



Board of Supervisors May 25, 2021

ITEM NO. 9

RECREATIONAL VEHICLE PARK (RV PARK) GENERAL PLAN AND ZONING AMENDMENTS

PLANNERS: CARL HILBRANTS & VALERIE NEGRETE

PROJECT BACKGROUND

State Special Occupancy
Parks Act (SOPA)

RV Park Study by Planning
Department

Proposed General Plan &
Zoning Ordinance
Amendments

2003

*SOPA updated to allow
long-term stays*

*SOPA gives HCD authority
over RV Park construction
and operation*

2018

*Per County's 1994
General Plan, the
Department conducted
an RV Park study*

2021

*Adopt GP and ZO
amendments to
ensure compliance
with state law and
General Plan Policies*

EXISTING COUNTY RV PARK REGULATIONS

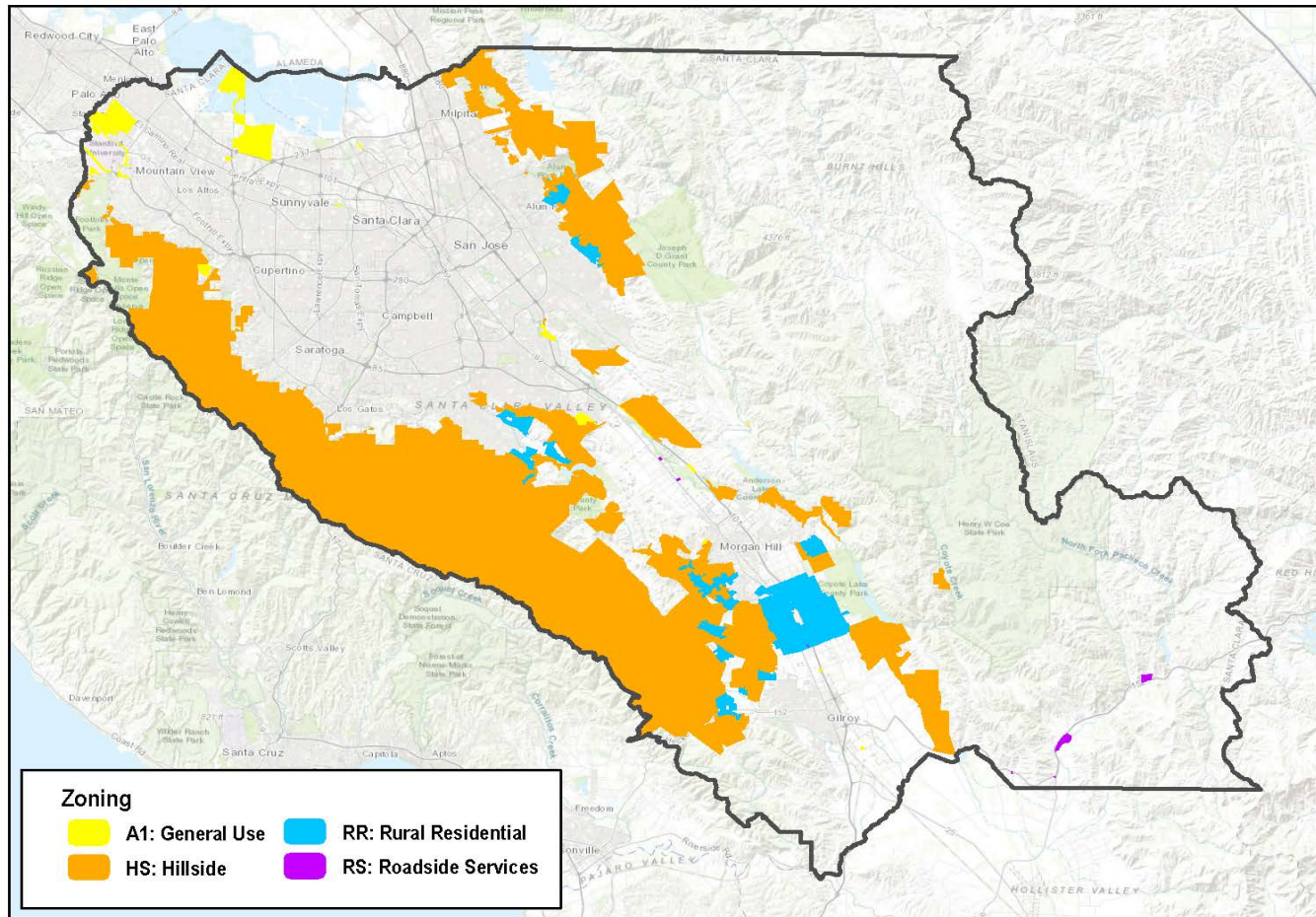
RV Parks are currently:

1. Allowed within the HS, RR, A1 and RS zoning districts;
2. Allowed for recreational purposes, NOT allowing residential uses;
3. Have the following short-term stay requirements:
 - a. 65% spaces for fewer than 30 days,
 - b. 25% spaces for up to 180 days,
 - c. 10% spaces for up to 360 days;
4. Subject to Supplemental Use requirements (Zoning Ordinance Section 4.10.280), Architecture and Site Approval guidelines and RV Park design guidelines

PROPOSED RV PARK CHANGES



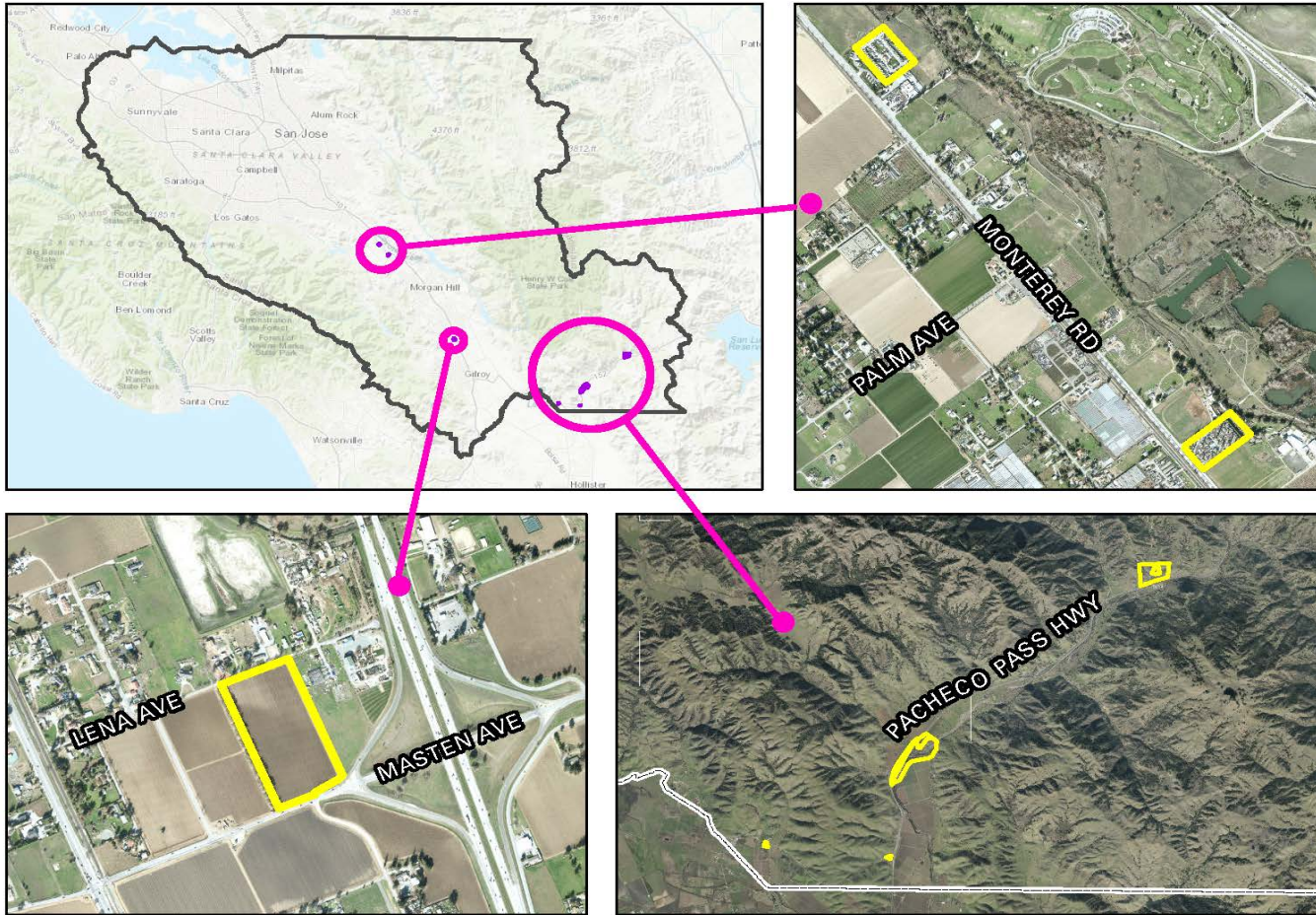
1. Allow new RV Parks only on RS zoned parcels;
2. Revise length-of-stay restrictions for RV Parks, and allow for an exemption for long-term stays;
3. Eliminate RV Park Development Design Guidelines and ASA review; incorporating relevant items into the Zoning Ordinance
4. “Pipeline provision”...RV Parks deemed complete on or before the effective date of this ordinance not subject to proposed changes



**EXISTING AREAS
ZONED:
HS, RR, A1, RS**

**RV Parks are
currently
allowed in
HS, RR, A1,
RS Zoning
Districts**

RS ZONED PARCELS



Amend General Plan and Zoning Ordinance to allow RV Parks only in RS Zoning District

Outreach and Community Input

- Community Outreach Meetings (6)
 - RV Park owners / operators
 - Neighborhood groups
 - Frequent applicants
 - Morgan Hill Unified School District
 - Stanford University
 - County website / Newspaper noticing

- Public Meetings / Hearings (8)
 - HLUET—March 2018 & October 2018
 - SMPAC—December 18, 2019 & March 24, 2021
 - Planning Commission—December 19, 2019 & March 25, 2021
 - ALUC—April 28, 2021
 - Board of Supervisors—May 25, 2021

Planning Commission / SMPAC Recommendation

- On March 24, 2021, SMPAC forwarded a favorable recommendation to the Planning Commission with the change to retain the current length-of-stay limits for RV Parks as outlined in the General Plan and Zoning Ordinance
- On March 25, 2021, the Planning Commission forwarded a favorable recommendation to the Board to approve the General Plan and Zoning Ordinance amendments as recommended by the Department of Planning and Development

Staff Recommendation

Adopt Resolution

- Amend the General Plan policies related to RV Parks
- Abolish the 1994 RV Park Development Design Guidelines
- Find the various actions related to RV Parks to be exempt from CEQA (Section 15061(b)(3))

Adopt Ordinance

- Amend the Zoning Ordinance relating to RV Park regulations within unincorporated Santa Clara County

Questions?



Name

Carl Hilbrants	Planning
Valerie Negrete	Planning
Manira Sandhir	Planning
Rob Eastwood	Planning
Lizanne Reynolds	County Counsel



Web page:

<https://www.sccgov.org/sites/dpd/OrdinancesCodes/Studies/Pages/RVParks.aspx>