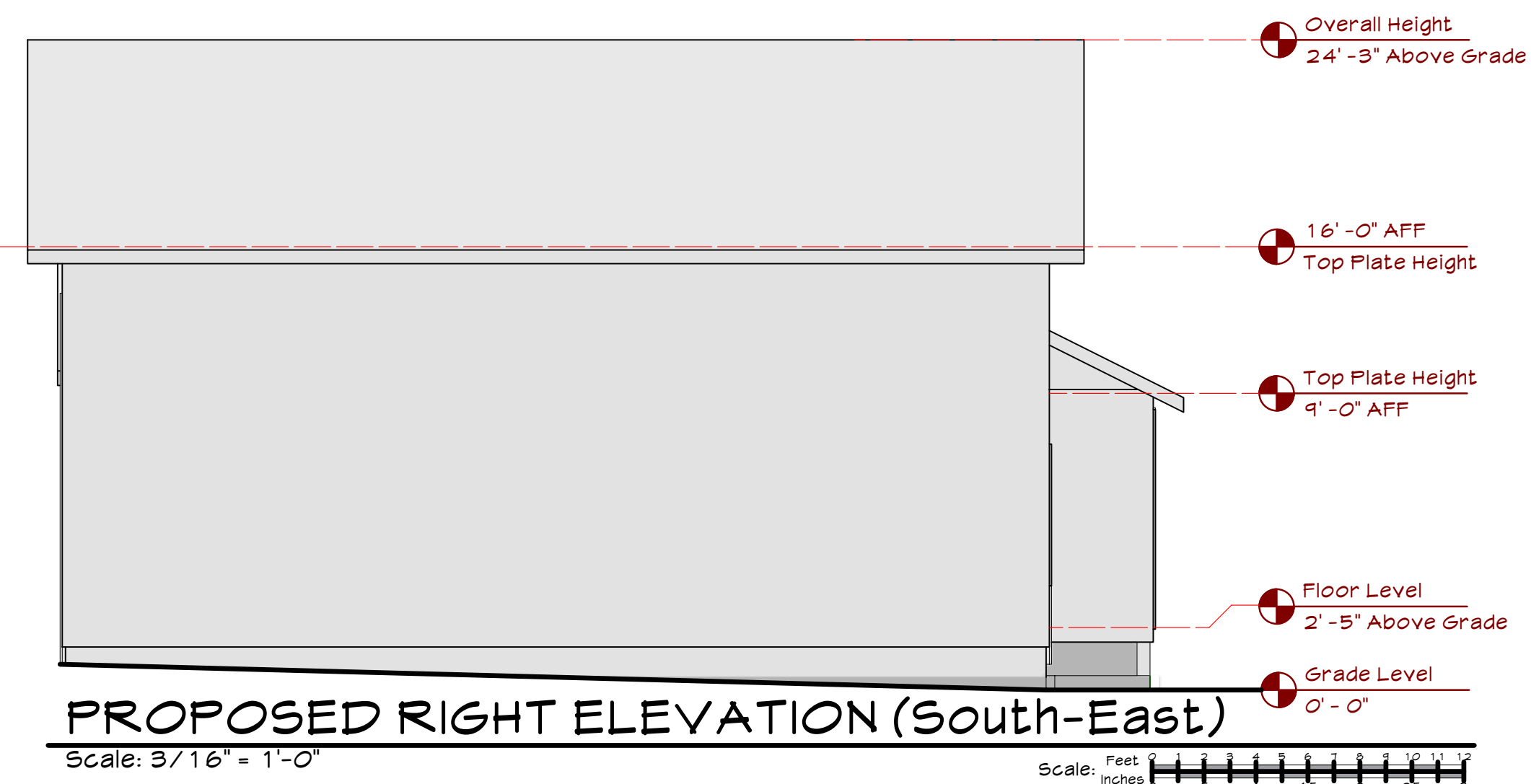
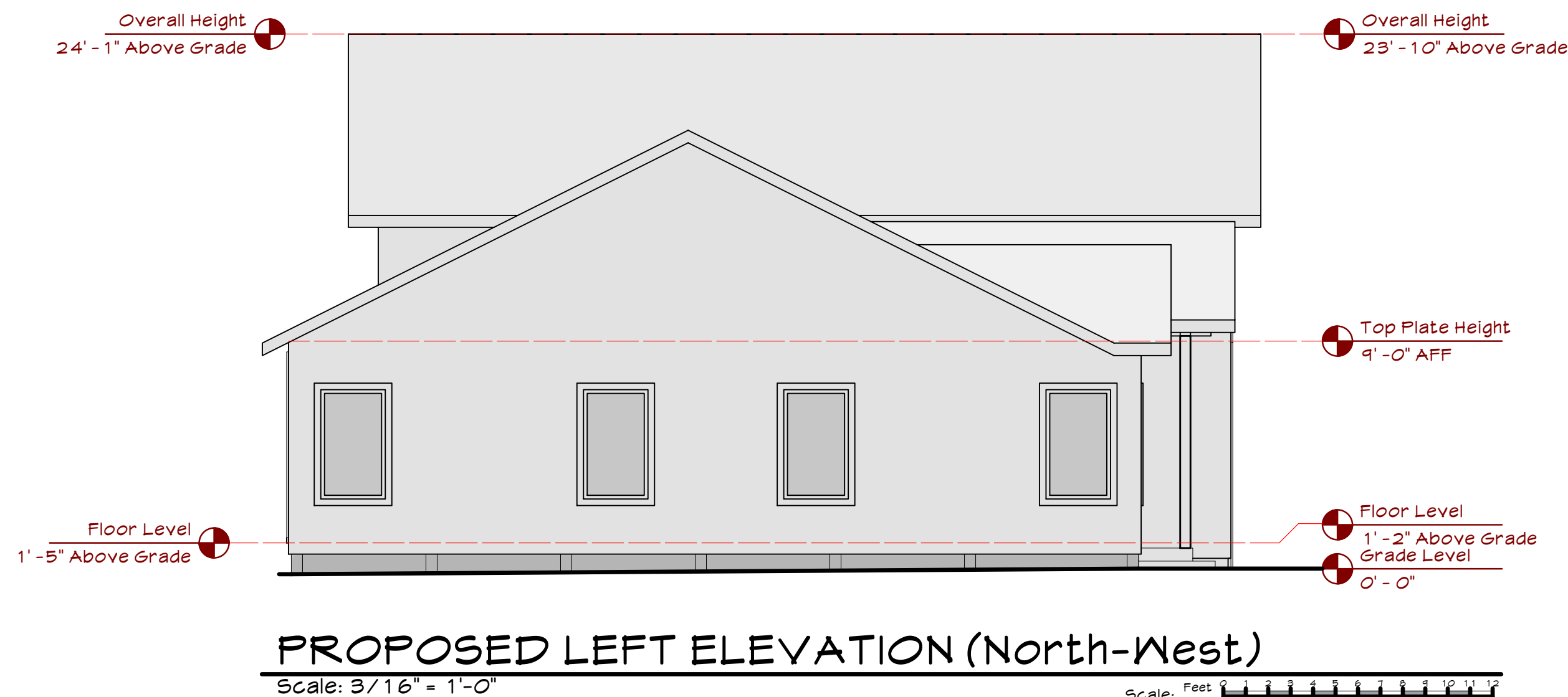
BM Sherwin Williams

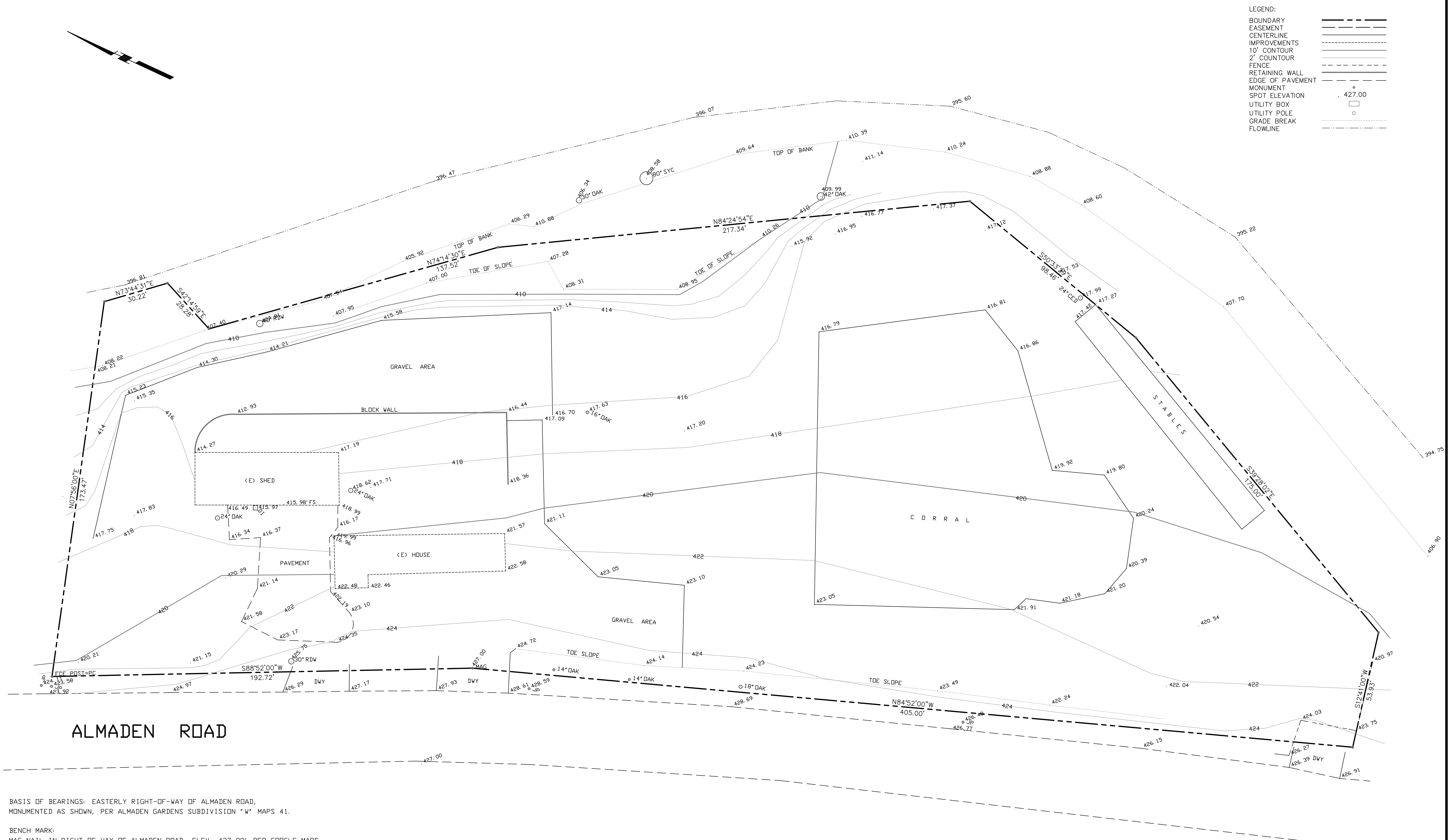
Foggy Day

SW 6235

Exterior Trim
Sherwin Williams
Foggy Day SW6235

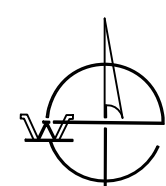
Roof
GAF - Asphalt Shingle
Timberline HDZ Charcoal High-Definition Shingle





NO.	BY	DATE	REVISION	BY	DATE	DATE: APRIL 2024
						SCALE: HOR. 1" = 20'
						VERT.
						DESIGNED:
						DRAWN: HB
						PROJ. ENGR:

BY: HARRY BABICKA, LS 4953
DATE:



WESTFALL ENGINEERS, INC.
14583 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244

TOPOGRAPHIC MAP

UDB NO.	
022-016	
SHEET	1
	1